



AGENDA
Plan Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

November 5, 2025	Council Chambers	6:30 PM
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1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **APPROVAL OF MINUTES**
 - A. Plan Commission 07-16-2025
 - B. Plan Commission 08-06-2025
 - C. Plan Commission 09-03-2025
4. **CHAIRPERSON'S REPORT**
5. **NEW BUSINESS**
 - A. Public Hearings
 1. Variation from Section 9-5-5-D-5 of the Municipal Code to permit a combined side yard setback of 12 feet instead of the minimum required 15 feet for the property at 3992 N. Parkside Drive
6. **STAFF DISCUSSION**
7. **PUBLIC COMMENT**
8. **ADJOURNMENT**

The next regular Plan Commission meeting is scheduled for **Wednesday, November 19, 2025 at 6:30 p.m.**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



MINUTES
Plan Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

July 16, 2025	Council Chambers	6:30 PM
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1. CALL TO ORDER/ROLL CALL

Chairperson Chhatwani called the meeting to order at 06:30 PM.

Commissioners Present: Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Daniel Lee, Minerva Milford, Nancy Trieb, John Wise

Commissioners Absent: None.

A quorum was present.

Administrative Personnel Present: Kevin Anderson, Planner II; Daisy Dose-Adamzadeh, Planner II

2. PLEDGE OF ALLEGIANCE TO THE FLAG

3. APPROVAL OF MINUTES

A. Plan Commission 07-02-2025

Motion by Commissioner Harner, seconded by Commissioner Henderson, to approve the July 02, 2025, regular meeting minutes. Voice vote taken. Ayes - 7 | Nays - 0 | (Abstain: Minerva Milford). Motion Passed.

4. CHAIRPERSON'S REPORT

Chairperson Chhatwani stated the request for a variation from Section 9-3-6-D of the Municipal Code to permit an accessory structure to be setback 1 foot from the side lot line instead of the minimum required 3 feet for the property at 510 Glendale Lane was denied by the Village Board. The homeowners have requested a reconsideration.

5. COMMISSIONERS' COMMENTS

Chairperson Chhatwani thanked the staff and Commissioners for their guidance over the short time she has been a member of the Commission. She also thanked the Commissioners who participated in the Fourth of July parade with her.

6. NEW BUSINESS

A. Public Hearings

1. Variation from Section 9-3-6-D of the Municipal Code to permit a storage shed to be located 7 feet from the corner side lot line instead of the minimum required 15 feet for the property at 1490 Nottingham Lane

Motion by Commissioner Harner, seconded by Commissioner Henderson, to open Public Hearing. Voice vote taken. Ayes - 8 | Nays - 0 | (Abstain: None). Motion Passed.

Chairperson Chhatwani swore in the petitioner.

Gina Kotscharjan (1490 Nottingham Lane)

Ms. Kotscharjan presented an overview of the project.

Kevin Anderson presented an overview of the staff report.

Commissioner Harner had no questions for the petitioner, but stated he finds Item 2.b of the Findings of Fact to be incorrect, stating this property is not a typical corner lot and believes the necessary evidence was presented and is relevant. He also stated he feels Item 2.d of the Findings of Fact is also not correct; that evidence of the electrical line could present an issue to placement of the shed and believes the Commissioners need to address these two items.

Vice Chairperson Bauske asked if the Commissioners should address Commissioner Harner's comments before moving on to additional questions and comments. Chairperson Chhatwani advised them to continue with the questions first, then discuss any concerns all together.

Commissioner Trieb asked staff about the power lines, since they did not appear to be in the photos presented. Mr. Anderson apologized for not capturing the power lines in photographic evidence. He stated that the petitioner is testifying to their location and has represented their location on the site plan.

Commissioner Henderson asked how difficult it would be to maintain the grass in the location where the shed is proposed, as it looks to be close to the gate. Ms. Kotscharjan stated there is plenty of room to mow, and use the gate via a sidewalk.

Commissioner Henderson asked whether they would need to remove the tree. Ms.

Kotscharjan stated they did not desire to remove the tree, so they chose the identified corner in order to avoid its removal.

Commissioner Lee commented that the challenges are logically identified and the shape and location make sense based on the uniqueness of the lot.

Commissioner Wise commented that this is more like a small garage than a shed and asked if the petitioner agreed since it is 12-feet tall. Ms. Kotscharjan agreed that it could appear that way, but it still meets the size requirements of a shed.

Commissioner Wise asked if it would be placed on a slab. Ms. Kotscharjan stated yes.

Commissioner Wise asked about the current shed on the property. Ms. Kotscharjan stated the current shed is a plastic, non-permanent structure that would be removed as a condition of the installation of the new shed.

Commissioner Milford had no questions since they had all been answered.

Vice Chairperson Bauske stated he agrees that Items 2.b and 2.d of the Findings may need to be amended, and acknowledged the Commissioners would be discussing this further in a few moments.

Vice Chairperson Bauske asked the petitioner if the overhead lines were not in their current location, would they have looked at placing the shed in the other corner? Ms. Kotscharjan stated that in the spirit of being neighborly, they might not have because they did not want to cause additional drainage issues or put a giant shed in front of someone's windows.

Vice Chairperson Bauske inquired about the door to the shed. Ms. Kotscharjan stated the east side of the shed would have a general person-sized door, while the north side would have a roll-up garage-style door.

Vice Chairperson Bauske asked the petitioner if she agreed with the conditions of approval in the staff report. Ms. Kotscharjan stated yes.

Chairperson Chhatwani asked whether the petitioner had thought about upgrading the shed they currently have. Ms. Kotscharjan stated the current shed came with the property and does not meet their needs due to its size (50 square feet).

Chairperson Chhatwani asked how heavy the traffic is on the street where the fence and the shed are proposed to be located (Rosedale Lane). Mr. Anderson stated it is a neighborhood street, not a collector street. Ms. Kotscharjan added that the street is a U-shape that borders I-90, and that cars would not be traveling through this section unless they were visiting a home in the area.

Vice Chairperson Bauske asked if the grade would be leveled in the area of the shed? Ms. Kotscharjan stated the plan is to level the slab. She also stated the Engineering Division had been out to the property to check the grade. Mr. Anderson stated the Engineering Division did review the plans prior to the meeting and had approved the design.

Chairperson Chhatwani asked if there were any members of the audience that would like to

comment on the request. There were no public comments.

Vice Chairperson Bauske asked the Commissioners to discuss Finding of Fact Item 2.b. Commissioner Harner made a motion to amend the Finding to state, "This is not a typical lot, the street angles make a difference and are relevant." The Commissioners were in agreement with the amended language.

Vice Chairperson Bauske asked the Commissioners to discuss Finding of Fact Item 2.d. Commissioner Lee asked for clarification about how they would be amending the Finding. Commissioner Harner made a motion to amend the Finding to state, "Evidence has been found that a hardship was not created by the interested party." The Commissioners were in agreement with the amended language.

Motion by Commissioner Harner, seconded by Commissioner Henderson, to close the Public Hearing. Voice vote taken. Ayes - 8 | Nays - 0 | (Abstain: None). Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to adopt the Findings of Fact for a Variation as outlined in the July 16, 2025, Staff Report with amended language for Item 2.b to state "This is not a typical lot, the street angles make a difference and are relevant." and Item 2.d to state "Evidence has been found that a hardship was not created by the interested party."

Roll call vote:

Aye: Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Daniel Lee, Minerva Milford, Nancy Trieb, John Wise

Nay: None

Absent: None

Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to recommend to the Village Board of Trustees approval of a Variation from Section 9-3-6-D of the Municipal Code to permit a storage shed to be located 7 feet from the corner side lot line instead of the minimum required 15 feet for the property at 1490 Nottingham Lane, subject to the conditions as of the July 16, 2025, Staff Report.

Roll call vote:

Aye: Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Daniel Lee, Minerva Milford, Nancy Trieb, John Wise

Nay: None

Absent: None

Motion Passed.

Chairperson Chhatwani stated this recommendation would be presented to the Village Board at the next regular meeting on Monday, July 21, 2025, at 7:00 p.m.

7. STAFF DISCUSSION

Kevin Anderson stated the Village Board would be hearing tonight's recommendation on Monday July 21, 2025, in addition to the 510 Glendale Lane variation for Village Board Reconsideration.

8. PUBLIC COMMENT

None.

9. ADJOURNMENT

Motion by Commissioner Harner, seconded by Commissioner Henderson, to adjourn at 07:03 PM. Voice vote taken. Ayes - 8 | Nays - 0 (None) | Abstain - 0 (None). Motion Passed.

Minutes prepared by Marquelle Cnota, Administrative Assistant.

Chairperson's Approval

Date Approved



MINUTES
Plan Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

August 6, 2025	Council Chambers	6:30 PM
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1. CALL TO ORDER/ROLL CALL

Chairperson Chhatwani called the meeting to order at 06:30 PM.

Commissioners Present: Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Daniel Lee, Minerva Milford, Nancy Trieb, John Wise

Commissioners Absent: None.

A quorum was present.

Administrative Personnel Present: Kevin Anderson, Planner II

2. PLEDGE OF ALLEGIANCE TO THE FLAG

3. CHAIRPERSON'S REPORT

Vice Chairperson Bauske stated the variations for the deck on Glendale Lane and the shed on Nottingham Lane were both approved at the July 21, 2025, Village Board meeting.

4. COMMISSIONERS' COMMENTS

Commissioner Harner thanked the attendees of the golf tournament where they were able to give over \$40,000 to the foundation.

Chairperson Chhatwani thanked Mayor McLeod, Trustee Stanton and Trustee Newell and other Village staff who attended the Bank of America picnic at Victoria Park.

5. NEW BUSINESS

A. Public Hearings

1. Variation from Section 9-3-6-J of the Municipal Code to permit a storage shed to be 192 square feet instead of the maximum permitted 150 square feet for the property at 1845 W. Shorewood Drive

Motion by Commissioner Harner, seconded by Commissioner Henderson, to open Public Hearing. Voice vote taken. Ayes - 8 | Nays - 0 | (Abstain: None). Motion Passed.

Chairperson Chhatwani swore in the petitioner.

Jillian Fioretto (1983 Windsong Drive, Schaumburg)

Ms. Fioretto presented an overview of the project.

Kevin Anderson presented an overview of the staff report.

Commissioner Lee had no questions.

Commissioner Wise had no questions.

Commissioner Milford had no questions.

Commissioner Henderson had no questions.

Commissioner Trieb suggested the petitioner use hooks to assist with hanging various tools and equipment on the walls for ease of access. Ms. Fioretto thanked her for her suggestion and stated that this is the system her father currently uses in the garage, and will likely continue to use in the shed.

Commissioner Harner asked staff to clarify that there is no option for a structure between 150 square feet and 440 square feet. Mr. Anderson stated this is correct. Commissioner Harner further asked staff to clarify that if someone wanted a structure between these sizes, they would need to come to the Plan Commission for a variation. Mr. Anderson again stated this is correct. Commissioner Harner asked, if the petitioner went to the 440 square foot size, would they no longer need to make a variation request to the Plan Commission. Mr. Anderson explained the Village has a maximum combined allowance for garages of 750 square feet, and that while the petitioner could indeed build a detached garage within the maximum combined size limits if they had space on the property, this petitioner has stated that the cost difference would be substantial.

Commissioner Harner also pointed out that the Variation standard 2.d., in his opinion, has been met since age is a hardship not created by the petitioner.

Vice Chairperson Bauske asked the petitioner if they agreed with the conditions of approval in the staff report. Ms. Fioretto stated yes.

Vice Chairperson Bauske asked if the fence on the property was new. Ms. Fioretto stated it had been there for approximately a year. Vice Chairperson Bauske stated he noticed it wasn't shown on the location map and the tree in the background appears to provide sufficient coverage.

Vice Chairperson Bauske stated that while certain standards are met, not all standards must be met in order to receive an approval.

Chairperson Chhatwani asked about the size of the petitioners' current shed. Ms. Fioretto stated her parents do not currently have a shed on the property, but that the proposed shed is 192 square feet. Chairperson Chhatwani asked if 150 square feet would be adequate for their needs. Ms. Fioretto stated her parents do not feel 150 square feet would meet their needs due to the size of the equipment they would need to store in the shed. Mr. Anderson also stated the Code only allows one shed per property, so the petitioner would only be allowed to have this one shed.

Chairperson Chhatwani asked if there were any members of the audience that would like to comment on the request. There were no public comments.

Motion by Commissioner Harner, seconded by Commissioner Henderson, to Close Public Hearing. Voice vote taken. Ayes - 8 | Nays - 0 | (Abstain: None). Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to adopt the Findings of Fact for a Variation as amended by Commissioner Harner to reflect that age is a hardship not caused by the petitioner.

Roll call vote:

Aye: Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Daniel Lee, Minerva Milford, Nancy Trieb, John Wise

Nay: None

Absent: None

Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to recommend to the Village Board approval of a Variation from Section 9-3-6-J of the Municipal Code to permit a storage shed to be 192 square feet instead of the maximum permitted 150 square feet for the property at 1845 W. Shorewood Drive, subject to the conditions as of the August 06, 2025, Staff Report.

Roll call vote:

Aye: Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Daniel Lee, Minerva Milford, Nancy Trieb, John Wise

Nay: None

Absent: None

Motion Passed.

Mr. Anderson stated this recommendation would be presented to the Village Board at the next regular meeting on Monday, August 18, 2025, at 7:00 p.m. Ms. Fioretto stated her mother would be in attendance at the Village Board meeting.

6. STAFF DISCUSSION

Kevin Anderson stated that there is presently nothing scheduled for the next regular Plan Commission meeting on August 20, 2025. Confirmation will be sent by Daisy in the next few days.

Vice Chairperson Bauske asked why there weren't minutes from the last meeting on the agenda to be approved. Mr. Anderson stated the minutes were not prepared in time for the meeting due to the transcriber being out of the office.

7. PUBLIC COMMENT

None.

8. ADJOURNMENT

Motion by Commissioner Harner, seconded by Commissioner Henderson, to adjourn at 06:50 PM. Voice vote taken. Ayes - 8 | Nays - 0 (None) | Abstain - 0 (None). Motion Passed.

Minutes prepared by Marquelle Cnota, Administrative Assistant.

Chairperson's Approval

Date Approved



MINUTES
Plan Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

September 3, 2025	Council Chambers	6:30 PM
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1. CALL TO ORDER/ROLL CALL

Chairperson Chhatwani called the meeting to order at 06:31 PM.

Commissioners Present: Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Daniel Lee (arrived at 6:32 PM), Minerva Milford

Commissioners Absent: Excused: John Wise | Unexcused: Nancy Trieb

A quorum was present.

Administrative Personnel Present: Kevin Anderson, Planner II; Daisy Dose-Adamzadeh, Planner II

2. PLEDGE OF ALLEGIANCE TO THE FLAG

3. APPROVAL OF MINUTES

A. Plan Commission 07-16-2025

Minutes were presented for review. No action was taken at this meeting. Will be presented for approval at the next meeting.

B. Plan Commission 08-06-2025

Minutes were presented for review. No action was taken at this meeting. Will be presented for approval at the next meeting.

4. CHAIRPERSON'S REPORT

Chairperson Chhatwani stated the request for a variation from Section 9-3-6-J of the Municipal Code to permit a storage shed to be 192 square feet instead of the maximum permitted 150 square feet for the property at 1845 W. Shorewood Drive was approved on August 18, 2025, by the Village Board.

5. COMMISSIONERS' COMMENTS

Commissioner Lee arrived at 06:32 PM.

Chairperson Chhatwani complimented the staff on the thoroughness of the packet.

6. NEW BUSINESS

A. Public Hearings

1. Special Use to Advance Preschool Inc. for a daycare for the property at 2353 Hassell Road #110

Motion by Commissioner Harner, seconded by Commissioner Henderson, to open the Public Hearing. Voice vote taken. Ayes - 6 | Nays - 0 | (Abstain: None). Motion Passed.

Chairperson Chhatwani swore in the petitioner.

Kimberly Bianchini (Owner/Director of Advanced Early Learning Centers Inc.)

Ms. Bianchini presented an overview of the project.

Kevin Anderson presented an overview of the staff report.

Commissioner Lee asked whether staff agrees that there are no issues with parking on site for expanded staff. Mr. Anderson stated the business will demand less parking than a traditional office space would use per the Code. He also stated that the petitioner's operations require parents to park in a designated parking space, walk the child to the building for sign-in, then leave. Preschool staff will be parking on the eastern side of the property and student drop-offs will be on the western side of the property. Ms. Bianchini stated that if there are any parking issues, she will have staff park at the existing location in Barrington Square Mall and walk to the building.

Commissioner Milford asked about the current enrollment capacity. Ms. Bianchini stated the capacity fluctuates. The business typically loses approximately 70 students every August when families / students return to school, but builds back up in September. The maximum capacity is 196 in the current building, with the new building area increasing capacity by 111/125 children depending upon age groups. Commissioner Milford asked whether the increase comes from the community or if they anticipate the participation of other communities. Ms. Bianchini stated there is a large number from the Hoffman Estates community, which accounts for 70–75 % of total enrollment, but they also service families as far away as Elgin and Chicago. Many after-school students have been with the program since birth and provide consistent support services for the students.

Commissioner Milford asked whether the parking counts include ADA spaces. Mr. Anderson stated that the number of stalls is dependent on the total number of stalls within the parking lot, not the use of the building.

Commissioner Harner had no questions.

Commissioner Henderson commented that he went to look at the site today and is very impressed with the build-out.

Chairperson Chhatwani commented that she had also visited the site because her kids had gone to school where parking was very limited, and this location seems to have ample parking available. She also thanked Ms. Bianchini, on behalf of working parents, for the services she offers and the safety her facility provides.

Vice Chairperson Bauske thanked staff for the added detail provided in the findings of fact.

Vice Chairperson Bauske asked the petitioner if they agreed with the conditions of approval in the staff report. Ms. Bianchini stated yes.

Chairperson Chhatwani asked if there were any members of the audience that would like to comment on the request. There were no public comments.

Motion by Commissioner Harner, seconded by Commissioner Henderson, to close the Public Hearing. Voice vote taken. Ayes - 6 | Nays - 0 | (Abstain: None). Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Henderson, to adopt the Findings of Fact for a Special Use as outlined in the September 3, 2025, Staff Report.

Roll call vote:

Aye: Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Daniel Lee, Minerva Milford

Nay: None

Absent: Nancy Trieb, John Wise

Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to recommend to the Village Board of Trustees approval of a Special Use to Advance Preschool Inc. for a daycare for the property at 2353 Hassell Road #110, subject to the conditions as of the September 3, 2025, Staff Report.

Roll call vote:

Aye: Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Daniel Lee, Minerva Milford

Nay: None

Absent: Nancy Trieb, John Wise

Motion Passed.

Chairperson Chhatwani stated this recommendation would be presented to the Village Board at the next regular meeting on Monday, September 15, 2025, at 7:00 PM.

Ms. Bianchini mentioned that they will be having an open house on September 23, 2025, and invited the Plan Commissioners to attend between 4–6 PM with the official ribbon cutting at 5 PM. She also stated they hope to eventually revive the Winston Knolls outside share space to revisit the outdoor space.

7. STAFF DISCUSSION

Daisy Dose-Adamzadeh stated there will not be a meeting on September 17. The next meeting will possibly occur on October 1.

8. PUBLIC COMMENT

None.

9. ADJOURNMENT

Motion by Commissioner Harner, seconded by Commissioner Henderson, to adjourn at 06:52 PM. Voice vote taken. Ayes - 6 | Nays - 0 (None) | Abstain - 0 (None). Motion Passed.

Minutes prepared by Marquelle Cnota, Administrative Assistant.

Chairperson's Approval

Date Approved



PLAN COMMISSION STAFF REPORT

Meeting Date: 11/5/2025

From: Kevin Anderson, Planner II

PLN25-0038

Public Hearing

Variation from Section 9-5-5-D-5 of the Municipal Code to permit a combined side yard setback of 12 feet instead of the minimum required 15 feet for the property at 3992 N. Parkside Drive

REQUEST SUMMARY

The Petitioner is proposing to construct an addition to the existing residence which would encroach on the required side yard setback. Therefore, the applicant is requesting a variation.

Location:	3992 N. Parkside Dr.
Property Owner / Applicant:	Bryan Ackerlund
Property Size:	11,100 sf.
Zoning / Land Use:	R-5 One-Family Residential, one single-family residence
Adjacent Properties:	All surrounding properties — R-5 One-Family Residential

BACKGROUND / ANALYSIS

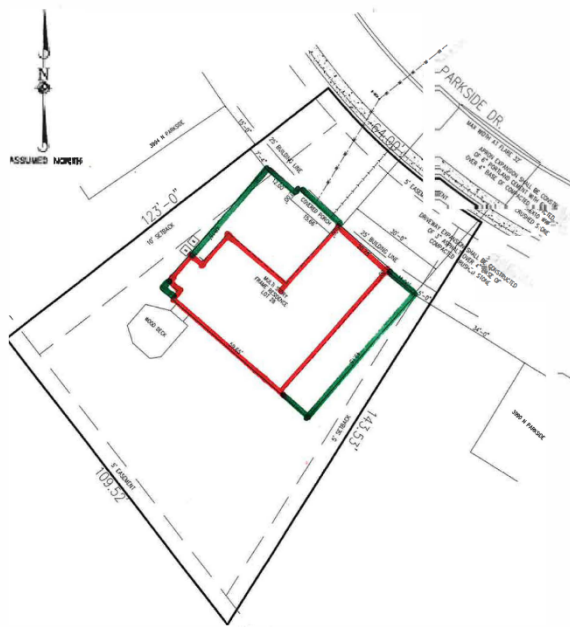
The subject property is currently improved with a single-family residence. The property is zoned R-5 and per §9-5-5-D-5 of the Municipal Code, the R-5 district requires a minimum 5-foot side yard setback and a combined side yard setback of 15 feet. The R-5 district also requires a combined setback of 15 feet between any two adjoining residential structures.

The Petitioner's plans indicate a 2-story, 2,000 square foot addition including a third attached garage stall. The proposal would result in side yard setbacks of 5' to the south and 7'4" to the north with a combined side yard setback of 12'4". The Petitioner has provided an exhibit verifying the addition will meet the separation requirements from the neighboring residences.

The setback reduction is only necessary for the northwest corner of the building. This is in part due to the orientation and geometry of the lot, which becomes narrower closer to the street frontage. The majority of the addition will conform to the setback requirements of the district.

The proposal will conform to all other requirements of the zoning code including setbacks, building height, FAR, and driveway width.

STAFF EXHIBIT



Existing Footprint in Red
Proposed Footprint in Green

Notification

Standard notification was posted in the Daily Herald and notification letters were sent to all surrounding property owners within 150'. No objections have been received.

MOTIONS

The Plan Commission shall make the following motions (a total of 2 motions are required):

1. Adopt the Findings of Fact for a Variation as outlined in the attached Findings & Recommendations Summary.
2. Recommend to the Village Board of Trustees approval of a Variation from Section 9-5-5-D-5 of the Municipal Code to permit a combined side yard setback of 12 feet instead of the minimum required 15 feet for the property at 3992 N. Parkside Drive, subject to the conditions noted in the attached Findings & Recommendations Summary.

ATTACHMENTS

1. PC Findings and Recommendations Summary
2. Location Map - 3992 N. Parkside Dr
3. Supporting Documents - 3992 N. Parkside Dr



**PLAN COMMISSION
FINDINGS & RECOMMENDATION SUMMARY**

Meeting Date: 11/5/2025
Prepared By: Kevin Anderson
Project #: PLN25-0038

Variation from Section 9-5-5-D-5 of the Municipal Code to permit a side yard setback reduction for the property at 3992 N. Parkside Dr.

Draft Findings of Fact – Variation *(as drafted by staff and may be modified by the Commission)*

Sec. 9-1-15-C: Standards for Variations.

1. The Plan Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
 - b. The plight of the owner is due to unique circumstances;
 - c. The variation, if granted, will not alter the essential character of the locality.
2. For the purpose of implementing the above rules, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence:
 - a. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
FINDING: The subject property is located along an outer curve to the street which results in a narrower front yard than a traditional lot.
 - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
FINDING: No evidence was presented to support that this standard was met.
 - c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
FINDING: The petitioner has indicated that the intent of the variation is to increase practical use of the property and not based exclusively on the desire to increase the value of the property.
 - d. The alleged difficulty or hardship has not been created by any person presently having an interest in the property;
FINDING: No evidence was presented to support that this standard was met.

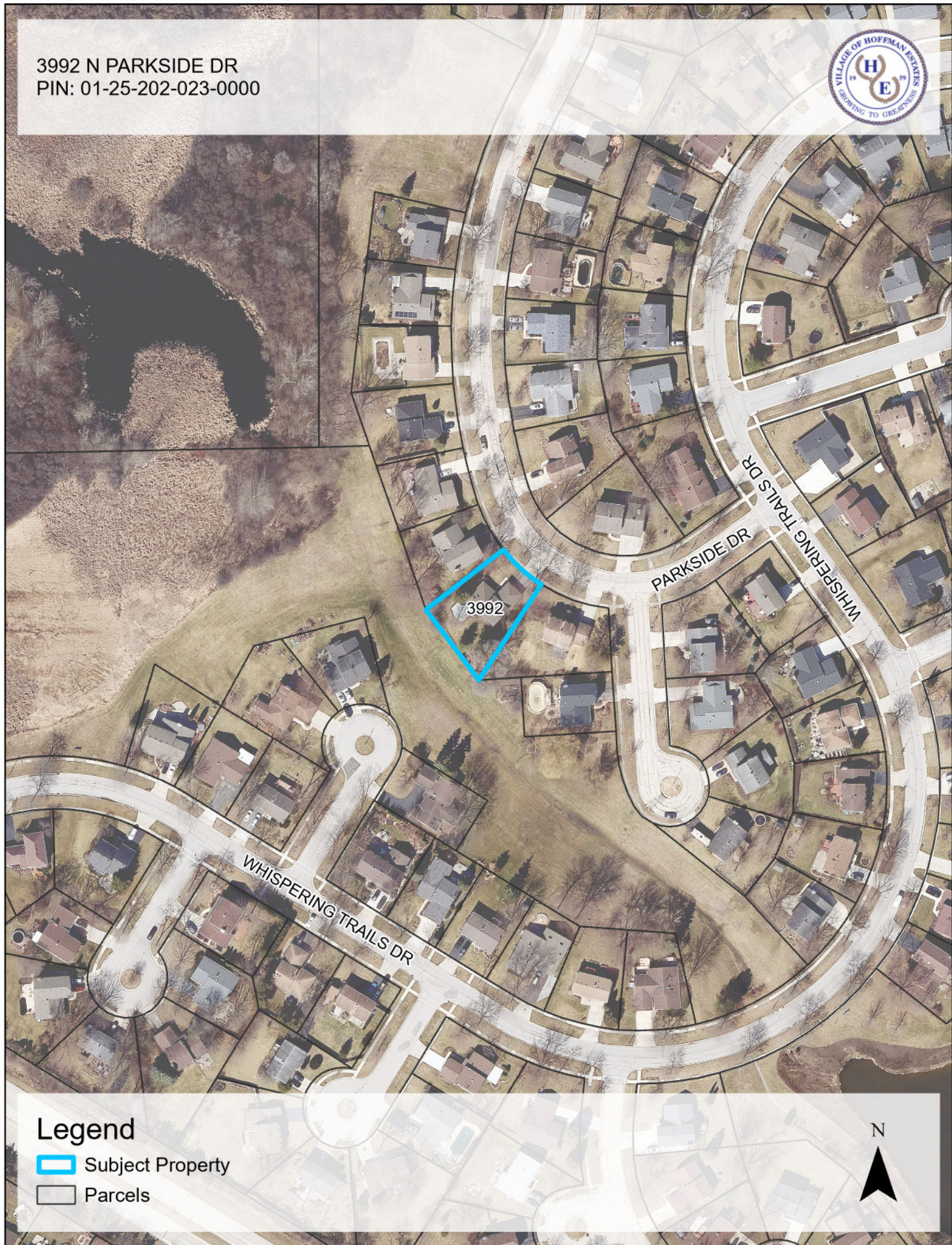
- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
FINDING: The variation, if granted, will not be detrimental to public health or injurious to other properties.
 - f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.
FINDING: The variation, if granted, will not impair the supply of light and air, increase congestion, or endanger public safety.
3. The Plan Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefitted by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

Draft Recommendations

The following motions will be considered by the Plan Commission (a total of **2** motions):

- 1. Adopt the Findings of Fact for a Variation.
- 2. Recommend to the Village Board approval of a Variation from Section 9-5-5-D-5 of the Municipal Code to permit a side yard setback reduction for the property at 3992 N. Parkside Dr., subject to the following conditions:
 - a. The development shall substantially conform to the plans presented and attached as part of this request.
 - b. A building permit shall be obtained within twelve (12) months of Village Board action on this request.

3992 N PARKSIDE DR
PIN: 01-25-202-023-0000



Legend

-  Subject Property
-  Parcels





VILLAGE OF HOFFMAN ESTATES PLANNING & ZONING APPLICATION SUMMARY

APPLICATION INFORMATION

Project Number:	PLN25-0038
Project Name:	Residential addition side yard setback variation.
Project Application Date:	9/8/2025
Project Manager:	Kevin Anderson

PROJECT TYPE

Variation - Residential;

SITE INFORMATION

Property Address:	3992 N PARKSIDE DR
All Included PINs:	01252020280000

PROJECT CONTACTS

Relationship to Project	Name / Firm	Address
APPLICANT	Bryan Ackerlund	3992 N Parkside Dr Hoffman Estates, IL 60192
OWNER	BRITTANY & BRYAN ACKERLUND	3992 N PARKSIDE DR HOFFMAN ESTATES, IL 60192

3992 N. Parkside Drive – Setback Variance

Owner: Bryan & Brittany Ackerlund

Pre-application meeting: Kevin Anderson

Statement of Awareness: Attached to planning project

Owner Consent for Application: Attached to planning project

Plat of Survey & Legal Description: Attached to planning project

Technical Plans: Attached to planning project

Project Narrative: See below

Standards Form: See below

Project Narrative

The variance we are petitioning is for a side yard setback as part of a residential addition and remodel project. The scope of the project will involve extending the front of the home forward with a basement, 1st story, and 2nd story, and the addition will extend above the existing garage. On the left side of the home, a 3rd car garage will be added. The interior of the home will also be remodeled to update finishes, room sizes, and overall flow of the home.

As part of the addition, the corner of the proposed structure would extend slightly into the side yard setback on the north side of the home. The current zoning for the property is R-5, which requires “the minimum side yard setback for one-family detached dwellings to be a total of 15 feet for both side yards. The combined side yards of any two adjacent lots shall be not less than 15 feet”. The proposed addition would reduce the setback to the north to 7’-3”. Combined with the setback to the south, the total side yard setback would be 12’-3” instead of the 15’ prescribed in the code. The neighboring structure to the north is setback 15’ from the common property line, so even with the reduced setback we are seeking, the combined distance between adjacent structures would be 22’-3”.

Throughout the design process numerous iterations were developed with the intent of mitigating the need for a variance, however, each one proved to be limiting to overall design, function, and flow throughout the home. Also, it would create a hardship with the increased costs of the building materials because of added design complexities to work around the setback.

The materials of the project will be similar to the existing home. The exterior will be LP Smartside siding with some stone accents on the front elevation. The roof will be architectural style shingles and the windows will be vinyl. The structure will not require any public utilities to be moved or relocated but will require an upsized domestic water service to accommodate the added plumbing fixture count and the gas meter will be shifted to the new exterior foundation.

The total cost of the project is estimated to be around \$200,000. I will be the general contractor, and the work will be completed with a mix of hired sub-contractors and myself. In my former employment, I was a general contractor specializing in projects just like this, so I have the knowledge and experience to see its successful completion.

Standards of Variation

1. The particular physical surroundings and shape of topographical conditions of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out. Please provide an explanation.

Since the property lines narrow to the front yard, it limits the overall size of what can be built and function well on the property. Multiple iterations of plans were considered to attempt to avoid a variance petition, however, each one proved to be limiting to overall design, function, and flow throughout the home. Also, it would create a hardship with the increased costs of the building materials because of added design complexities.

2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification. Please provide an explanation.

Generally, the shape of our lot in the front is the limiting factor in this variance application. In order for other properties to seek this type of variance they would need to have the same style home, orientation, and the same property line conditions.

3. The purpose of the Variation is not based exclusively upon a desire to increase the value of the property. Please provide an explanation.

The main reason for seeking the variance is to provide ample living space for our family's needs. Due to the increased size of our family and the need for more space, it was apparent we needed to move or add on. We absolutely love our lot and neighborhood and want to stay there to continue raising our kids in the home we dreamed of. This is why we are looking for the variance. Due to the tapering of the property lines, the front yard narrows. By

obtaining the variance, it will provide for a much better flow throughout the home and usability.

4. The alleged difficulty or hardship has not been created by any person presently having an interest in the property; Please provide an explanation.

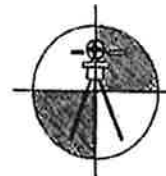
As mentioned in the previous response, the property lines taper to the front yard, making it difficult to utilize the property fully.

5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. Please provide an explanation.

The variation will have no negative impact on the neighboring properties and area. Grading conditions will be generally the same as they are currently. Ample distance will still remain between this home and the neighboring residence. The neighboring structure is 15' to the common property line and there will be over 7' from the property line to the nearest point on our home. Meaning there will be over 22' between adjacent structures. The addition will not go past the front yard setback.

6. The proposed variation will not impair an adequate supply of light and air to adjacent properties, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood. Please provide an explanation.

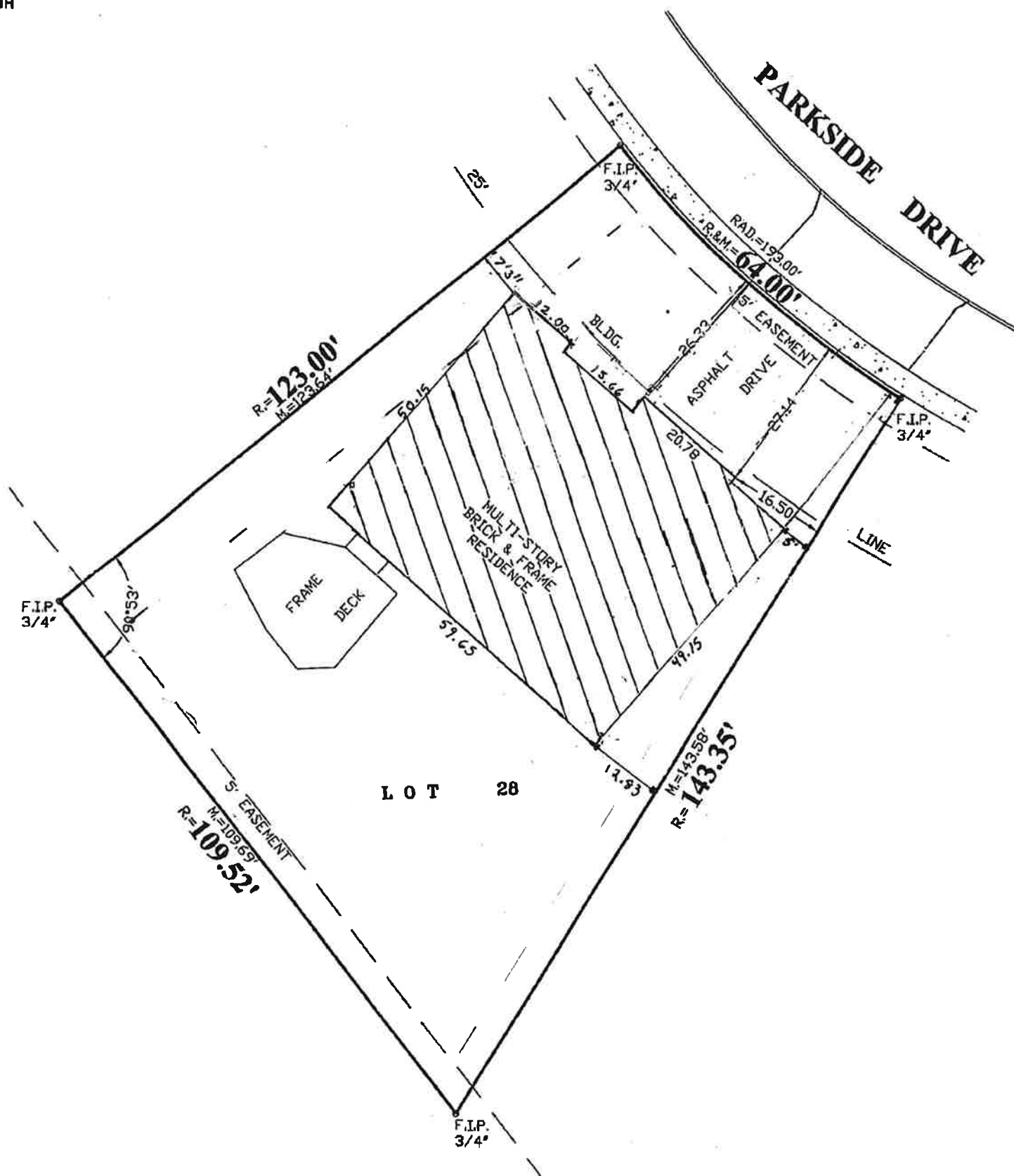
Only a very minimal area of the structure will be extending into the side yard setback. At its closest point there will be over 22' separation between our home and the neighbor. There will be no negative impacts to light or air and exceeds the building/fire code requirements for separation between structures. I would expect the proposed structure will be only an added value to the surrounding properties and will have no diminishing impact.



LOT 28 IN BLOCK 2 IN POPLAR HILLS UNIT ONE, BEING A SUBDIVISION OF PARTS OF THE SOUTHEAST 1/4 OF SECTION 24 AND NORTHEAST 1/4 OF SECTION 25, BOTH IN TOWNSHIP 42 NORTH, RANGE 9,



ASSUMED NORTH



Ordered by: NOBLE & WELKER

Order No: 110706

Base Scale: 1 inch = 20 feet

Date: JULY 8, 2011

Address: 3992 N. PARKSIDE DRIVE
HOFFMAN ESTATES, ILLINOIS

*COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE
REPORT ANY DIFFERENCE. FOR BUILDING LINE AND OTHER
RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT,
DEED, CONTRACT AND ZONING ORDINANCE.
*DO NOT SCALE DIMENSIONS FROM THIS PLAT.
*NO COPIES SHALL BE MADE WITHOUT PERMISSION.

COPYRIGHT © 2011

LEGEND

F.I.P.= FOUND IRON PIPE
S.I.P.= SET IRON PIPE
F.I.R.= FOUND IRON ROD
R.= RECORD DIMENSION
M.= MEASURED DIMENSION
RAD.= RADIUS
P.U.E.= PUBLIC UTILITY EASEMENT
B.S.L.= BUILDING SETBACK LINE
D.E.= DRAINAGE EASEMENT

 = METAL FENCE
 = WIRE FENCE
 = WOOD FENCE
 = CHAIN LINK FENCE

 = CONCRETE
 = BRICK

NOT VALID UNLESS EMBOSSED

STATE OF ILLINOIS)
COUNTY OF COOK) SS

I, JAMES M. ELLMAN LTD. DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY SUPERVISION AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

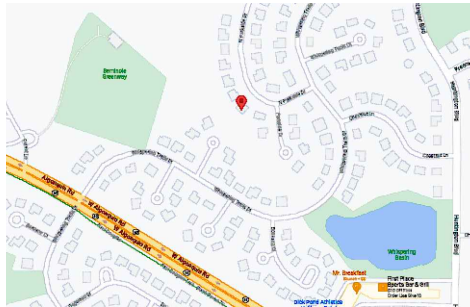
BY: James M. Ellison
ILLINOIS PROFESSIONAL LAND SURVEYOR
LICENSE NO. 184-002744
(35-002158)
EXPIRES 11/30/2011



ACKERLUND RESIDENCE

3992 N. PARKSIDE DR.

HOFFMAN ESTATES, ILLINOIS 60192



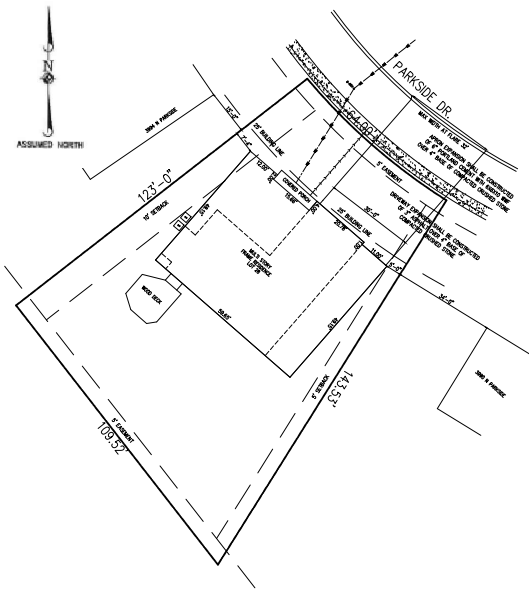
LOCATION MAP



AERIAL IMAGE



STREET VIEW



SITE PLAN

SCALE: 1/64" = 1'-0"

AREA CALCULATIONS:	
FIRST FLOOR	=1,741 SQUARE FEET
SECOND FLOOR	=2,117 SQUARE FEET
TOTAL HABITABLE	=3,858 SQUARE FEET
UNFINISHED BASEMENT	=1,142 SQUARE FEET
CRAWL SPACE	=497 SQUARE FEET
GARAGE	=707 SQUARE FEET
COVERED FRONT PORCH	=78 SQUARE FEET

SHEET INDEX	
SHEET NUMBER	SHEET DESCRIPTION
C	LOCATION MAP/ AERIAL IMAGE
A1	DEMOLITION PLAN
A2	FOUNDATION PLAN
A3	BASEMENT FLOOR PLAN
A4	1ST FLOOR PLAN
A5	2ND FLOOR PLAN
A6	ROOF PLAN / WALL SECTION
A7	ELEVATIONS
P1	PLUMBING DIAGRAMS
E1	BASEMENT ELECTRICAL PLAN
E2	1ST FLOOR ELECTRICAL PLAN
E3	2ND FLOOR ELECTRICAL PLAN
M1	BASEMENT MECHANICAL PLAN
M2	1ST FLOOR MECHANICAL PLAN
M3	2ND FLOOR MECHANICAL PLAN
N	NOTES

LUMBER SPECIFICATIONS:
SPECIES: S-P-F MAUNE, LVL BEAMS
GRADE: NUMBER 2 1.8E MICROLAM LVL

WINDOW U-FACTOR:
MAXIMUM 0.30

DESIGN LOADS:
ROOF FRAMING 30 PSF LIVE
10 PSF DEAD
FLOOR 40 PSF LIVE
10 PSF DEAD
WALLS 10 PSF DEAD

FIRE SPRINKLER NOTE:
PRIOR TO ROUGH INSPECTIONS, THE FIRE SPRINKLER
CONTRACTOR MUST BE ON FILE WITH THE BUILDING DEPARTMENT.
SPRINKLER CONTRACTOR TO SUBMIT A SEPARATE FIRE
SPRINKLER PERMIT.

THE BUILDING IS TO BE CONSTRUCTED WITH AN APPROVED
AUTOMATIC FIRE SPRINKLER SYSTEM THAT MEETS THE
STANDARDS OF NFPA 13 OR OTHER NFPA STANDARDS SPECIFIED
BY THE AHI.

SCOPE OF WORK:
THIS PROJECT WILL INVOLVE AN ADDITION AND REMODEL. ALL
ROOFS WILL BE REMOVED, THE FRONT OF THE HOUSE WILL BE
EXTENDED FORWARD WITH A BASEMENT, 1ST, AND 2ND STORY,
AND THE LEFT SIDE OF THE HOME WILL BE REBUILT TO
ELIMINATE THE SPLIT LEVEL AND CREATE A FULL 1ST AND 2ND
STORY HOME. A 2ND STORY WILL ALSO BE BUILT OVER THE
CURRENT GARAGE AND THE LEFT SIDE OF THE HOME WILL BE
BUMPED OUT WITH A 3RD CAR GARAGE AND 1-STORY LIVING
SPACE ADDITION.

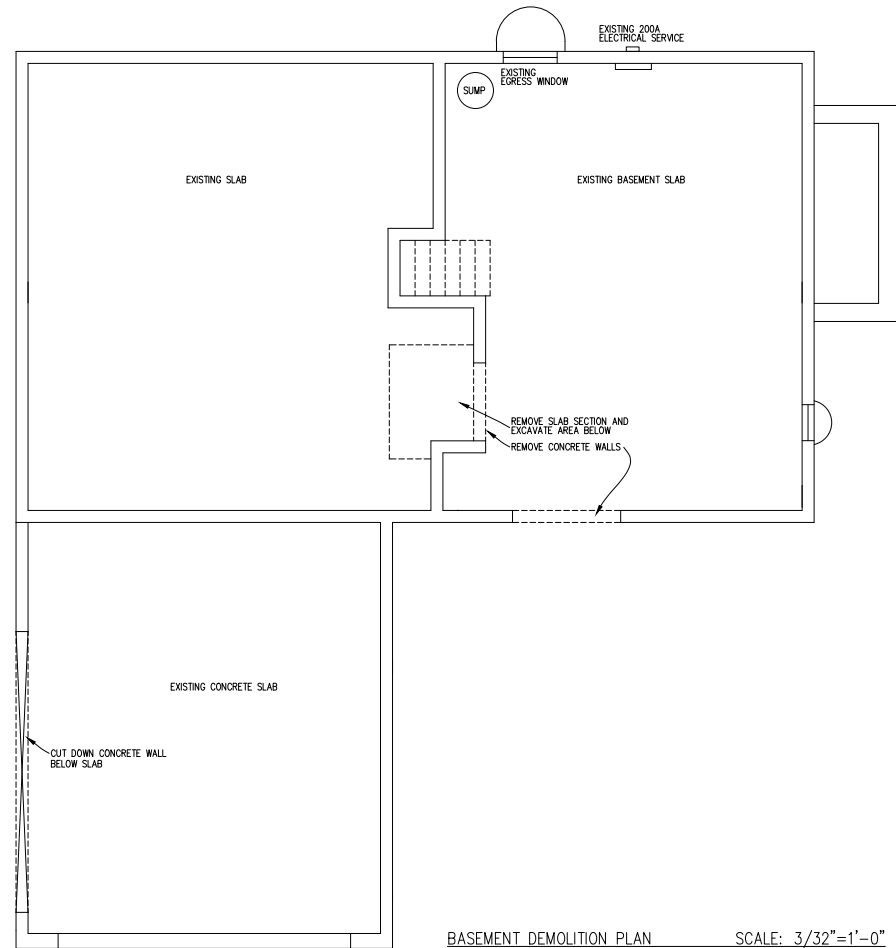
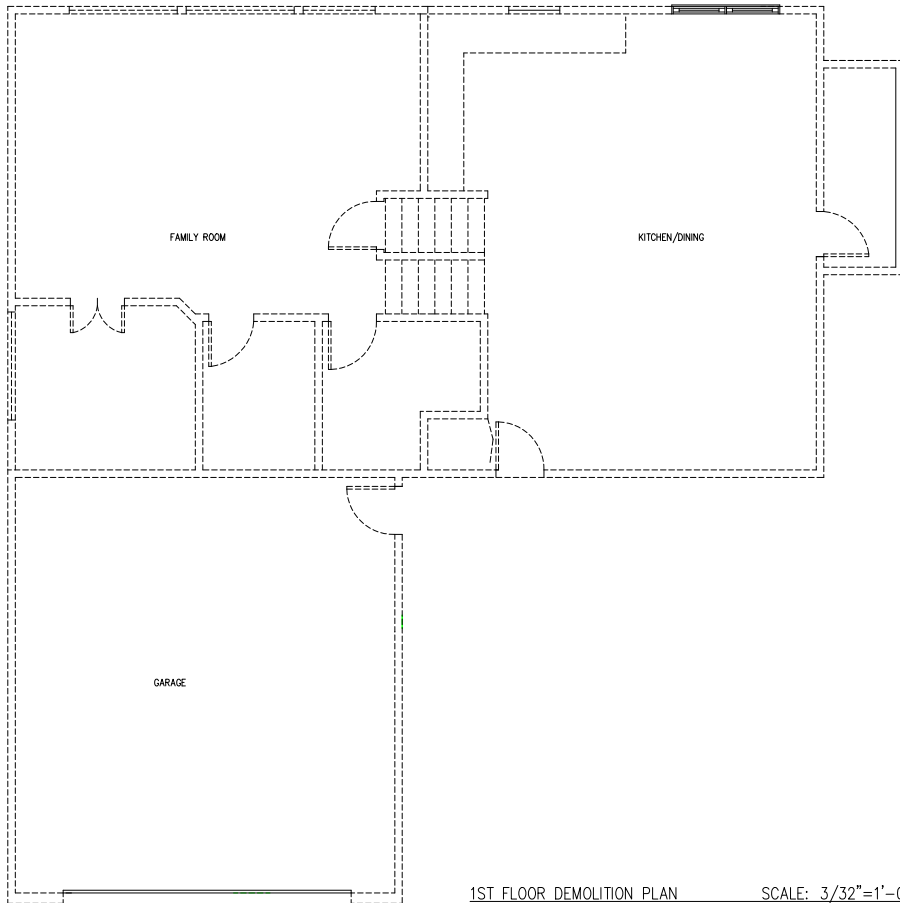
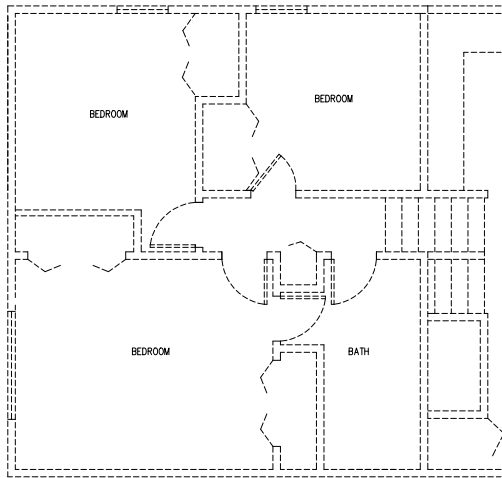
BUILDING CODES:
HOFFMAN ESTATES BUILDING CODES
2021 INTERNATIONAL RESIDENTIAL CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL FUEL GAS CODE
2021 INTERNATIONAL FIRE CODE
2020 NATIONAL ELECTRIC CODE
ILLINOIS STATE PLUMBING CODE
ILLINOIS STATE ENERGY CONSERVATION CODE

ENERGY CODE REQUIREMENTS OF BLOWER DOOR AND DUCT
TIGHTNESS TESTING ARE REQUIRED.

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DATE
9/12/2023
9/19/2023
11/21/2023
1/29/2024
9/8/2025

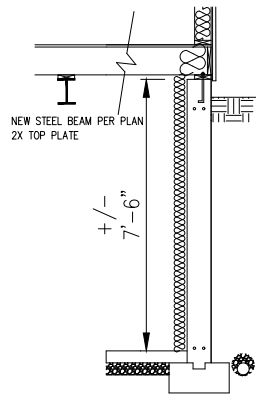
C



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 9/19/2023
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A1



TYPICAL FOUNDATION

2X6" WOLM. PLATE W/ 1/2" DIA. X 10" A.B. @ 6' O.C.
1" @ CORNERS / 2 PER PLATE MIN.

SILL SEALER

10" CONCRETE BENCH WALLS W/ 2) #5 REBAR TOP & BOTTOM

R-15 INSULATION CONTINUOUS

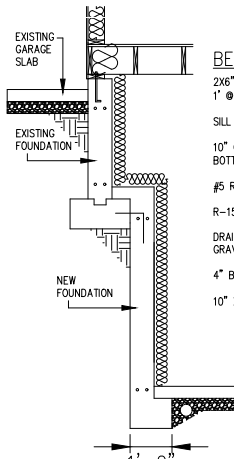
DRAIN TILE CONNECT TO EXISTING - EMBED IN CRUSHED GRAVEL

DAMP-PROOFING EXTERIOR WALL

4" BASEMENT SLAB W/ 6X6 WWF ON 4" CRUSHED GRAVEL

10" X 20" CONCRETE FTG W/ KEY

FOUNDATION WALL SECTION SCALE: 3/16"=1'-0"



BENCH WALL FOUNDATION

2X6" WOLM. PLATE W/ 1/2" DIA. X 10" A.B. @ 6' O.C.
1" @ CORNERS / 2 PER PLATE MIN.

SILL SEALER

10" CONCRETE BENCH WALLS W/ 2) #5 REBAR TOP & BOTTOM

#5 REBAR BENT HORIZONTAL AND VERTICAL 16" O.C.

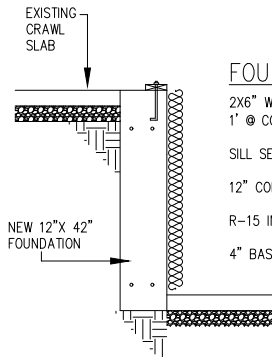
R-15 INSULATION CONTINUOUS

DRAIN TILE CONNECT TO EXISTING - EMBED IN CRUSHED GRAVEL

4" BASEMENT SLAB W/ 6X6 WWF ON 4" CRUSHED GRAVEL

10" X 14" CONCRETE FTG W/ KEY

BENCH WALL SECTION SCALE: 3/16"=1'-0"



FOUNDATION DETAIL

2X6" WOLM. PLATE W/ 1/2" DIA. X 10" A.B. @ 6' O.C.
1" @ CORNERS / 2 PER PLATE MIN.

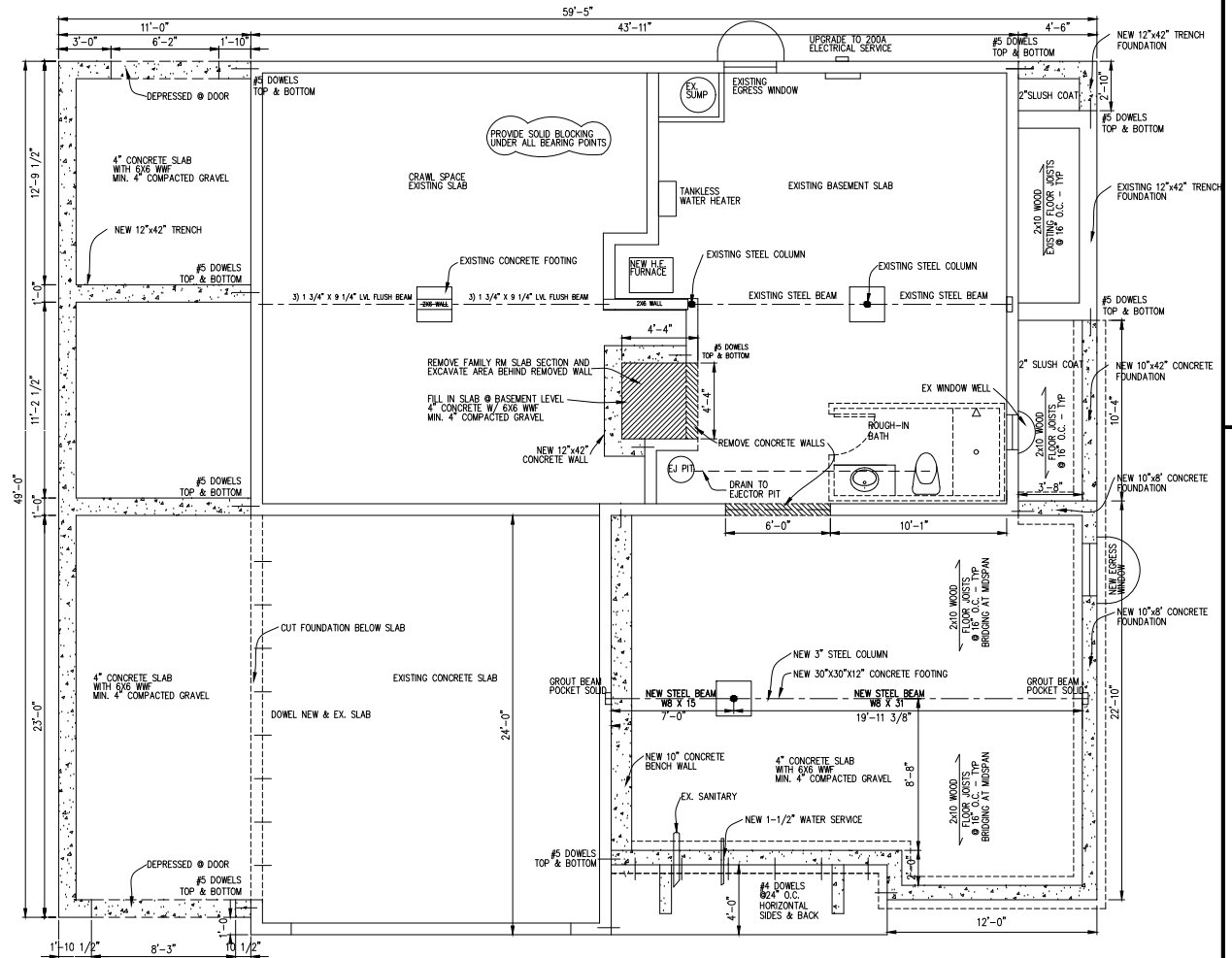
SILL SEALER

12" CONCRETE WALLS W/ 2) #5 REBAR TOP & BOTTOM

R-15 INSULATION CONTINUOUS

4" BASEMENT SLAB W/ 6X6 WWF ON 4" CRUSHED GRAVEL

CRAWL/BASEMENT WALL SECTION SCALE: 3/16"=1'-0"



FOUNDATION PLAN SCALE: 3/32"=1'-0"

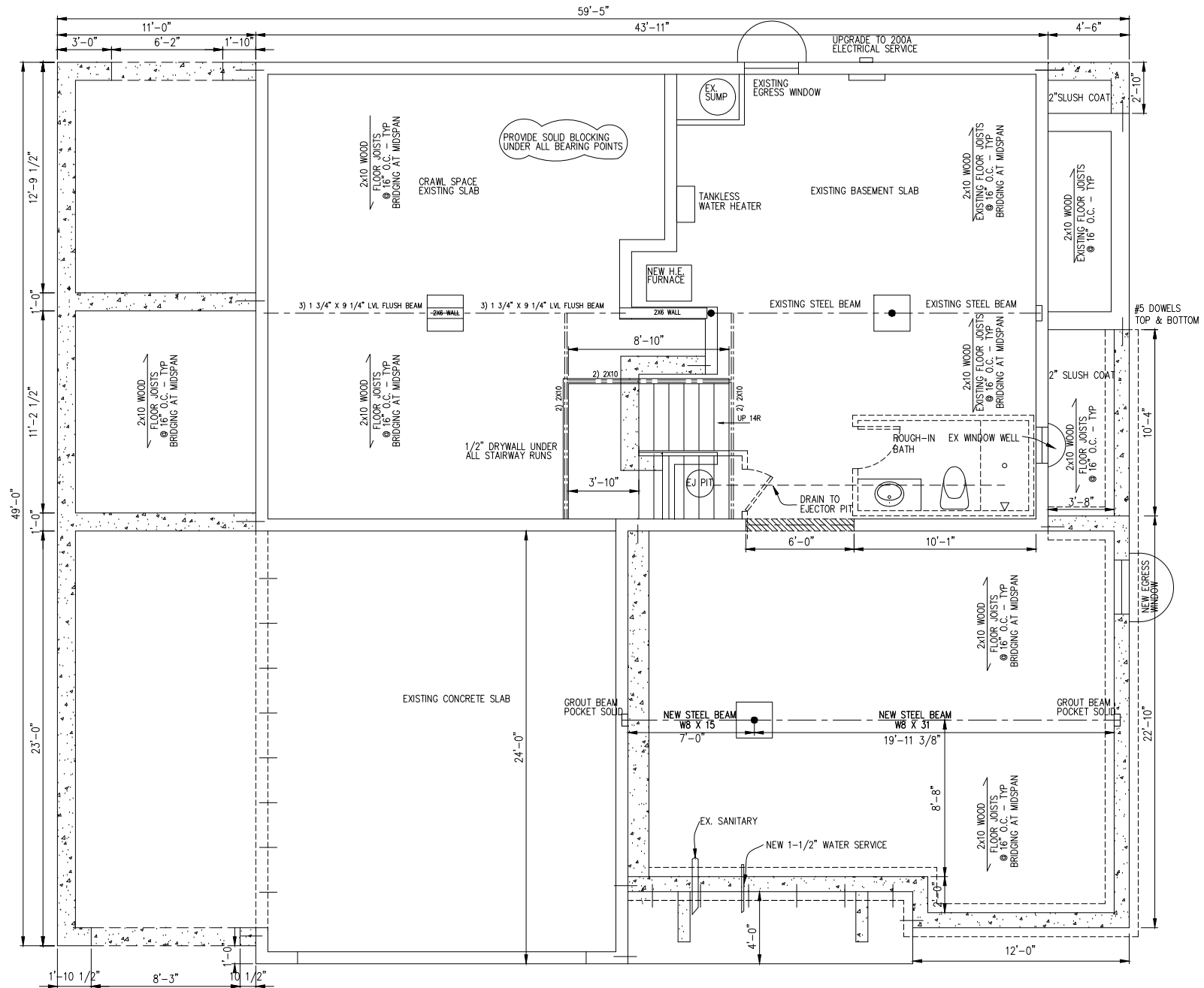
GENERAL STEEL NOTES:

1. STEEL WORK SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AS ADOPTED BY THE A.I.S.C.
2. CONNECTIONS SHALL BE BOLTED OR WELDED. BOLTS SHALL CONFORM TO ASTM A323 AND BE 3/4" DIAMETER UNLESS NOTED OTHERWISE.
3. ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATION A-36. STEEL FOR PIPE COLUMNS SHALL BE OF EQUIVALENT CAPACITY TO ASTM A-501.
4. ALL STEEL FLITCH PLATES SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-36 AND BE SHOP DRILLED FOR STAGGERED BOLTING.
5. ALL STRUCTURAL STEEL BEAMS, COLUMNS, FLITCH PLATES, BOLTS, AND SHIMS SHALL HAVE A SHOP APPLIED COAT OF RUST INHIBITING PAINT.
6. STEEL FABRICATOR TO SUPPLY ALL NECESSARY BOLTS, FLANGES, SEAT ANGLES, AND SHIMS NECESSARY FOR PROPER INSTALLATION.
7. STEEL BASEMENT COLUMNS SHALL REST ON STACKED STEEL SHIMS NOT TO EXCEED 2" IN HEIGHT. SETTING STEEL COLUMN ON CHUNKS OF BRICK SHALL BE PROHIBITED.
8. ALL HOLES IN ALL CONNECTIONS SHALL RECEIVE A BOLT AND NUT AND ALL NUTS SHALL BE FIRMLY TIGHTENED PRIOR TO IMPOSING LOADING FROM ABOVE. MIS-ALIGNED CONNECTIONS SHALL BE FIELD-DRILLED AS REQUIRED TO INSERT ALL BOLTS OR BE FIELD-WELDED TO REPLACE SUCH BOLTS.
9. ALL BEARING POCKETS IN CONCRETE OR MASONRY TO BE GROUTED SOLID.
10. AS NECESSARY FOR ERECTION AND FABRICATION STEEL FABRICATOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE GENERAL CONTRACTOR PRIOR TO FABRICATION.
11. ALL UNCONCEALED INSULATION IN BASEMENT SHALL BE LISTED FOR EXPOSED USE.
12. MINIMUM BASEMENT CEILING HEIGHTS SHALL BE 6'-4" UNDER BEAMS/ORDERS.

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A2



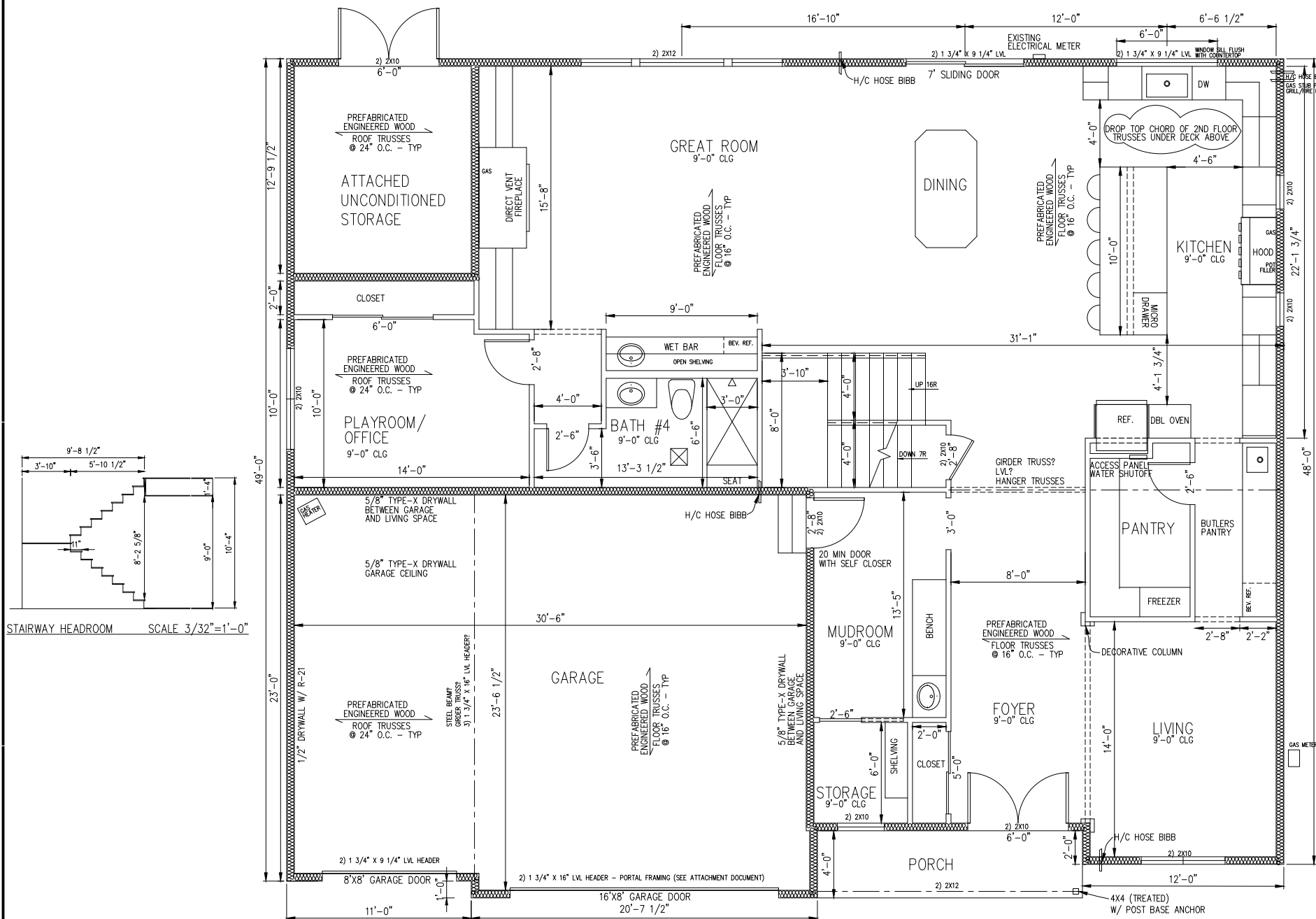
BASEMENT FLOOR PLAN

SCALE: 1/8"=1'-0"

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9/8/2025

A3



WALL BRACING

ALL EXTERIOR WALLS TO BE CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING (CS-WSP)

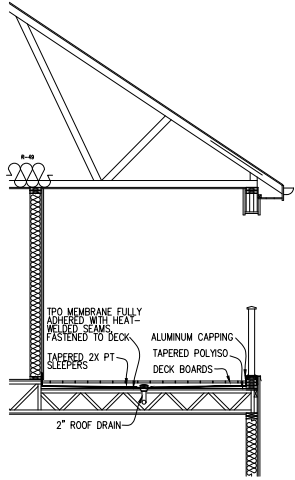
GARAGE DOOR OPENING FRAMING SHALL BE CONTINUOUS PORTAL FRAME SHEATHING (CS-PF)

*VERIFY WINDOW & EXTERIOR DOOR SIZES, LOCATION, AND HEIGHTS PRIOR TO ROUGH FRAMING

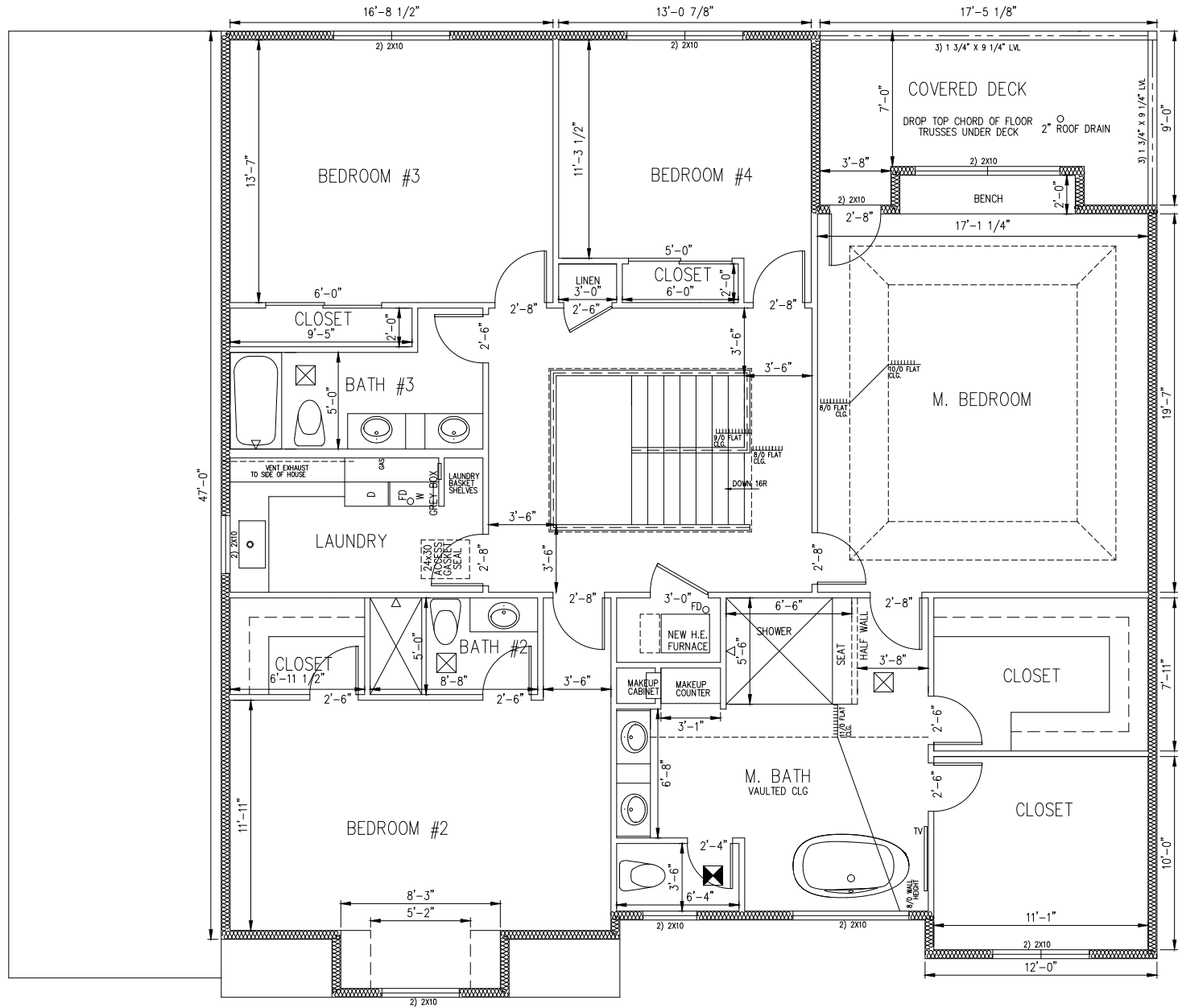
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A4



COVER DECK DETAIL SCALE 1/8"=1'-0"



*VERIFY WINDOW & EXTERIOR DOOR SIZES, LOCATION, AND HEIGHTS PRIOR TO ROUGH FRAMING

WALL BRACING

ALL EXTERIOR WALLS TO BE CONTINUOUS
WOOD STRUCTURAL PANEL SHEATHING (CS-WSP)

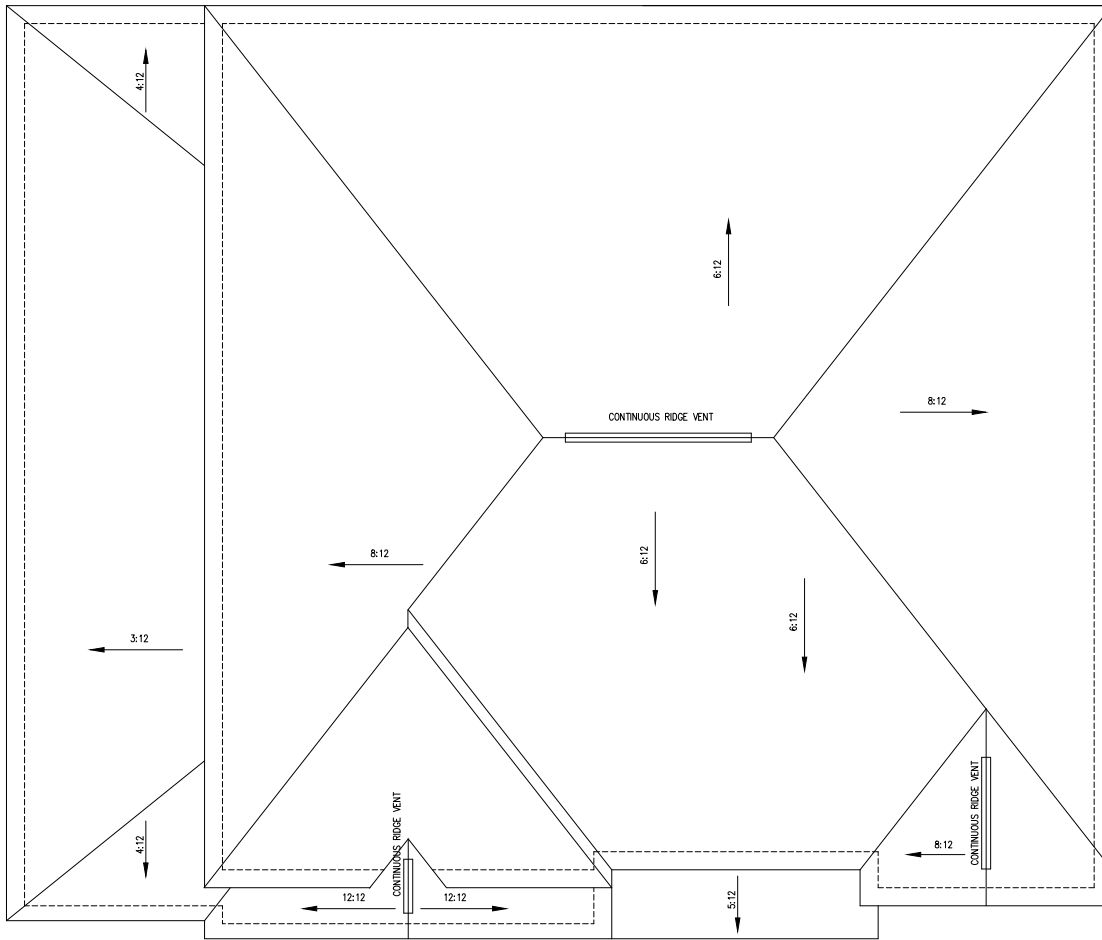
GARAGE DOOR OPENING FRAMING SHALL BE
CONTINUOUS PORTAL FRAME SHEATHING (CS-PF)

2ND FLOOR PLAN SCALE: 1/8"=1'-0"

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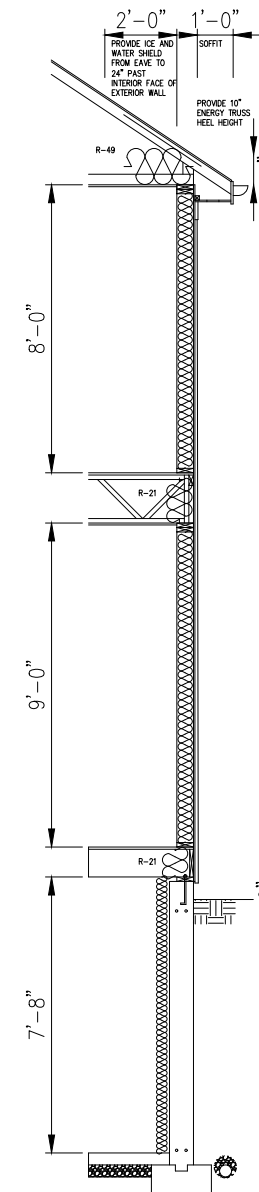
A5



ROOF PLAN SCALE: 3/32"=1'-0"

PRE-ENGINEERED WOOD TRUSSES:

- ALL ROOF TRUSSES SHALL CONFORM TO THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED TRUSS CONSTRUCTION" (ANSI/TPI). THE TRUSS FABRICATOR SHALL SUBMIT FOR APPROVAL DETAILED SHOP DRAWING SHOWING TRUSS CONFIGURATION, ORIENTATION, SPACING, AND ANY REQUIRED TRUSS OR TRUSS CONNECTION. THE TRUSS FABRICATOR SHALL ALSO SUBMIT TRUSS DESIGN CALCULATIONS, SIGNED AND SEALED BY A REGISTERED DESIGN PROFESSIONAL, REGISTERED IN THE STATE OF ILLINOIS, PRIOR TO CONSTRUCTION.
- ALL PLATES SHALL MEET THE "DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES" OF THE TRUSS PLATE INSTITUTE.
- THE TRUSS FABRICATOR SHALL BE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL TRUSS DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- ALL TRUSS SPACING SHOWN IN THE DRAWINGS ARE FOR ILLUSTRATIVE AND BIDDING PURPOSES ONLY. THE TRUSS FABRICATOR SHALL SPACE THE TRUSSES AS REQUIRED BY THE DESIGN TO SUPPORT THE SPECIFIED DESIGN LOADS.
- EXCEPT WHERE ADDITIONAL AND/OR SPECIFIC DESIGN LOADS ARE SPECIFIED ON THE STRUCTURAL DRAWINGS, WOOD TRUSSES SHALL BE DESIGNED AS SIMPLY SUPPORTED, UNIFORMLY LOADED TRUSSES WITH THE TOP CHORD BRACED AGAINST LATERAL BUCKLING. THE UNIFORM DESIGN LOADS SHALL BE THE UNIFORM LOADS SPECIFIED TIMES THE SPACING OF THE TRUSSES, AS DETERMINED BY THE TRUSS FABRICATOR. ALL ROOF TRUSSES AND TRUSS GRIDERS, UNLESS NOTED OTHERWISE, SHALL BE DESIGNED TO SUPPORT THE LIVE (OR SNOW) DESIGN LOADS WITHOUT EXCEEDING A DEFLECTION OF $1/240$, AND THE TOTAL OF ALL DESIGN LOADS WITHOUT EXCEEDING A DEFLECTION OF $1/180$.
- THE TRUSS FABRICATOR SHALL DESIGN AND SPECIFY ALL REQUIRED PERMANENT TRUSS BRACING AND/OR BRIDGING TO SATISFY THE GOVERNING BUILDING CODE.
- THE TRUSS FABRICATOR SHALL DESIGN ALL ROOF TRUSSES AND TRUSS GRIDERS, AND SHALL DESIGN AND SPECIFY ANY REQUIRED ADDITIONAL BRIDGING AND/OR BRACING, FOR THE NET UPLIFT FORCES INDUCED BY WIND LOADING IN ACCORDANCE WITH THE GOVERNING BUILDING CODE. NET UPLIFT FORCES FOR ROOF TRUSSES AND TRUSS GRIDERS SHALL BE DETERMINED FROM THE COMPONENTS AND CLADDING PRESSURES PRESENTED IN THE BUILDING CODE, MINUS ANY RESISTING DEAD LOAD AND THE SELF WEIGHT OF THE ROOF TRUSS OR TRUSS GRIDER.
- THE TRUSS FABRICATOR SHALL VERIFY THE CAPACITY OF ALL TRUSSES TO SUPPORT SPECIFIED CONCENTRATED LOADS OF MECHANICAL AND OTHER EQUIPMENT, IN ACCORDANCE TO THE UNIFORM DESIGN LOADS.
- ADDITIONAL DESIGN LOADS FROM ARCHITECTURAL FEATURES, ROOF TOP EQUIPMENT, OR ANY OTHER CONCENTRATED LOADS ARE SHOWN AT APPROXIMATE LOCATIONS IN THE DRAWINGS AND SHALL BE CONSIDERED AS COLLATERAL LOADS. THESE LOADS SHALL BE CONSIDERED IN THE DESIGN OF THE WOOD TRUSSES AND TRUSS GRIDERS, IN ADDITION TO THE SPECIFIED UNIFORM LOADS. COORDINATE WITH THE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS AND WEIGHTS OF ALL EQUIPMENT. WHERE SUCH LOADS DO NOT OCCUR AT THE PANEL POINTS OF THE WOOD TRUSSES AND TRUSS GRIDERS, THE TRUSS CHORD SHALL BE DESIGNED FOR THE BENDING EFFECTS OF THE LOAD(S).
- ALL ITEMS SUCH AS MECHANICAL EQUIPMENT, DUCT WORK, PIPES, CEILING SUPPORTS, FIXTURES, DISPLAYS, ETC. WHICH ARE TO BE SUPPORTED BY, OR HUNG FROM WOOD TRUSSES OR TRUSS GRIDERS SHALL BE FRAMED WITH AUXILIARY FRAMING TO THE PANEL POINTS OF THE WOOD TRUSS OR TRUSS GRIDERS WHEN THE CONCENTRATED LOAD EXCEEDS 50 LBS. METHODS OF FRAMING THAT INDUCE BENDING IN THE WOOD TRUSS OR TRUSS GRIDER CHORDS OR WEB MEMBERS WILL NOT BE PERMITTED, UNLESS SPECIFICALLY DESIGNED FOR BY THE TRUSS FABRICATOR.
- THE TRUSS FABRICATOR SHALL DESIGN AND SPECIFY ALL TRUSS TO TRUSS CONNECTIONS.
- ALL TRUSS DESIGNS SHALL BE APPROVED BY THE REGISTERED DESIGN PROFESSIONAL OF RECORD PRIOR TO TRUSS FABRICATION.
- NO MODIFICATIONS TO WOOD TRUSSES OR TRUSS GRIDERS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE TRUSS FABRICATOR'S REGISTERED DESIGN PROFESSIONAL.
- UNLESS OTHERWISE NOTED, ALL WOOD TRUSSES AND TRUSS GRIDERS SHALL BE SECURED IN PLACE WITH A MINIMUM OF 3) 18d COMMON NAILS, IN ADDITION TO ANY METAL CONNECTORS SPECIFIED IN THE STRUCTURAL DETAILS.
- PROPER ERECTION AND INSTALLATION OF WOOD TRUSSES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. INSTALLATION OF TRUSSES SHALL CONFORM TO THE "RECOMMENDED DESIGN SPECIFICATIONS FOR TEMPORARY BRACING OF METAL PLATE CONNECTED WOOD TRUSSES" (TPI DSB) AND THE "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" (TPI HIB).
- ALL DAMAGED WOOD TRUSSES AND TRUSS GRIDERS SHALL BE REPAIRED OR REPLACED. THE REGISTERED DESIGN PROFESSIONAL OF RECORD SHALL BE THE SOLE JUDGE AS TO WHETHER A TRUSS, OR TRUSS GRIDER, CAN BE REPAIRED OR MUST BE REPLACED. ALL REPAIRS TO WOOD TRUSSES SHALL BE DESIGNED AND SPECIFIED BY THE TRUSS FABRICATOR'S REGISTERED DESIGN PROFESSIONAL.



TYPICAL WALL SECTION

ROOF CONSTRUCTION

ASPHALT SHINGLES MIN. 115 MPH RATED CLASS C OR BETTER

15LB. FELT

1/2" OSB SHEATHING

ICE & WATER SHIELD ALL VALLEYS & EAVES 24" PAST INTERIOR FACE OF WALL

PRE-ENGINEERED ROOF TRUSSES

HURRICANE CLIPS @ EACH TRUSS TO TOP PLATE

VAPOR BARRIER WARM SIDE OF CEILING

5/8" GYPSUM BD CEILINGS

BLOWN IN INSULATION R-49

AIR BAFFLE BETWEEN EACH TRUSS (MAINTAIN 1-1/2" CLEAR VENT SPACE)

685 SQ. IN. OF EXHAUST REQ. AT OR NEAR RIDGE USE COMBINATION OF RIDGE & ROOF VENTS

CORNICE CONSTRUCTION

2X8 LP SMARTSIDE FASCIA BOARD

LP SMARTSIDE SOFFIT W/ 685 SQ. IN. OF INTAKE VENTS

ALUMINUM GUTTERS AND DOWNSPOUTS

DRIP EDGE AT ALL EAVES AND RAKES

2ND FLOOR WALL CONSTRUCTION

LP SMARTSIDE SIDING

7/16" OSB SHEATHING W/ FACTORY APPLIED HOUSE WRAP (HUBER ZIP OR LP WEATHERLOGIC)

2X6" STUDS @ 16" O.C.

5-1/2" KRAFT FACED BATT INSULATION (R-21)

1/2" GYPSUM BD WALLS

2ND FLOOR CONSTRUCTION

3/4" T&G ADVANTECH OR LP SHEATHING (GLUE & NAIL)

FLOOR TRUSS PER PLAN

5/8" GYPSUM BD CEILINGS

1ST FLOOR WALL CONSTRUCTION

LP SMARTSIDE SIDING (STONE @ FRONT PORCH)

7/16" OSB SHEATHING W/ FACTORY APPLIED HOUSE WRAP (HUBER ZIP OR LP WEATHERLOGIC)

2X6" STUDS @ 16" O.C.

5-1/2" KRAFT FACED BATT INSULATION (R-21)

1/2" GYPSUM BD WALLS

1ST FLOOR CONSTRUCTION

3/4" T&G ADVANTECH OR LP SHEATHING (GLUE & NAIL)

2X10" FLOOR JOISTS PER PLAN

BRIDGING @ MIDSPAN

FOUNDATION CONSTRUCTION

8" CONCRETE WALLS W/ 2) #5 REBAR TOP & BOTTOM

2X6" WOLM. PLATE W/ 1/2" DIA. X 10" A.B. @ 6" O.C. 1" @ CORNERS / 2 PER PLATE MIN.

SILL SEALER

R-15 INSULATION CONTINUOUS

DRAIN TILE CONNECT TO EXISTING - EMBED IN CRUSHED GRAVEL

DAMPPOOFING EXTERIOR WALL

4" BASEMENT SLAB W/ 6X8 WWF ON 4" CRUSHED GRAVEL

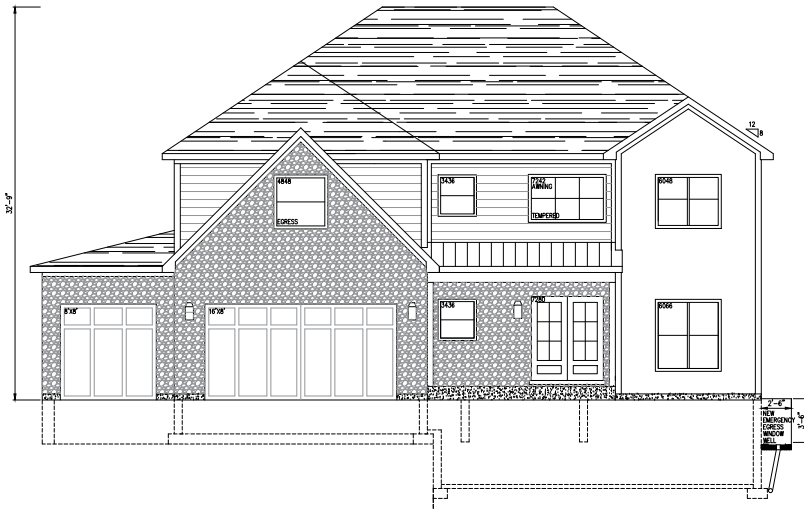
10" X 20" CONCRETE FTG W/ KEY

SCALE: 3/16"=1'-0"

ACKERLUND RESIDENCE
3992 N. PARKSIDE DR.
HOFFMAN ESTATES, ILLINOIS 60192

DATE
9/12/2023
9/19/2023
11/21/2023
1/29/2024
9/8/2025

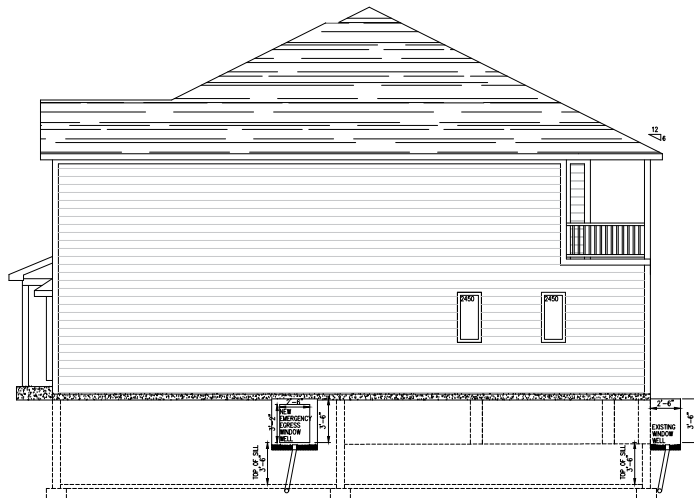
A6



EAST ELEVATION SCALE: 1/16"=1'-0"



WEST ELEVATION SCALE: 1/16"=1'-0"



NORTH ELEVATION SCALE: 1/16"=1'-0"



SOUTH ELEVATION SCALE: 1/16"=1'-0"

*VERIFY WINDOW & EXTERIOR DOOR SIZES, LOCATION, AND HEIGHTS PRIOR TO ROUGH FRAMING

ACKERLUND RESIDENCE
3992 N. PARKSIDE DR.
HOFFMAN ESTATES, ILLINOIS 60192

DATE
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9/19/2023
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1/29/2024
9/8/2025

A7

Daytime Rendering



Nighttime Rendering



STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

DATE: 9/8/2025

THIS IS TO CERTIFY THAT THE UNDERSIGNED, BEING A PROPERTY OWNER DIRECTLY AFFECTED, IS AWARE OF THE INTENTIONS OF:

Bryan Ackerlund

Petitioner Name

3992 N Parkside Dr.

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

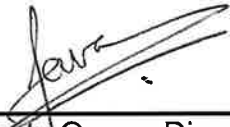
Room addition

ON PROPERTY LOCATED AT:

3992 N Parkside Dr.

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.


Signature of Property Owner Directly Affected

3994 N Parkside Dr.
Address of Property Owner Directly Affected

This form is to be completed by the property owner directly affected by the petitioner before the Planning and Zoning Commission and submitted with the Residential Variation Application.

The "property owner affected by the petition" may appear and testify for or against the petition. The date and time of the hearing will be mailed to said property owner.

Should assistance be required in determining property owners affected or in obtaining signatures, contact the Planning Division, 847/781-2660.