



AGENDA
Plan Commission
Regular Meeting
Village Hall

1900 Hassell Road, Hoffman Estates, IL 60169

March 18, 2026 **Council Chambers** **6:30 PM**

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **APPROVAL OF MINUTES**
 - A. Plan Commission 02-18-2026
4. **CHAIRPERSON'S REPORT**
5. **NEW BUSINESS**
 - A. Public Hearings
 1. Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road
6. **STAFF DISCUSSION**
 - A. 2026 Zoning Map Update (Information Only)
7. **PUBLIC COMMENT**
8. **ADJOURNMENT**

The next regular Plan Commission meeting is scheduled for **Wednesday, April 01, 2026 at 6:30 p.m.**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



MINUTES
Plan Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

February 18, 2026

Council Chambers

6:30 PM

1. CALL TO ORDER/ROLL CALL

Chairperson Chhatwani called the meeting to order at 06:30 PM.

Commissioners Present: Kendra Alexander, Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Minerva Milford, Nancy Trieb

Commissioners Absent: Excused: John Wise | Unexcused: Daniel Lee

A quorum was present.

Administrative Personnel Present: Kevin Anderson, Planner II; Daisy Dose-Adamzadeh, Planner II

2. PLEDGE OF ALLEGIANCE TO THE FLAG

3. APPROVAL OF MINUTES

A. Plan Commission 01-07-2026

Motion by Commissioner Harner, seconded by Commissioner Henderson, to approve the January 07, 2026, regular meeting minutes. Voice vote taken. Ayes - 7 | Nays - 0 | (Abstain: None). Motion Passed.

4. CHAIRPERSON'S REPORT

Chairperson Chhatwani stated the Special Use for a Planned Development and Preliminary and Final Plat of Subdivision for Higgins Crossings located at 125 and 155 W. Higgins Road was approved by the Village Board on February 02, 2026.

5. NEW BUSINESS

A. Public Hearings

1. A Special Use to Natura Academy to permit a private education facility for the property at 2357 Hassell Road

Motion by Commissioner Harner, seconded by Commissioner Henderson, to open the Public Hearing. Voice vote taken. Ayes - 7 | Nays - 0 | (Abstain: None). Motion Passed.

Chairperson Chhatwani swore in the petitioners.

Rabije Perezic (Natura Academy)
Dana Fair (Natura Academy)
Mary Mangione (Natura Academy)

The petitioners presented an overview of the project.

Kevin Anderson presented an overview of the staff report.

Commissioner Alexander had no questions.

Commissioner Trieb had no questions, but complimented the petitioners on the integration between the two schools.

Commissioner Harner had no questions.

Commissioner Henderson had no questions.

Commissioner Milford asked if what the petitioners are proposing is due to increased enrollment or do they anticipate increased enrollment, or are they introducing this due to the existing enrollment. Ms. Fair stated it is a combination of factors — this is a different school with a different population being served, and part of it is passion for serving students with significant challenges.

Commissioner Milford asked why the petitioners chose not to provide a playground. Ms. Perezic stated that at this time, they will not be moving forward with a playground, but they are looking into partnering with Advance Preschool. Mr. Anderson stated there was a play space approved north of the detention basin on the property west of the subject location over three years ago, which would have to be brought back to the Commission for approval if they decide to revisit utilizing this space, but since they have a working relationship with Advance Preschool, which occupies a large portion of the neighboring property for school uses, and this location also being for school use, it is likely that the Commission may see the playground space being presented again in the future.

Commissioner Milford asked about lunchroom facilities available at the school. Ms. Fair stated the gym area would also be utilized as a cafeteria space.

Commissioner Milford asked for an example of off-site activities, as mentioned in the

presentation. Ms. Fair provided an example for students who demonstrate chronic absenteeism or school refusal behavior. An activity might be a community-based or home visit for face-to-face interaction with the student. Ms. Perezic added that this is part of their programming for remote students at which time instruction and therapy can be administered in person.

Commissioner Milford asked about security on site. Ms. Perezic stated that there is a plan for security cameras on the exterior of the school, but not interior cameras, since they have an adequate number of staff that they do not feel is necessary.

Vice Chairperson Bauske commended the petitioners on a thorough presentation and community-based approach. He asked what the petitioners' timeline looks like for this project. Ms. Fair stated they anticipate opening in August 2026 if approved to move forward.

Vice Chairperson Bauske asked the petitioners if they agreed with the conditions of approval in the staff report. Mr. Anderson read the following conditions into the record at the request of the petitioners; The Special Use to operate a private education facility shall be granted solely to Natura Academy; Operations shall significantly conform to the Project Narrative and Program Description included as part of the Petitioner's application; The Special Use shall be established within one year from the date of granting by the Village Board or the special use shall be revoked; No bus parking shall be permitted on site; There shall be no stopping, standing, or stacking of vehicles in the drive aisles or along the curb in the fire lanes. The property owner and petitioner shall manage all taxi and bus operations on the site so as not to disrupt site circulation or block parking areas. The school shall monitor and manage where staff and visitors park to ensure that cars do not interfere with drop-off or pick-up parking. If the Village determines that there are problems, as witnessed by illegal parking or standing on the property, the Village shall have the right to require additional signage, site modifications, or other measures to remedy the problems. Mr. Anderson stated these are similar conditions to which Wallace Academy was approved with. The petitioners answered yes.

Chairperson Chhatwani asked what measures the petitioners are taking to advertise their services / programs. Ms. Fair stated that, following approval by the State, they send informational packets to school districts up to an hour away so they are aware of available programming, and they are also listed on the ISBE website as an approved program.

Chairperson Chhatwani asked about program funding. Ms. Perezic stated funding is a combination of private funding and a loan from the SBA.

Chairperson Chhatwani asked if there were any members of the audience that wished to comment on the request. There were no public comments.

Motion by Commissioner Harner, seconded by Commissioner Henderson, to close the Public Hearing. Voice vote taken. Ayes - 7 | Nays - 0 | (Abstain: None). Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to adopt the Findings of Fact for a Special Use as stated in the February 18, 2026, staff report.

Roll call vote:

Aye: Kendra Alexander, Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard

Henderson, Minerva Milford, Nancy Trieb
Nay: None
Absent: Daniel Lee, John Wise,
Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to recommend to the Village Board approval of a Special Use to Natura Academy for a private education facility at 2357 Hassell Road subject to the conditions stated in the February 18, 2026, staff report.

Roll call vote:
Aye: Kendra Alexander, Adam Bauske, Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Minerva Milford, Nancy Trieb
Nay: None
Absent: Daniel Lee, John Wise,
Motion Passed.

Chairperson Chhatwani stated this recommendation would be presented to the Village Board at the next regular meeting on Monday, March 02, 2026, at 07:00 PM.

6. STAFF DISCUSSION

Daisy Dose-Adamzadeh stated the next regular Plan Commission meeting on March 04, 2026, will be canceled. The next meeting is anticipated to occur on March 18, 2026.

Ms. Dose-Adamzadeh also requested that the Commissioners' completed SEI filing confirmations be sent to her for processing with the Clerk's Office and that a reminder would be sent to each member. Commissioner Harner, Chairperson Chhatwani, and Commissioner Alexander noted they had not received anything from the County. Ms. Dose-Adamzadeh stated she would reach out to the Clerk to determine why the information had not been sent. Chairperson Chhatwani inquired about the due date. Ms. Dose-Adamzadeh said she would confirm the deadline and follow-up with the Commissioners.

7. PUBLIC COMMENT

None.

8. ADJOURNMENT

Motion by Commissioner Harner, seconded by Commissioner Henderson, to adjourn at 07:04 AM. Voice vote taken. Ayes - 7 | Nays - 0 (None) | Abstain - 0 (None). Motion Passed.

Minutes prepared by Marquelle Cnota, Administrative Assistant.

Chairperson's Approval

Date Approved



PLAN COMMISSION STAFF REPORT

Meeting Date: 3/18/2026

From: Kevin Anderson, Planner II

PLN2602-0005

Public Hearing

Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road

REQUEST SUMMARY

Double K & A Inc. dba Rookie's Sports Bar and Grill is seeking a Master Sign Plan Amendment to allow additional wall signs which exceed the allowances of the approved Master Sign Plan.

Location: 4585-4613 W. Higgins Rd.
Property Owner / Applicant: LBX Poplar Creek LLC / DOUBLE K & A INC/ROOKIES 4
Property Size: 27.7 ac.
Zoning / Land Use: CMU - Commercial Mixed Use
Adjacent Properties: North: CMU
West: B-4 Business
South: CMU
East - B-2 Business

BACKGROUND / ANALYSIS

Poplar Creek Crossing shopping center was approved in April 2005. The approval included a Master Sign Plan (Ord. 3723-2005). Pursuant to the approved MSP Section II.C.5, interior tenants within buildings N1 and N2 are restricted to a maximum of 2 wall signs.

In 2025, Rookie's Sports Bar and Grill received permits and expanded into an adjacent tenant space to provide an additional dining and party room. The expanded floor plan provides a separate entrance for private events but is connected internally to the existing restaurant. The expansion creates one tenant space with approximately 90 linear feet of frontage which is restricted by the current Master Sign Plan to one sign on the south (front) facade and one sign on the north (rear) facade of the building. During the building permit review for the expansion, Rookie's considered relocating the existing sign to be centered over the new combined space. However, architectural elements of the building's facade make this option unsuitable. The Petitioner is seeking an amendment to allow a single tenant to have more than one wall sign.



The proposed amendment would only apply to wall sign guidelines for buildings N1 and N2 (4585-4613 W. Higgins Rd). The remainder of the Master Sign Plan requirements and conditions would remain in effect.

The Petitioner proposes to update the MSP language to include the following addition to Section II.C.5:

"Each tenant shall install a maximum of (i) 1 Tenant Wall Sign on the front facade of the portion of the building leased by the tenant (the "Leased Space"); (ii) 1 Tenant Wall Sign on the rear facade of the Leased Space; provided, however, that a tenant of a building on the Retail Site identified as "Building I" may, but shall not be obligated to install a Tenant Wall Sign on the rear facade of its Leased Space. In addition, each tenant shall be allowed to install 1 Tenant Wall Sign on each side facade of the Leased Space, but only if the side facade is an exterior wall; **and (iii) A tenant of a building on Retail Site "N", which contains a leased space of 70 linear feet of frontage or greater, shall be permitted to have 1 additional wall sign on the front facade and 1 additional wall sign on the rear facade of the Leased Space.**"

The Petitioner has submitted plans for the two additional wall signs that would be permitted by the proposed change to the Master Sign Plan. Each sign would be approximately 50 square feet and would meet all other MSP requirements. This request will result in fewer total signs on the building since the applicant occupies more than two tenant spaces.

Public Notice

Public notice was posted in the Daily Herald and mailings were sent to all properties within 300'. No objections have been received.

MOTIONS

The Plan Commission shall make the following motions (a total of 2 motions are required):

1. Adopt the Findings of Fact for a Master Sign Plan as outlined in Exhibit B - Findings & Recommendations Summary.
2. Recommend to the Village Board approval of a Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road subject to the conditions outlined in Exhibit B - Findings & Recommendations Summary.

ATTACHMENTS

1. PC Findings and Recommendations Summary - 4585-4613 W. Higgins Rd - PLN2602-0005
2. Location Map - Poplar Creek Crossing
3. Supporting Documents - Rookie's MSP Amendment
4. Poplar Creek Crossing Master Sign Plan



**PLAN COMMISSION
FINDINGS & RECOMMENDATION SUMMARY**

Meeting Date: 3/18/2026
Prepared By: Kevin Anderson
PLN2602-0005

**Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at
4585 - 4613 W. Higgins Road.**

Findings of Fact – Master Sign Plan

Sec. 9-3-8-13: The Village Board of Trustees is authorized to approve the Master Sign Plan if it is determined that implementation of the Master Sign Plan will:

- (a) Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area.
This request would not result in more signage than would be allowed if the space was occupied by multiple tenants. The signs proposed are in compliance with the size restrictions of the original MSP and would be within the approved MSP sign bands. The proposal will be consistent with the remainder of the development.
- (b) Provide signage consistent with the site plan and architecture of the project;
The signs proposed are in compliance with the size restrictions of the original MSP and would be within the approved MSP sign bands. The proposal will be consistent with the remainder of the development.
- (c) Avoid visual clutter;
The location of the sign will be within the originally approved sign bands.
- (d) Allow visitors, employees and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
The signs would direct customers to the appropriate retail entrance. Signs are consistent with the design requirements of the original MSP.
- (e) Result in a unified theme of signage for the project.
This request would not result in more signage than would be allowed if the space was occupied by multiple tenants. The signs proposed are in compliance with the size restrictions of the original MSP and would be within the approved MSP sign bands. The proposal will be consistent with the remainder of the development.

Recommendations

The Plan Commission shall make the following motions (2 motions required):

1. Adopt the Findings of Fact for Master Sign Plan Amendment, as may be amended may the Plan Commission.
2. Recommend to the Village Board approval of Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road, subject to the following conditions:

- a. A building permit is required.
- b. All window signs must be removed and reinstalled in accordance with the Zoning Code.





4585 - 4613 W HIGGINS RD
PIN: 01-33-301-005-0000



Poplar Creek Prairie Stone Crossing
Shopping Center

4585 - 4613

Legend

-  Subject Property
-  Parcels





VILLAGE OF HOFFMAN ESTATES PLANNING & ZONING APPLICATION SUMMARY

APPLICATION INFORMATION

Project Number:	PLN2602-0005
Project Name:	Poplar Creek Crossing Shopping Center MSP Amendment
Project Application Date:	02/20/2026
Project Manager:	Kevin Anderson

PROJECT TYPE

Master Sign Plan Amendment

SITE INFORMATION

Property Address:	4585 – 4613 W HIGGINS RD
All Included PINs:	01333010050000

PROJECT CONTACTS

Relationship to Project	Name / Firm	Address
APPLICANT	DOUBLE K & A INC / ROOKIES 4	4607 W HIGGINS RD HOFFMAN ESTATES, IL 60192
OWNER	LBX POPLAR CREEK LLC	1427 MAYSON ST NE ATLANTA, GA 30324

STANDARDS OF A MASTER SIGN PLAN

Zoning Code Section 9-3-9-M-13 requires that the Planning and Zoning Commission shall, in making its determination, find that adequate evidence is provided to meet the Standards of a Master Sign Plan. All standards must be answered in full.

1. The Master Sign Plan shall result in architecture and graphics of a scale appropriate for the subject development and the surrounding area. Please provide an explanation.

Existing tenant has also leased adjacent tenant space and expanded to occupy both units. Wants to be afforded the same sign allowance as would be allowed for that secondary tenant. Property ownership has agreed to extend this allowance, pending municipal agreement.

2. The Master Sign Plan shall provide signage consistent with the site plan and architecture of the project. Please provide an explanation.

No overarching changes to the present MSP, only to allow a variation to permit additional signage to tenant who now occupies more than one tenant space.

3. The Master Sign Plan will avoid visual clutter. Please provide an explanation.

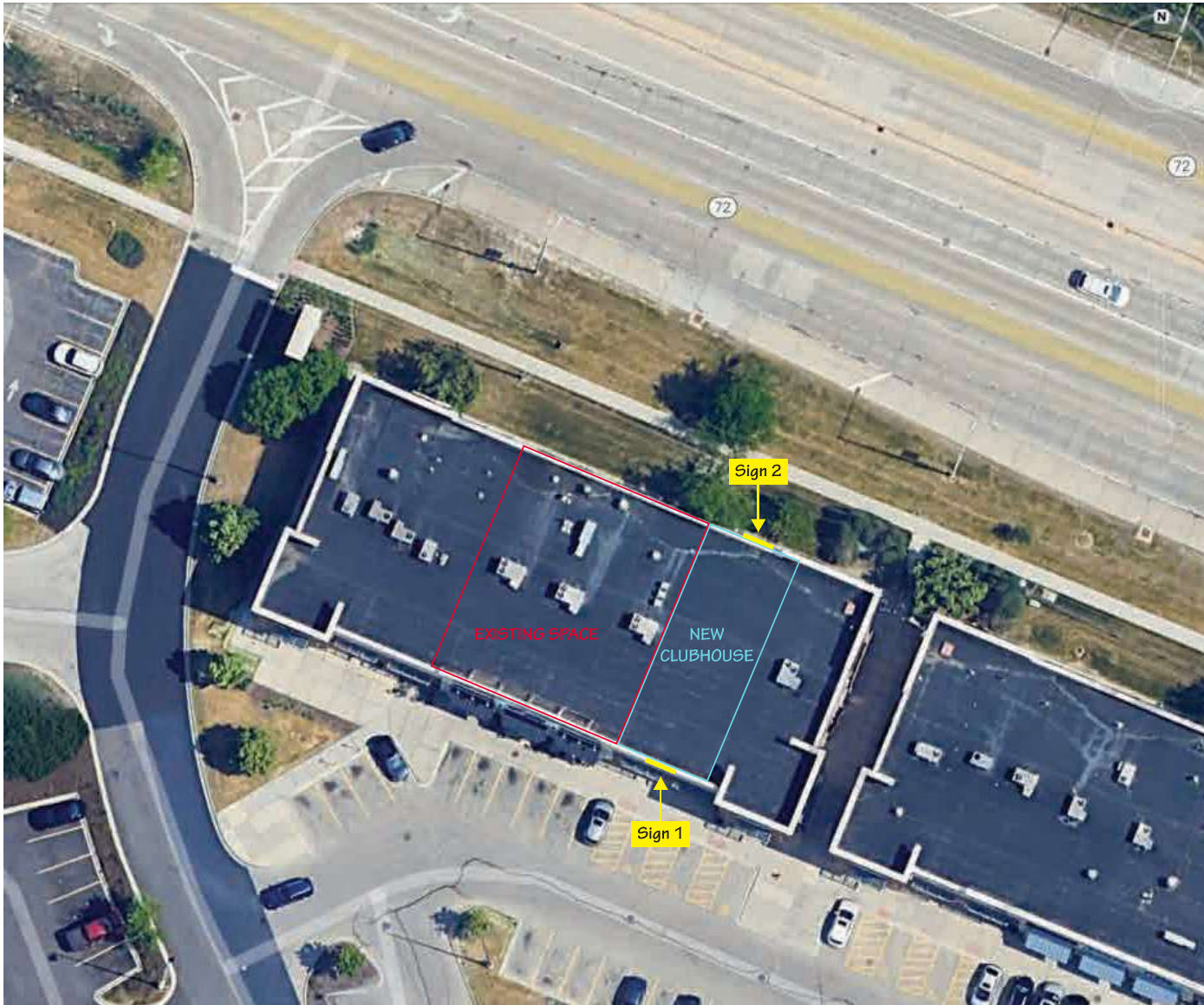
The requested adjustment to the MSP will not impact the aesthetic of the plaza and is in keeping with the same allowances for other tenants.

4. The Master Sign Plan shall allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobstructed architecture and commercial graphics. Please provide an explanation.

The MSP adjustment requested is commensurate with the current allowances. Will not adversely impact either surrounding businesses or community at large.

5. The Master Sign Plan shall result in a unified theme of signage for this project. Please provide an explanation.

The MSP adjustment will be kept to the same unified theme as the present MSP document. We are only allowing for permission for the tenant who is expanding into the next unit to be afforded his additional identifying signage.



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e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



4607 W Higgins Road
Hoffman Estates, IL 60192

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Lee Gotfried / MF

DRAWN BY

Bill Goodwyn

DATE

8.22.25

SCALE

N.T.S.

SHEET NO.

1 of 3

ESTIMATE / JOB NUMBER

17925

FILE NAME

KRG17925

REVISIONS:

1 9.09.25 (bm)

2 9.17.25

3 9.19.25

4 10.07.25 (bm)

5

6

7

8

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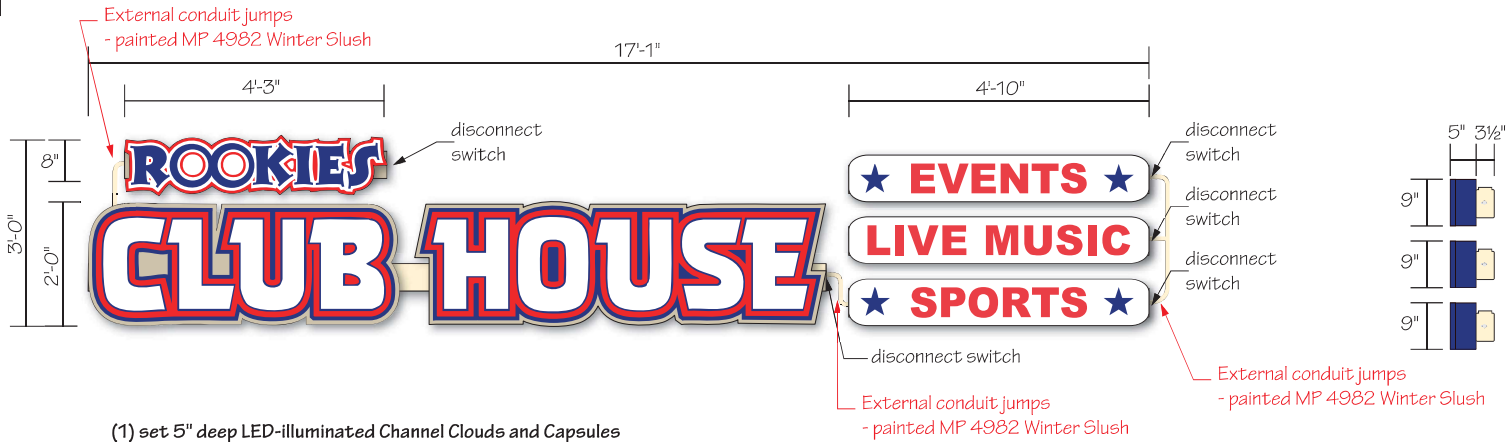


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SIGN 1



(1) set 5" deep LED-illuminated Channel Clouds and Capsules

Club & House Channel Cloud:

- Return:** .040" aluminum coil painted PMS 288 Blue
- Faces:** 3/16" thick White acrylic w/ 1" PMS 288 trim cap
- Graphics:** 3M 3630-163 Scarlet and 3630-167 Bright Blue translucent vinyl, and blockout vinyl painted to match MP 4982 Winter Slush applied

(1) Capsules:

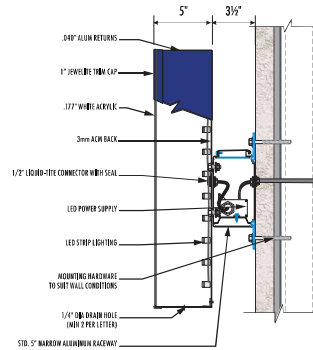
- Return:** .040" aluminum coil painted PMS 288 Blue
- Faces:** 3/16" thick White acrylic w/ 1" PMS 1797 Red trim cap
- Graphics:** 3M 3630-163 Scarlet and 3630-167 Bright Blue translucent vinyl

Illumination: White LED modules w/ low-voltage power supplies

Power: 20Amp @ 120Volt electrical circuit(s) run to site by others (TBD)

Raceways: standard 5" x 3 1/2" extruded aluminum painted MP 4982 Winter Slush

Mounting: on exterior wall, will need to run power in conduit from capsule to raceway (may need to bring extra conduit to pipe over from exterior box to capsule)
Paint conduit jumps MP 4982 Winter Slush



Nighttime simulation

Parvin-Clauss
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Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



4607 W Higgins Road
Hoffman Estates, IL 60192

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
Lee Gotfried / MF

DRAWN BY
Bill Goodwyn

DATE
8.22.25

SCALE
1/2" = 1'

SHEET NO.
2 of 3

ESTIMATE / JOB NUMBER
17925

FILE NAME
KRG17925

REVISIONS:

- 9.09.25 (bm)
- 9.17.25
- 9.19.25
- 10.07.25 (bm)
-
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-
-

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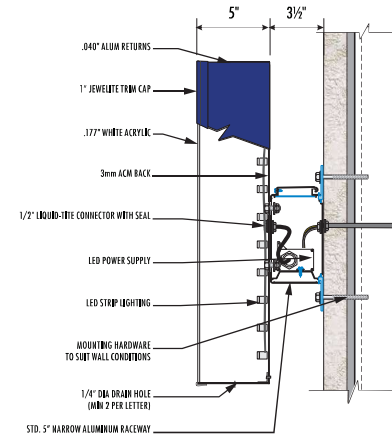
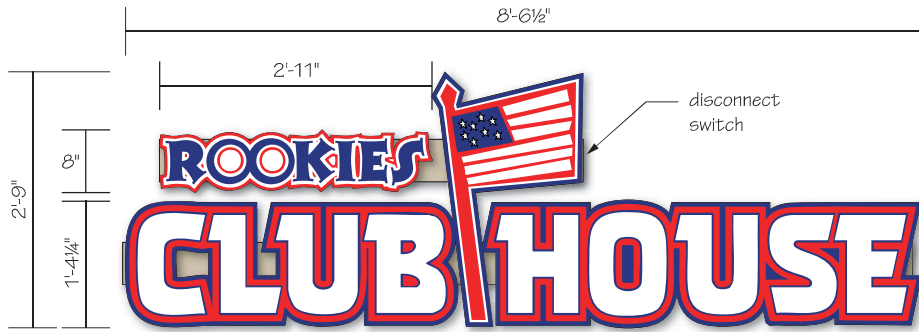


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SIGN 2



(1) set 5" deep LED-illuminated Channel Clouds

Rookies Channel Cloud:

- Return:** .040" aluminum coil painted PMS 1797 Red
- Faces:** 3/16" thick White acrylic w/ 1" PMS 1797 Red trim cap
- Graphics:** 3M 3630-163 Scarlet and 3630-167 Bright Blue translucent vinyl

Club, Flag & House Channel Cloud:

- Return:** .040" aluminum coil painted PMS 288 Blue
- Faces:** 3/16" thick White acrylic w/ 1" PMS 288 trim cap
- Graphics:** 3M 3630-163 Scarlet and 3630-167 Bright Blue translucent vinyl, and blockout vinyl painted to match building (color TBD) applied

- Illumination:** White LED modules w/ low-voltage power supplies
- Power:** 20Amp @ 120Volt electrical circuit(s) run to site by others (TBD)
- Raceways:** standard 5" x 3 1/2" extruded aluminum painted MP 4982 Winter Slush
- Mounting:** on exterior wall, will need to run power in conduit from capsule to raceway

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PROJECT:



4607 W Higgins Road
Hoffman Estates, IL 60192

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Lee Gotfried / MF

DRAWN BY

Bill Goodwyn

DATE

8.22.25

SCALE

3/4" = 1'

SHEET NO.

3 of 3

ESTIMATE / JOB NUMBER

17925

FILE NAME

KRG17925

REVISIONS:

- 1 9.09.25 (bm)
- 2 9.17.25
- 3 9.19.25
- 4 10.07.25 (bm)
- 5
- 6
- 7
- 8



Nighttime simulation

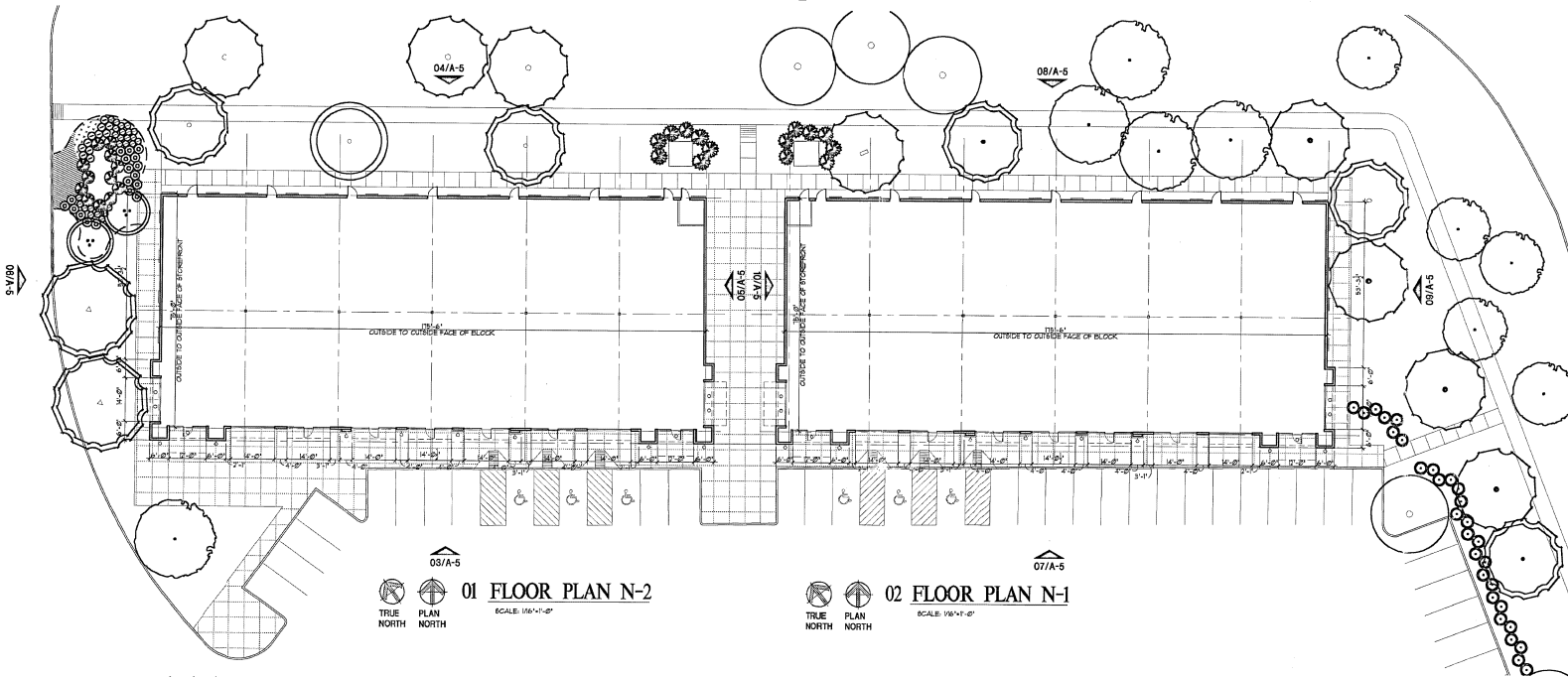


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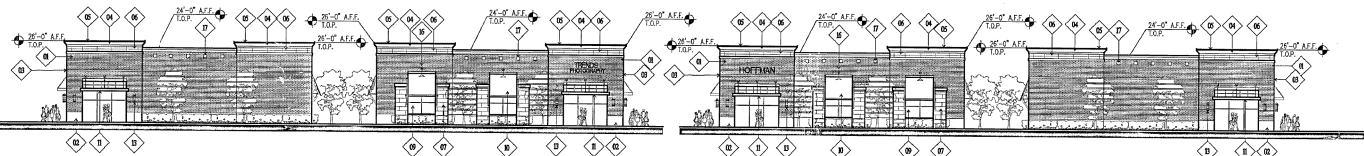
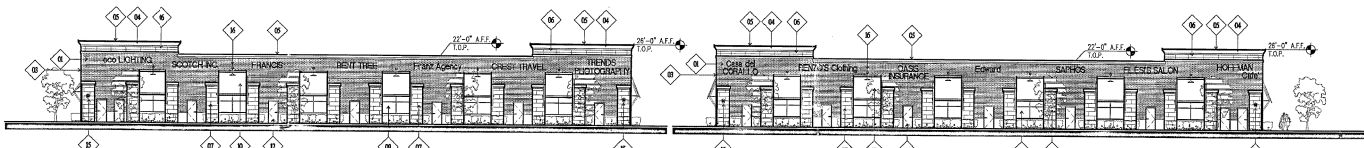
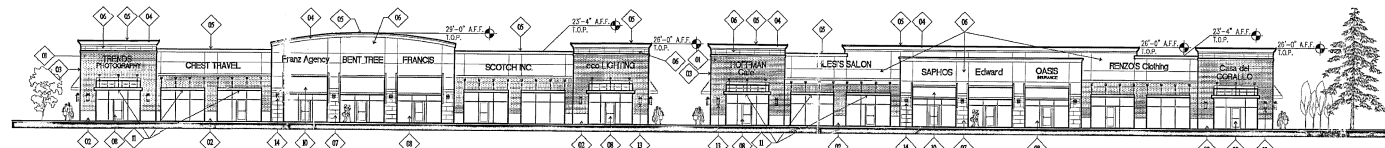
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- KEYNOTES**
- 01 4" X 8" X 8" MASONRY UNITS COLOR #1 (WALLS)
 - 02 4" X 8" X 8" MASONRY UNITS COLOR #2 (BASES)
 - 03 4" X 8" X 8" MASONRY UNITS COLOR #3 (ACCENTS)
 - 04 EPS CORNICE
 - 05 METAL CAP OVER EPS
 - 06 1-1/2" DITS WITH 3/4" REVEALS OVER MASONRY UNITS
 - 07 FRAMER STONE VENEER OVER MASONRY UNITS
 - 08 STANDARD ALUMINUM & GLASS SCHEDULEFRONT & COORS
 - 09 SPANNED GLASS & ALUMINUM FRAME OVER CMU
 - 10 CANVAS AWNING OVER METAL FRAME
 - 11 PAINTED STEEL CANOPY
 - 12 PAINTED HOLLOW METAL DOORS
 - 13 WALL LANTERN (TYPE - A)
 - 14 WALL LANTERN (TYPE - B)
 - 15 LIGHT FIXTURE (TYPE - A)
 - 16 LIGHT FIXTURE (TYPE - B)
 - 17 RECESSED METALLON OVER MASONRY UNITS



TENANT SIGNS ON BUILDINGS ARE FOR PROPOSED REPRESENTATIVE SIGNAGE. FINAL TENANT SIGN LOCATIONS, SIZES AND TYPE WILL BE APPROVED WITH THE MASTER SIGN AGREEMENT.

ELEVATIONS AND MATERIALS ARE SHOWN AS THE OVERALL ARCHITECTURAL DESIGN THEME OF THE PROJECT. TENANTS MAY REQUEST MINOR TWEAKS TO THE ELEVATIONS AND MATERIALS OF THEIR ENTRANCES, WHICH WOULD BE REVIEWED WITH THE VILLAGE.



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 ARCHITECTURE ■ INTERIORS ■ PLANNING
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 www.obrienarch.com

POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS
ARCHON RETAIL

A-5
 SCALE: AS NOTED JOB#: 23280 ■ ISSUE DATE: 03-17-05
 APPROVED BY: _____ DATE: _____
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MASTER SIGN PLAN

**POPLAR CREEK
CROSSING**

**STATE RT. 59 & STATE RT. 72
HOFFMAN ESTATES, ILLINOIS**

**A DEVELOPMENT OF:
ARCHON GROUP – RETAIL**

April 20, 2005
(Ord. No. 3723-2005)

Revised 4/06 – Ord. No. 3818-2006 (Tenant Outbuildings Signage)
Revised 6/06 – Ord. No. 3841-2006 (Tenant Outbuilding Supplemental Wall Signs)
Revised 7/06 – Ord. No. 3841-2006 (Placement of Wall Signs)
Revised 4/08 – Ord. No. 4012-2008 (Freestanding Sign “E” Joint PCC/PSC Sign)
Revised 3/26 – Ord. No. ----- (Site “N” Wall Signs § II.C.5)

MASTER SIGN PLAN

Poplar Creek Crossing Hoffman Estates, Illinois

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IV. LEASING SIGNS

I. INTRODUCTION

A. GENERAL PROVISIONS

1. This Master Sign Plan has been prepared and approved pursuant to Section 9-8-3-B-11 of the Village of Hoffman Estates ("VHE") Zoning Code and applies to Lots 1 and 2 of the Poplar Creek Crossing Subdivision (the "Property").
2. This Master Sign Plan regulates (i) freestanding ground signs and wall signs that relate to the names of the owners and tenants occupying the buildings within the Property or to the uses within such buildings ("Tenant Signs"); and (ii) leasing signs for the Property ("Leasing Signs"). Specifically, this Master Sign Plan provides for (i) the number, location, type, and placement of Tenant Signs on the Property; (ii) the materials and methods of illumination for the Tenant Signs ; (iii) the height and sizes of certain Tenant Signs and the height and sizes of sign band areas for certain Tenant Signs; (iv) the colors and letter/graphic styles of the Tenant Signs and Leasing Signs; and (v) the applicable regulations governing Leasing Signs.
3. Tenant Signs include Tenant Signs placed on the walls of buildings on the Property ("Wall Signs") and Tenant Signs placed on the ground of the Property ("Freestanding Ground Signs"). Wall Signs include Wall Signs (i) placed on the front and side façades of the building located on the site identified as "Target" (the "Target Site") on page 5 of this Master Sign Plan; (ii) placed on the front facades of the buildings located at the sites depicted on page 9 of this Master Sign Plan as Majors B through H (the "In-Line Sites"); and (iii) placed on any façade of the buildings located at the sites depicted on page 18 of this Master Sign Plan as Retails I through N2, Future Development # 1 and #2, and Claim Jumper (collectively, "Tenant Wall Signs"). Wall Signs also include signs that (i) provide service, direction, or courtesy information intended to serve the public; (ii) are located on the rear façades of buildings on the Target and In-Line Sites; (iii) are designed to be visible only from the service areas behind such buildings and generally not visible from Old Sutton Road; (iv) include a Sign Surface Area of not greater than 25 square feet; and (v) may include the name and logo of the tenants or occupants of the buildings located on the Target and In-Line Site ("Rear Information Signs").
4. The specific regulations applicable to Wall Signs are set forth in Sections II.A through II.C of this Master Sign Plan. The specific regulations applicable to Freestanding Ground Signs are set forth in Sections III.A through III.F of this Master Sign Plan. The specific regulations applicable to Leasing Signs are set forth in Section IV of this Master Sign Plan.

5. The owners and tenants of the Property shall have the right to install, maintain, and replace the Tenant Signs on the Property in accordance with this Master Sign Plan. The owners of the Property shall have the right to install, maintain, and replace the Leasing Signs on the Property in accordance with this Master Sign Plan.
6. Any sign that is not a Tenant Sign or a Leasing Sign ("Other Signs") shall be permitted on the Property only if it complies with the general sign standards applicable to the B-2 zoning district under Section 9-3-8 of the VHE Zoning Code and the specific Business District sign standards applicable to the B-2 zoning district under such Section 9-3-8, all subject to the September 27, 2004, annexation agreement applicable to the Property (the "Annexation Agreement"). Other Signs shall include, without limitation, directions or instructional signs as provided in the Village Code.
7. By approving this Master Sign Plan, the VHE Board of Trustees hereby finds that implementation of this Master Sign Plan will: (i) result in architecture and graphics of a scale appropriate for the proposed Poplar Creek Crossing development and the surrounding area; (ii) provide signage consistent with the site plan and architecture that has been approved for the Property; (iii) avoid visual clutter; (iv) allow consumers to readily identify establishments offering goods and services to meet their needs, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and (v) result in a unified theme of signage for the Property.

B. PERMIT REQUIREMENTS

1. No Tenant Sign, Leasing Sign, or Other Sign shall be installed on the Property unless a permit for such sign has been issued by the Village, pursuant to the procedure provided for in the VHE Zoning Code, subject to the Annexation Agreement.
2. All applications for permits for signs must first be approved by the owner of that portion of the Property upon which the sign will be placed.

C. SIGN LOCATIONS AND OTHER DESIGN DETAILS

1. The term "Sign Surface Area" as used in this Master Sign Plan shall have the same meaning as "Sign, Surface Area of" as defined in the VHE Zoning Code; provided, however, that the Sign Surface Area for Freestanding Ground Signs shall include only the words, text, letters, copy and logos of the Freestanding Ground Signs as depicted on the sample plans at pages 32 through 36 of this Master Sign Plan. The words, symbols, copy, and logos of Tenant Signs shall be located within the Maximum Sign Surface Areas that have been designated for such Tenant Signs by this Master Sign Plan.
2. Multiple words, symbols, copy, and logos shall be permitted within the designated Sign Surface Areas for Tenant Signs, provided that such words, symbols, copy, and logos are related to the names of the owners or tenants occupying the buildings within the Property or to the uses within such buildings
3. Each Wall Sign must relate to (i) the tenant that leases and occupies the portion of the building that includes such portion of the wall upon which the Wall Sign is located; (ii) the owner that owns and occupies the portion of the building that includes such portion of the wall upon which the Wall Sign is located; or (iii) the use or uses within the portion of

the building that includes such portion of the wall upon which the Wall Sign is located.

4. The colors and letter/graphic styles of the Tenant Signs to be located on Tenant Signs and Leasing Signs shall be determined by the owners and tenants of the buildings on the Property, provided that the Tenant Signs otherwise comply with this Master Sign Plan.
5. Additional regulations concerning the location and design details of Tenant Signs are included in Sections II and III of this Master Sign Plan. The regulations concerning the location and design details for Leasing Signs are included in Section IV of this Master Sign Plan.

D. PROHIBITED SIGNS

The following signs are prohibited on the Property, except to the extent they are permitted by this Master Sign Plan:

1. signs prohibited by Section 9-3-8-C of the VHE Zoning Code;
2. any Tenant Sign on a wall of a building that includes letters that are not individually mounted but instead are depicted on a single removable or replaceable panel made of Plexiglas or other similar material (a "Box Sign"); and
3. any Tenant Sign upon which the name of the company that designed, built, or installed the Tenant Sign is visible on the external surface of the Tenant Sign.

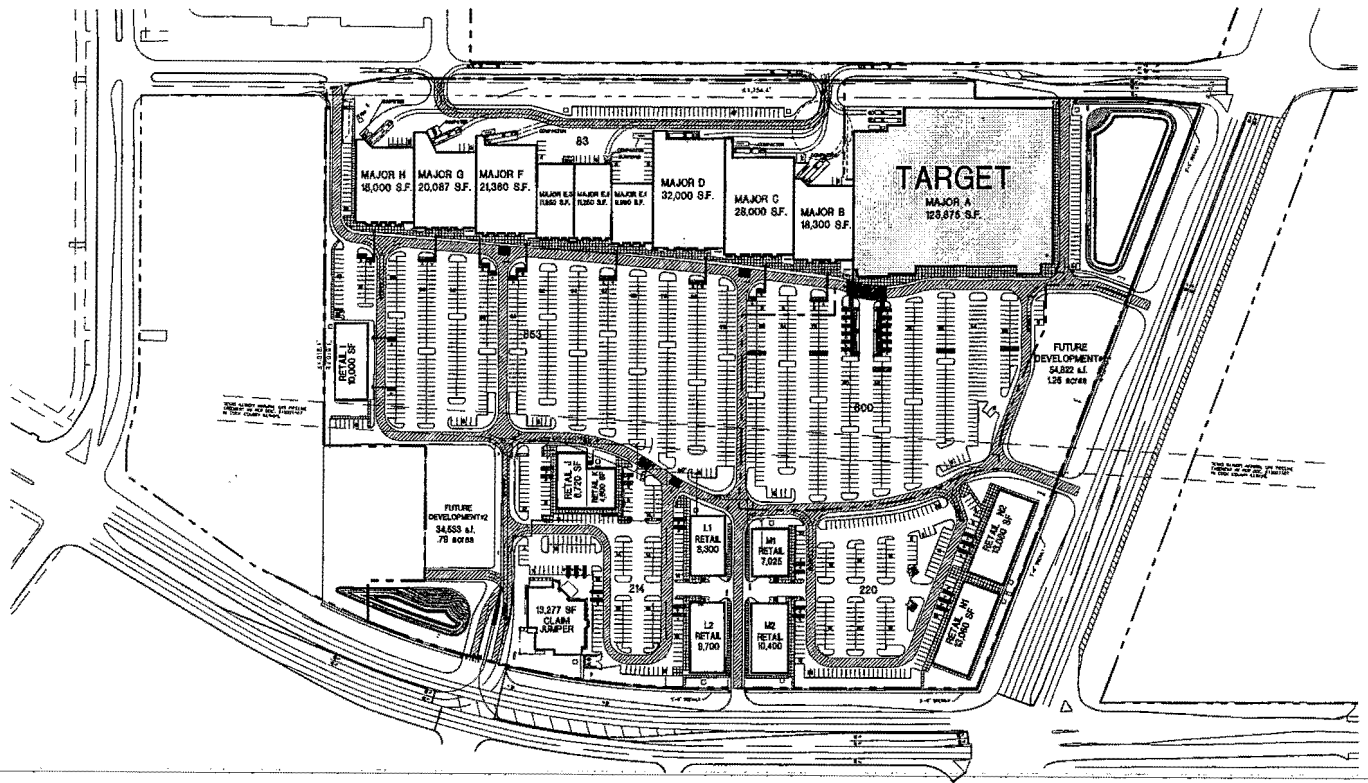
E. MAINTENANCE/SIGN REMOVAL

If a tenant or owner of a building vacates space within the building, (i) the vacating tenant and the owner of the building shall be jointly responsible for removing the Wall Signs attached to that portion of the building leased to the tenant or occupied by the owner, including all electrical services, wires, and conduits; and (ii) the vacating tenant or vacating owner, and the owner of any Freestanding Ground Sign upon which the sign text and logos for the vacated space are located, shall be jointly responsible for removing such sign text and logos from such Freestanding Ground Sign. Each penetration of a wall caused by the installation or removal of a removed Wall Sign shall be sealed to a water-tight condition and shall be restored so that it matches attached to that portion of the building leased to the tenant the finish and surface of the wall.

II. WALL SIGNS

A. Target Site – Wall Signs

1. **Description:** For occupant(s) and tenants of the building or buildings located on the site designated as “Target” on page 5 of this Master Sign Plan that occupy more than 60,000 SF.
2. **Type:** Tenant Wall Signs shall be individually mounted, internally lighted aluminum channel letters or logos with Plexiglas fronts directly mounted to the building wall surface.
3. **Number:** Each occupant or tenant shall be allowed a maximum of 2 Tenant Wall Signs per each facade facing north or east. Each occupant or tenant on the Target Site shall be allowed a maximum of 1 Rear Information Sign.
4. **Sign Surface Area:** One Tenant Wall Sign on each façade shall have a maximum Sign Surface Area of 200 square feet. One Tenant Wall Sign on each façade shall have a maximum Sign Surface Area of 250 square feet
5. **Sample plans for the Tenant Wall Signs for the Target Site are depicted on pages 6 and 7 of this Master Sign Plan.**



01 MASTER SIGN PLAN

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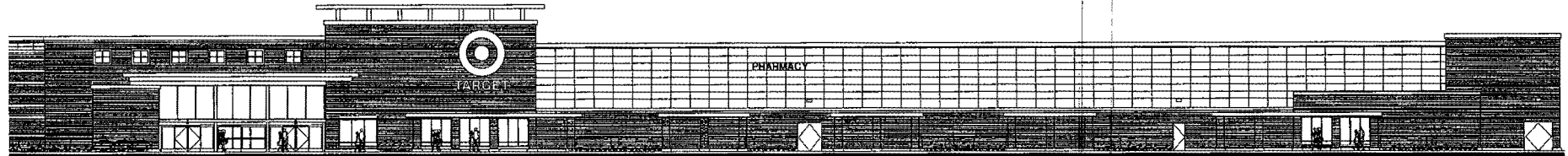


NORTH

TARGET SITE

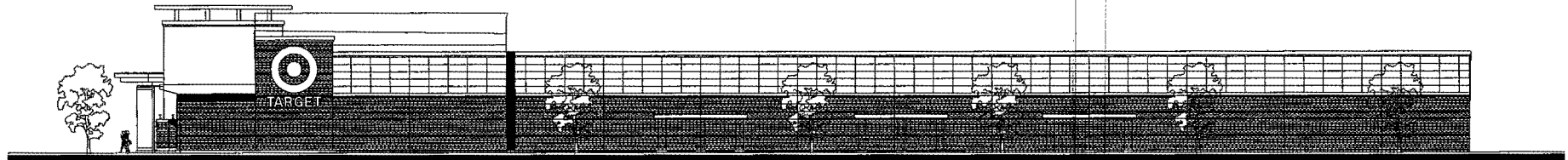
POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
 ARCHON RETAIL



01 EAST ELEVATION - TARGET - FRONT

SCALE: N.T.S.

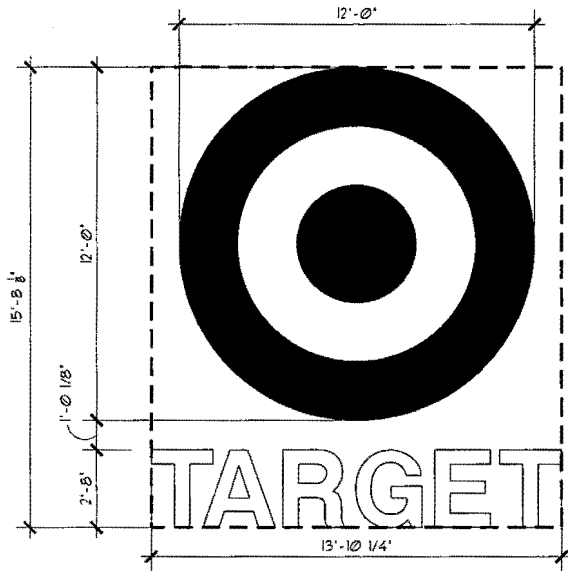


02 NORTH ELEVATION - TARGET - SIDE

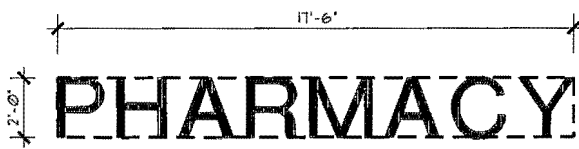
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POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



SIGN AREA - 217 S.F.



SIGN AREA - 35 S.F.

TARGET PROPOSED
01 BUILDING WALL SIGN

SCALE: N.T.S.

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL

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II. WALL SIGNS

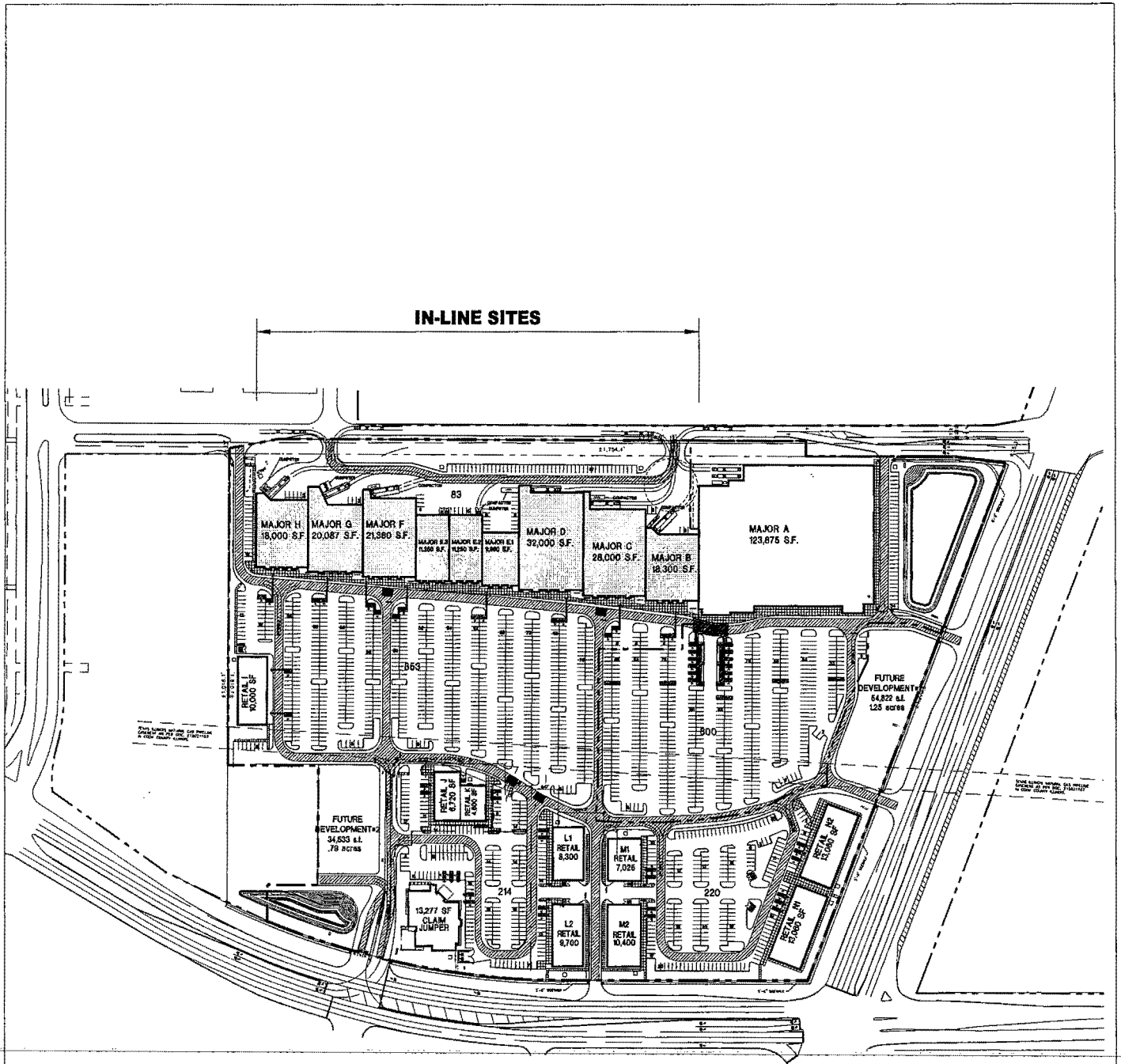
B. In-Line Sites – Wall Signs

1. Description: For tenants of buildings on In-Line Sites.
2. Type: Tenant Wall Signs shall be individually mounted, internally lighted aluminum channel letters or logos with Plexiglas fronts mounted direct to building wall surface. (See design details on page 10 of this Master Sign Plan.)

3. Size:

	Tenants < 15,000 sf	Tenants > 15,000 sf
Maximum Sign Surface Area Per Sign	200 sf	300 sf
Maximum Letter Height	4' 0"	7' 0"
Maximum Letter Depth	12"	16"
Minimum Distance Between Sign and Demising Wall	1 foot from demising wall of space leased by tenant	2 feet from demising wall of space leased by tenant

4. Location:
 - a. Tenant Wall Signs shall be located within the maximum Sign Surface Areas as shown on the sample elevation plans at pages 11-16 of this Master Site Plan.
 - b. Each Tenant Wall Sign shall be centered horizontally (i) within the front facade of the portion of the building leased by the tenant; or (ii) over an architectural entry feature of such front facade.
5. Maximum Number:
 - a. Each Tenant shall be allowed a maximum of one Tenant Wall Sign.
 - b. Each Tenant shall be allowed a maximum of one Rear Information Sign.



01 MASTER SIGN PLAN



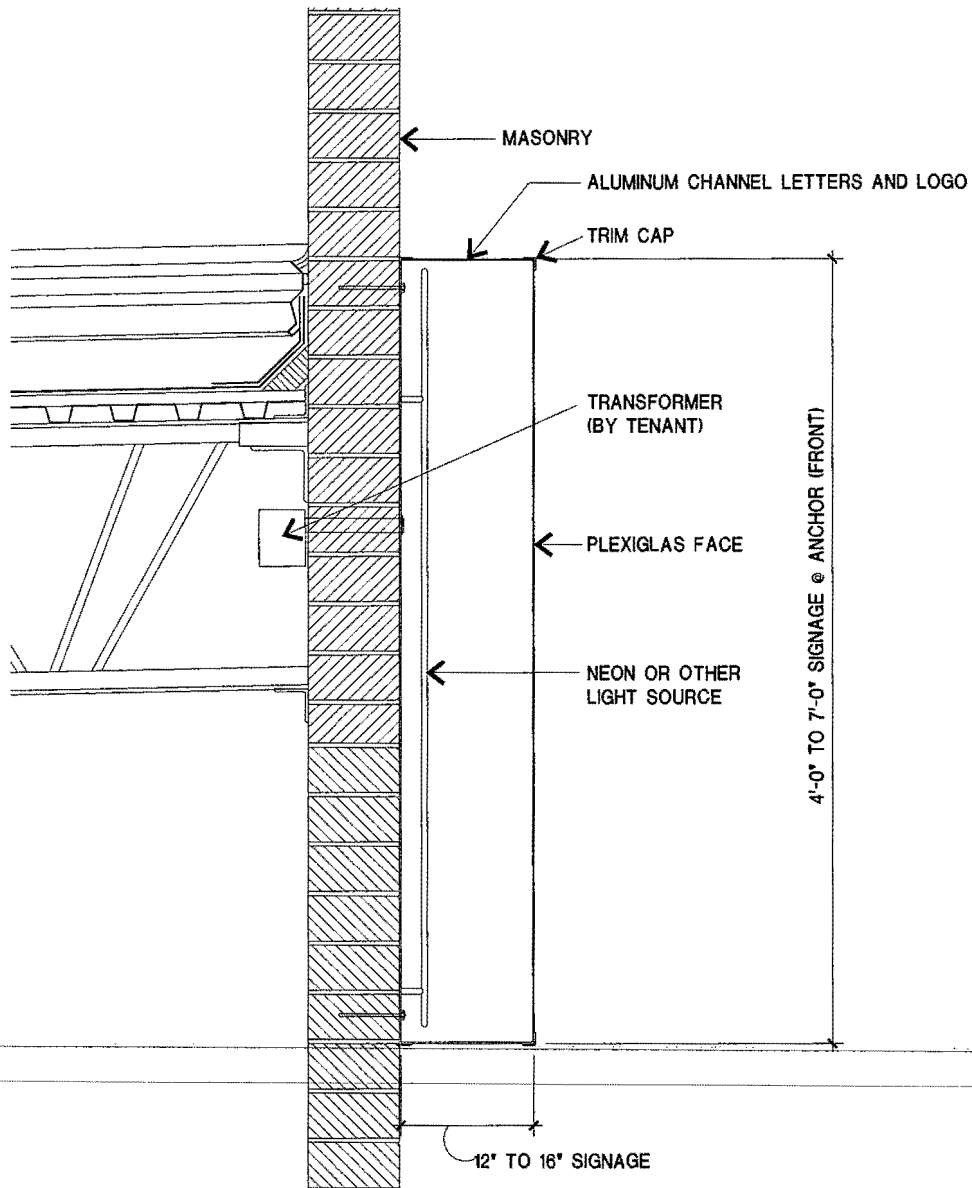
NORTH

SCALE: N.T.S.

IN-LINE SITES

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL

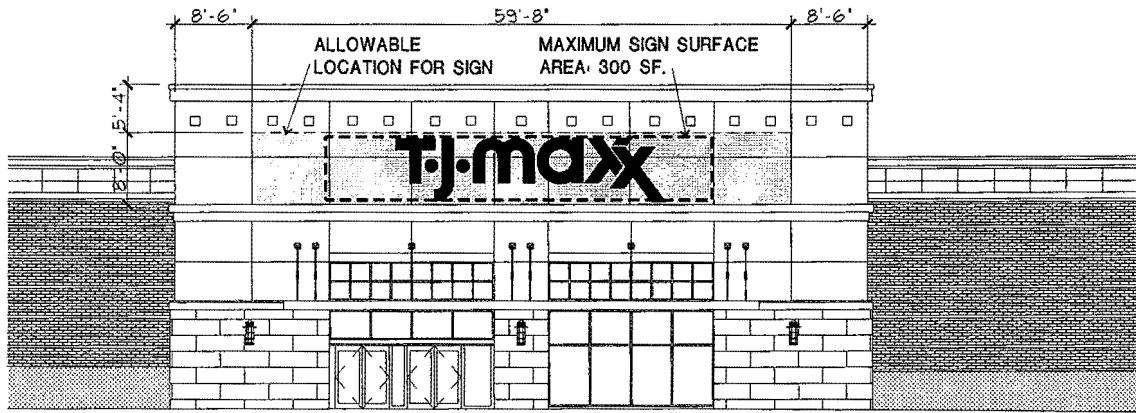


01 SIGN DETAIL AT MAJOR ANCHORS

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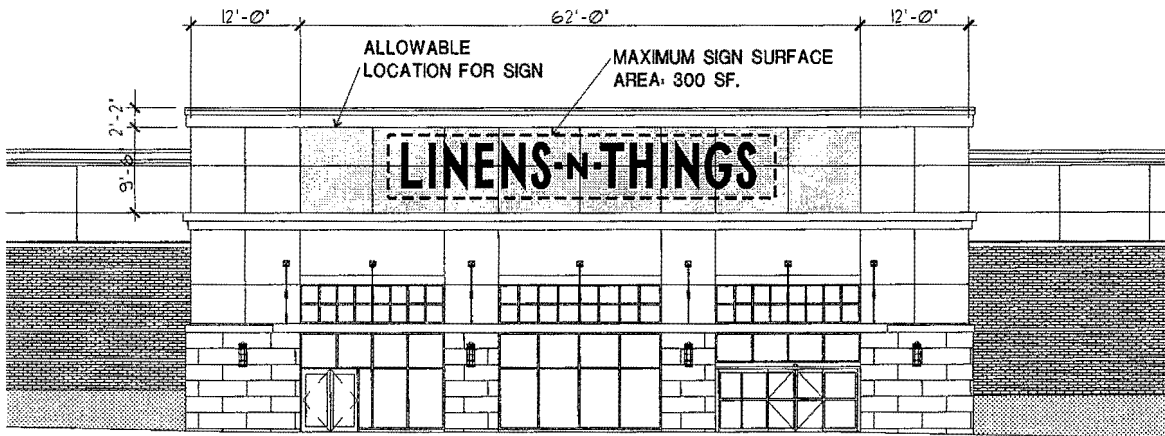
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



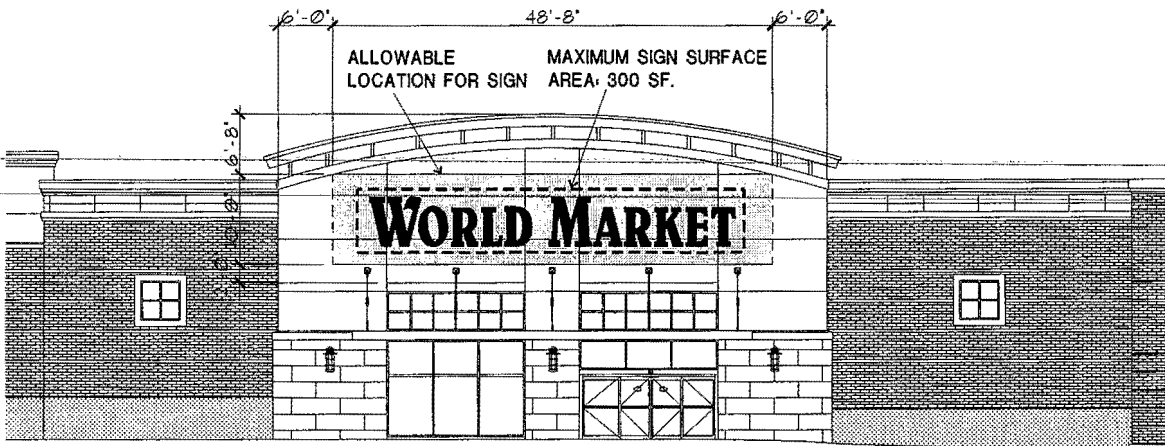
03 EAST ELEVATION - IN-LINE SITE D

SCALE: 1" = 20'-0"



02 EAST ELEVATION - IN-LINE SITE C

SCALE: 1" = 20'-0"



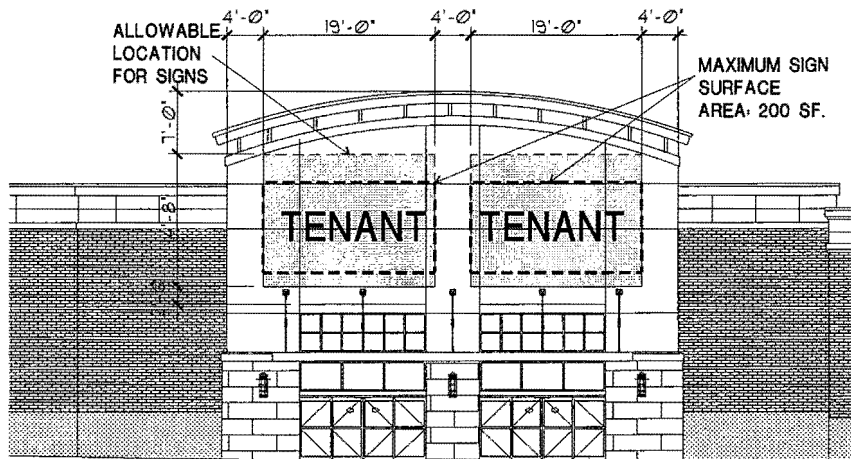
01 EAST ELEVATION - IN-LINE SITE B

SCALE: 1" = 20'-0"

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

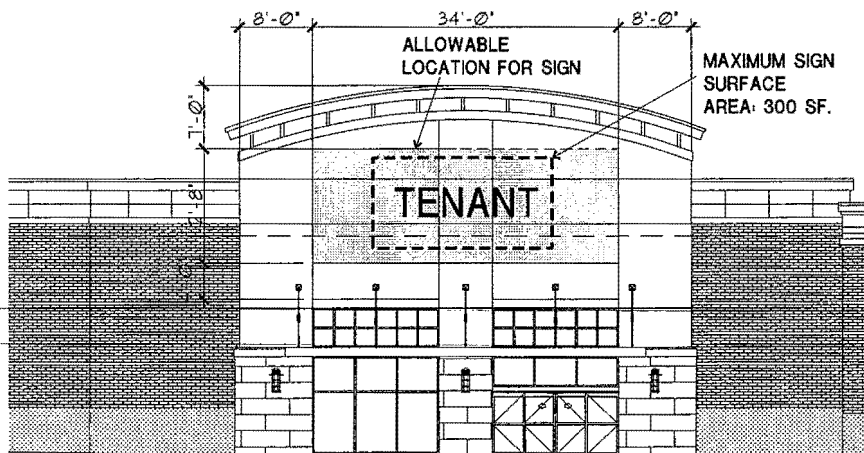
A DEVELOPMENT OF:
ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE E1

SCALE: 1" = 20'-0"

2 TENANTS



01 EAST ELEVATION - IN-LINE SITE E1

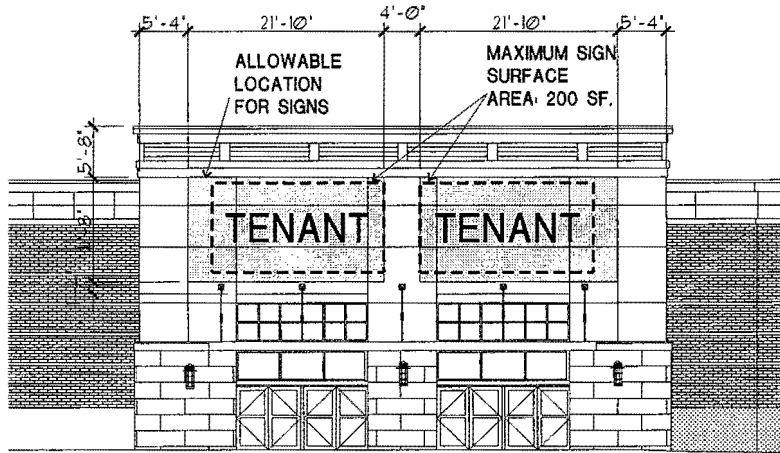
SCALE: 1" = 20'-0"

1 TENANT

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

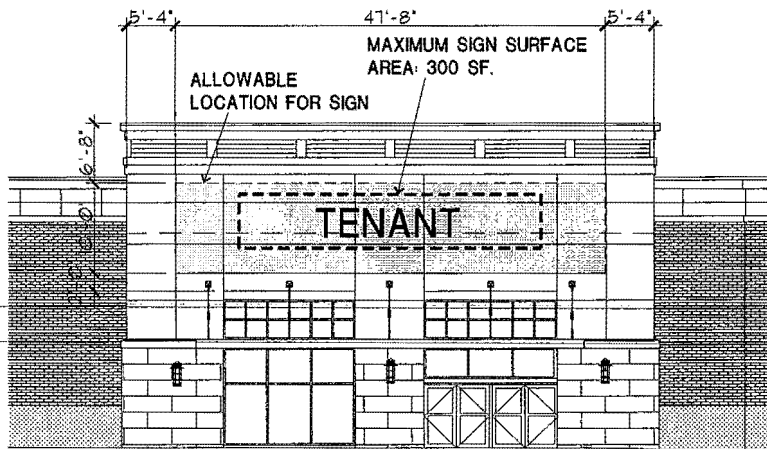
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ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE E2

SCALE: 1" = 20'-0"

2 TENANTS



01 EAST ELEVATION - IN-LINE SITE E2

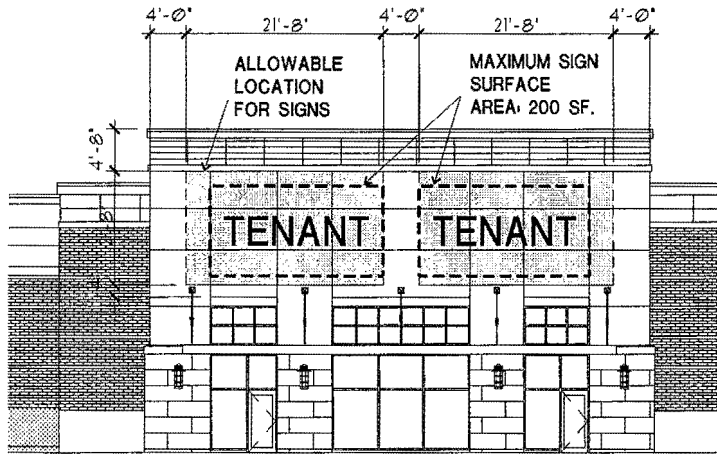
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1 TENANT

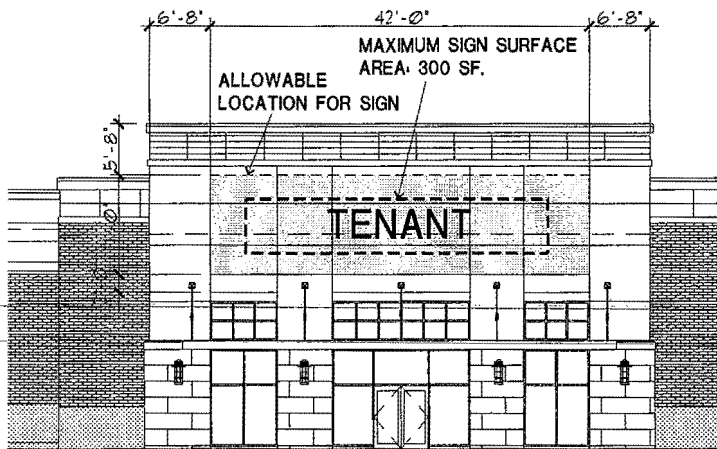
TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE E3
 SCALE: 1" = 20'-0"
 2 TENANTS

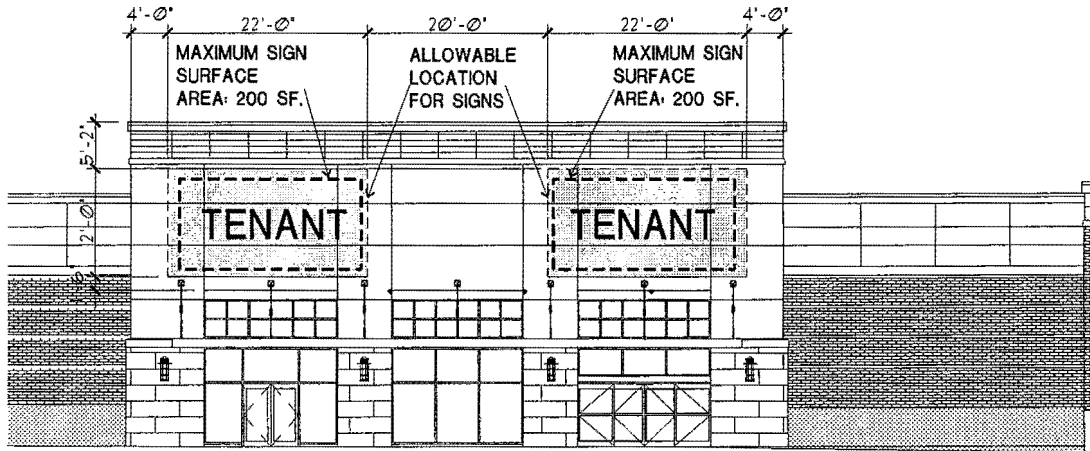


01 EAST ELEVATION - IN-LINE SITE E3
 SCALE: 1" = 20'-0"
 1 TENANT

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

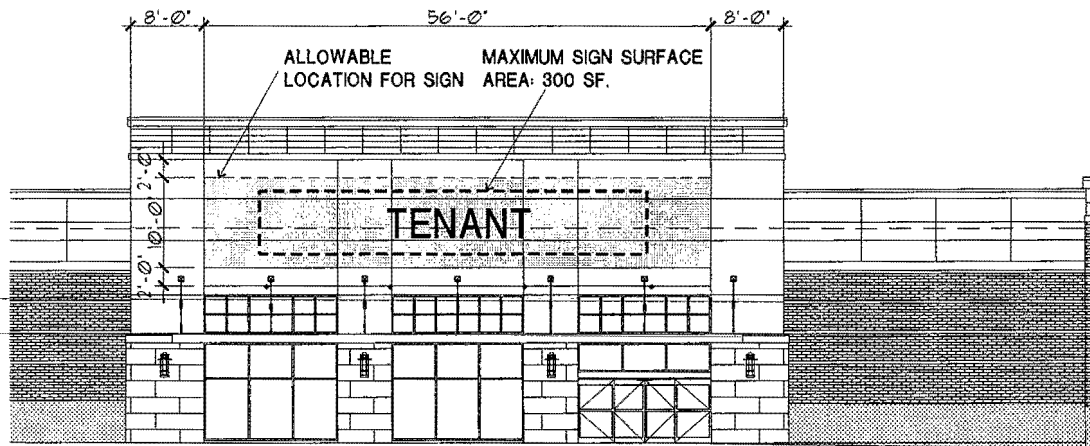
A DEVELOPMENT OF:
 ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE F

SCALE: 1" = 20'-0"

2 TENANTS



01 EAST ELEVATION - IN-LINE SITE F

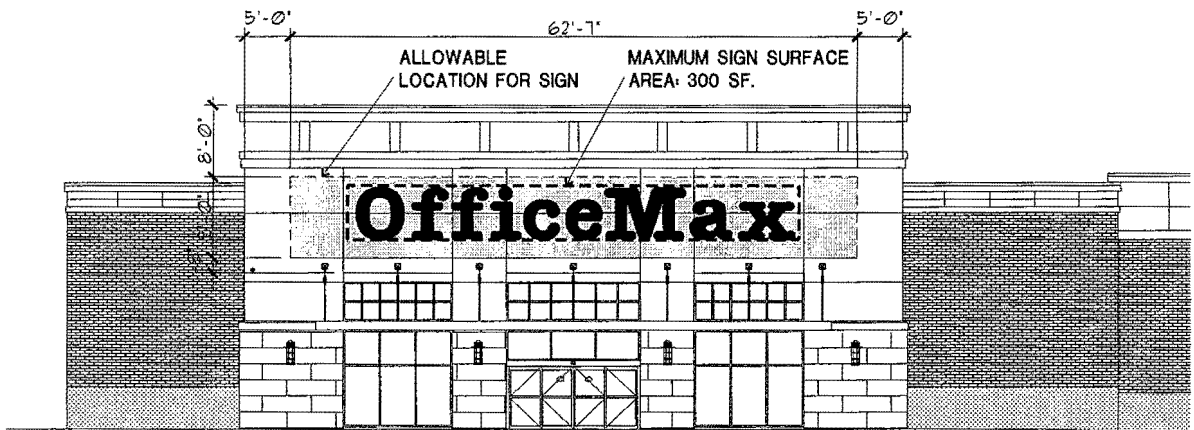
SCALE: 1" = 20'-0"

1 TENANT

TEXT FOR ILLUSTRATION ONLY

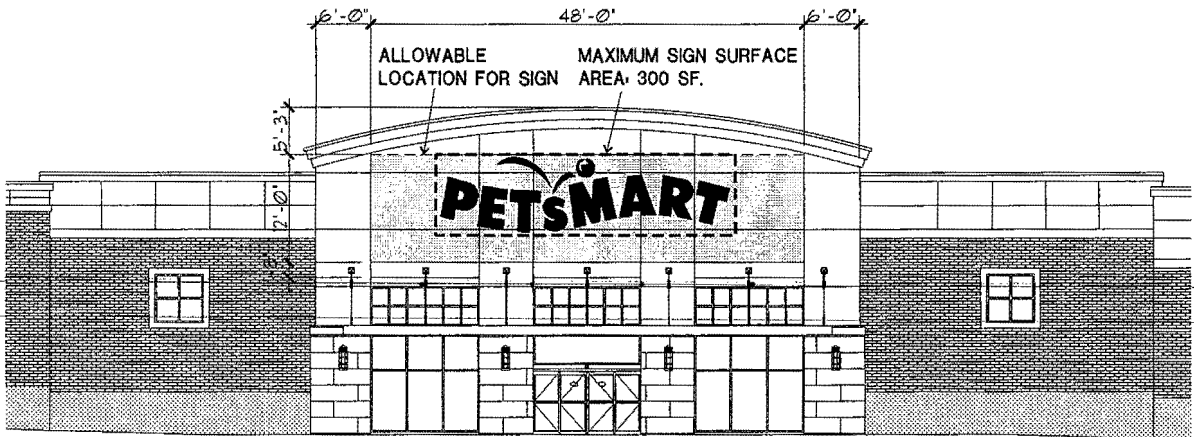
POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
 ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE H

SCALE: 1" = 20'-0"



01 EAST ELEVATION - IN-LINE SITE G

SCALE: 1" = 20'-0"

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
 ARCHON RETAIL

II. WALL SIGNS

C. Retail Sites and Future Development Sites – Wall Signs

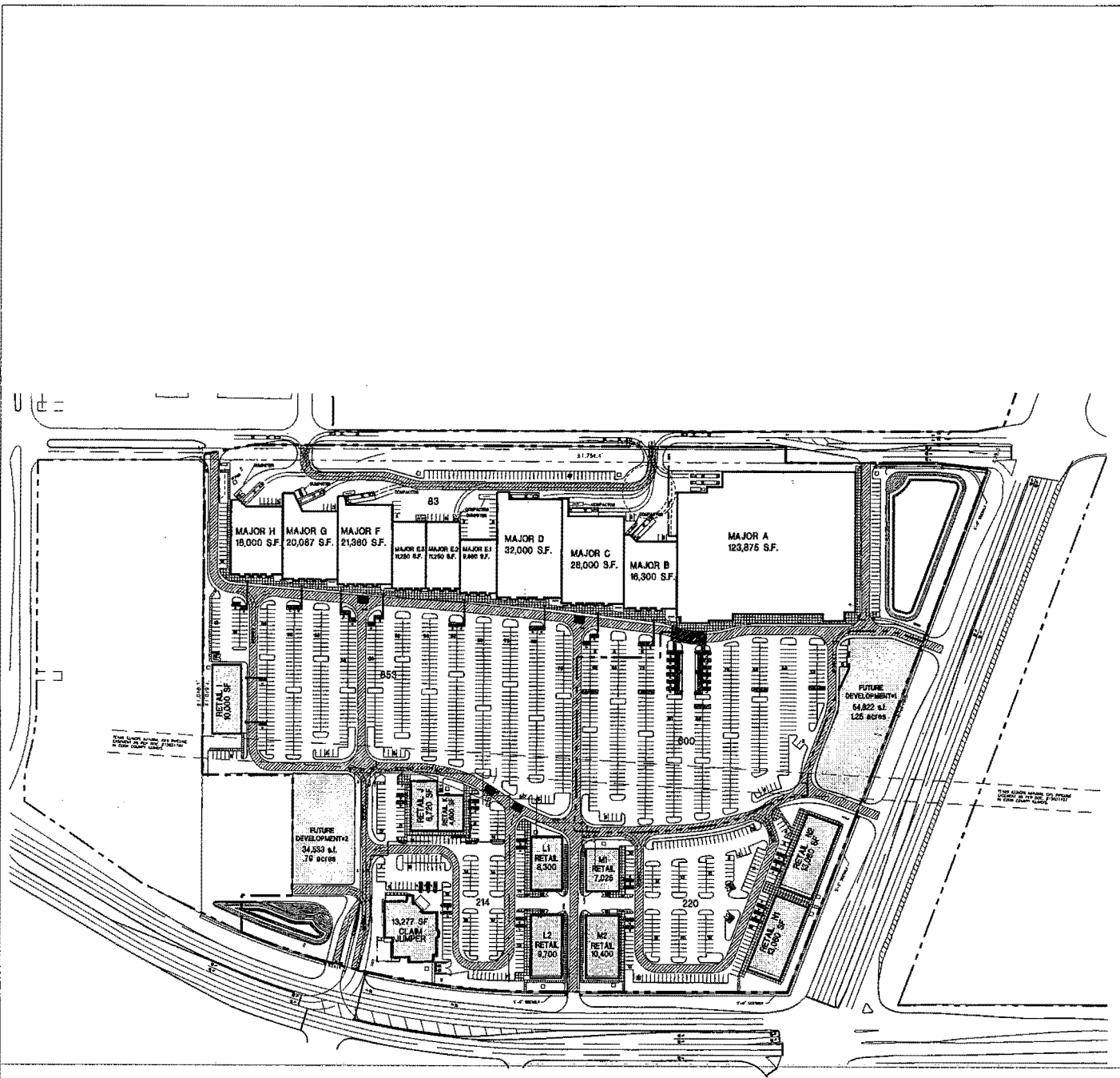
1. Description: For tenants of buildings on retail sites, future development sites, and the Claim Jumper site.
2. Type: Tenant Wall Signs shall be individually mounted, internally illuminated channel letters or logos with Plexiglas front over raceway mounted to the wall. (See design details on page 19 of this Master Site Plan.)

In the event a building on a retail site, future development site or the Claim Jumper site is occupied by one single tenant the tenant will have the option of (a) individually mounted, internally illuminated channel letters or logos with Plexiglas front over raceway mounted to the wall, or (b) individually mounted, internally lighted aluminum channel letters or logos with Plexiglas fronts mounted direct to building wall surface.

3. Size:

Sign Dimensions Per Sign	All Tenants
Maximum Sign Surface Area Per Sign	3 square feet x width (in feet) of portion of storefront leased by tenant; provided, however, that the Maximum Sign Surface Area Per Sign shall not exceed 200 square feet.
Maximum Letter Height	3'0"
Maximum Letter Depth	12"

4. Location:
 - a. The Sign Surface Areas for Tenant Wall Signs on the buildings on the Retail Sites and the Future Development Sites shall be within the sign bands identified for such buildings on the sample elevation plans depicted at pages 20-27 of this Master Sign Plan. The size of a Tenant Wall Sign shall not exceed the designated maximum Sign Surface Area of such Wall Sign, even though the sign band within which such Tenant Wall Sign will be placed is larger than the designated maximum Sign Surface Area.
 - b. Each Tenant Wall Sign shall be centered horizontally (i) within the front façade of the portion of the building leased by the tenant; or (ii) over an architectural entry feature of such front façade.
5. Maximum Number: Each tenant shall install a maximum of (i) 1 Tenant Wall Sign on the front facade of the portion of the building leased by the tenant (the "Leased Space"); (ii) 1 Tenant Wall Sign on the rear facade of the Leased Space; provided, however, that a tenant of a building on the Retail Site identified as "Building I" may, but shall not be obligated to install a Tenant Wall Sign on the rear facade of its Leased Space. In addition, each tenant shall be allowed to install 1 Tenant Wall Sign on each side facade of the Leased Space, but only if the side facade is an exterior wall; **and (iii) A tenant of a building on Retail Site "N", which contains a leased space of 70 linear feet of frontage or greater, shall be permitted to have 1 additional wall sign on the front facade and 1 additional wall sign on the rear facade of the Leased Space."**



01 MASTER SIGN PLAN

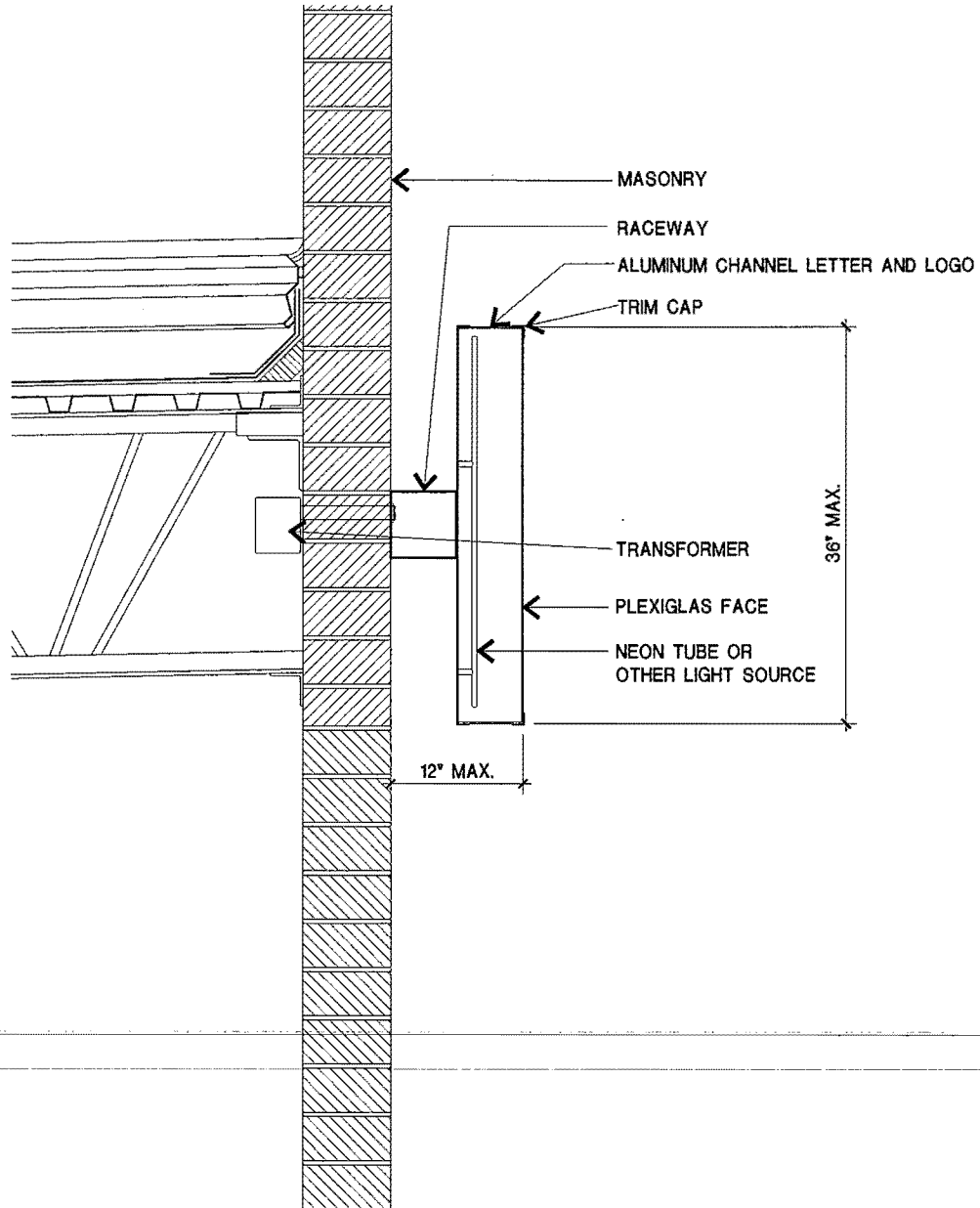


SCALE: N.T.S.

RETAIL SITES & FUTURE DEVELOPMENT SITES

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



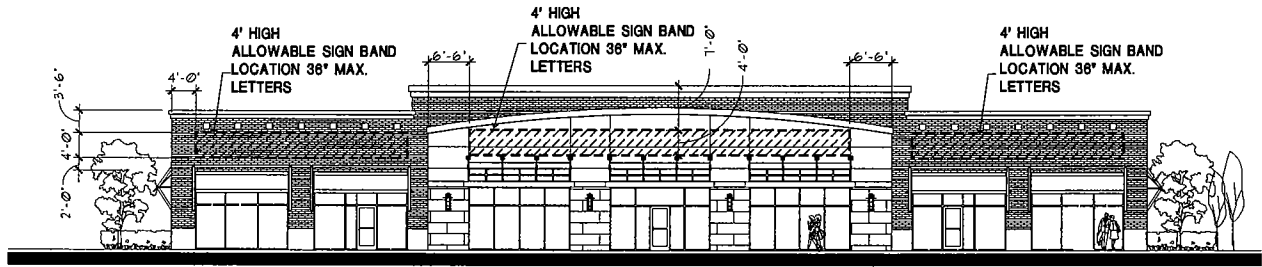
01 SIGN DETAIL AT RETAIL SHOPS & FUTURE DEVELOPMENT SITE TENANTS

SCALE: N.T.S.

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

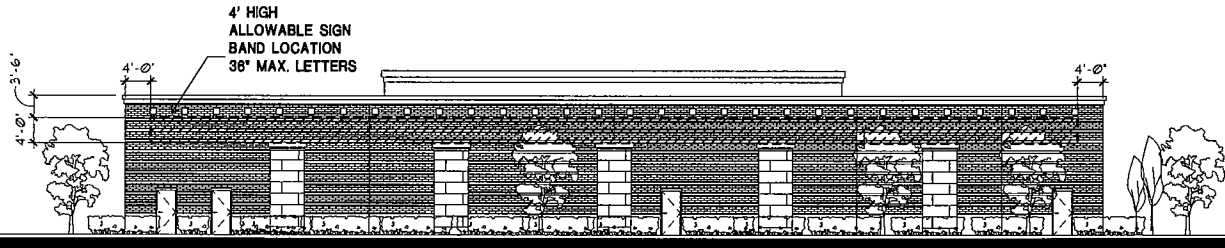
A DEVELOPMENT OF:
ARCHON RETAIL

19 of 37



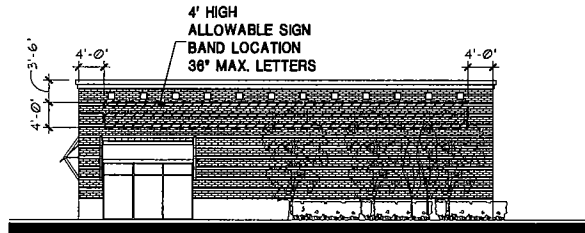
01 NORTH ELEVATION - I

SCALE: N.T.S.



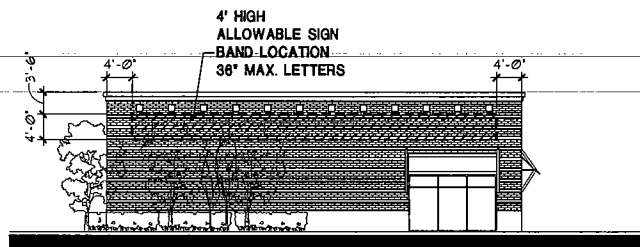
02 SOUTH ELEVATION - I

SCALE: N.T.S.



03 WEST ELEVATION - I

SCALE: N.T.S.



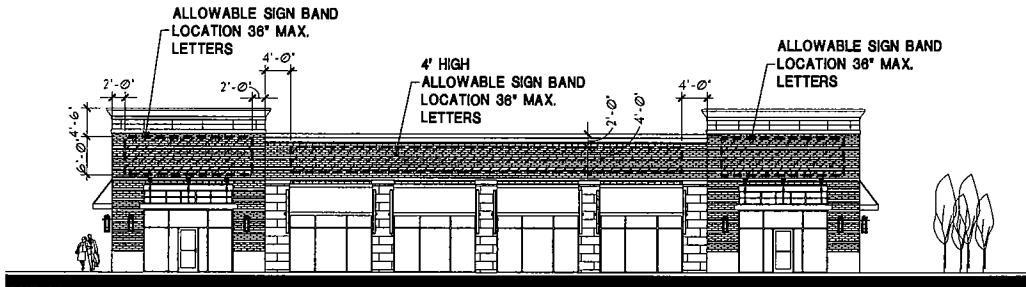
04 EAST ELEVATION - I

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

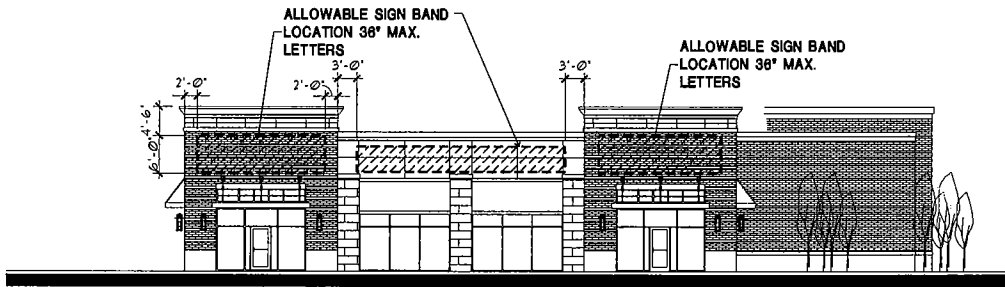
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



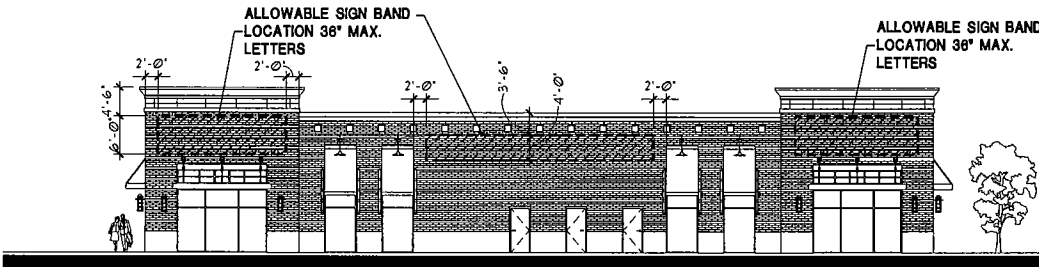
01 SOUTH ELEVATION - J & K

SCALE: N.T.S.



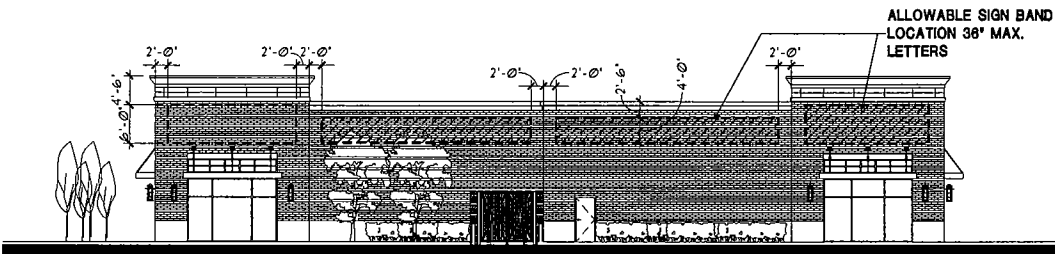
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SCALE: N.T.S.



03 EAST ELEVATION - J & K

SCALE: N.T.S.



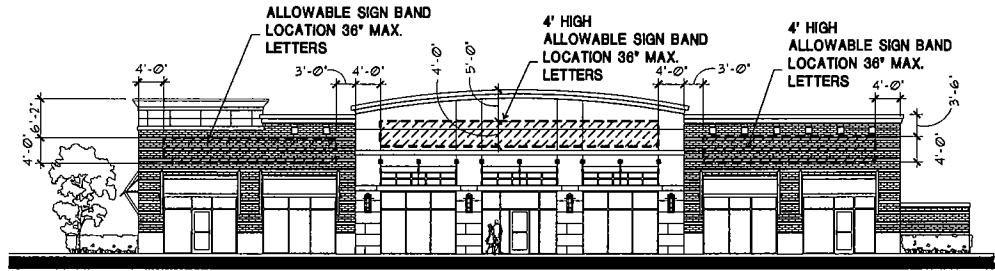
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SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

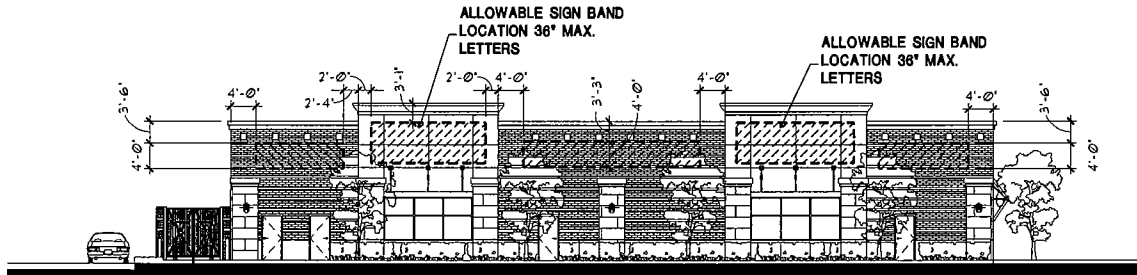
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



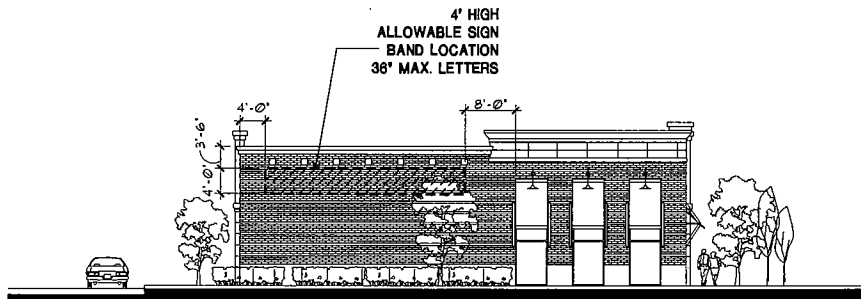
01 SOUTH ELEVATION L-1

SCALE: N.T.S.



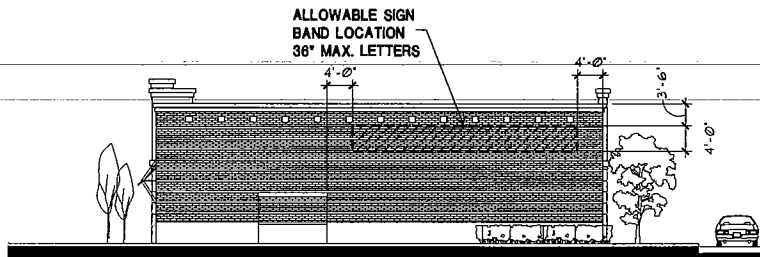
02 NORTH ELEVATION L-1

SCALE: N.T.S.



03 WEST ELEVATION L-1

SCALE: N.T.S.



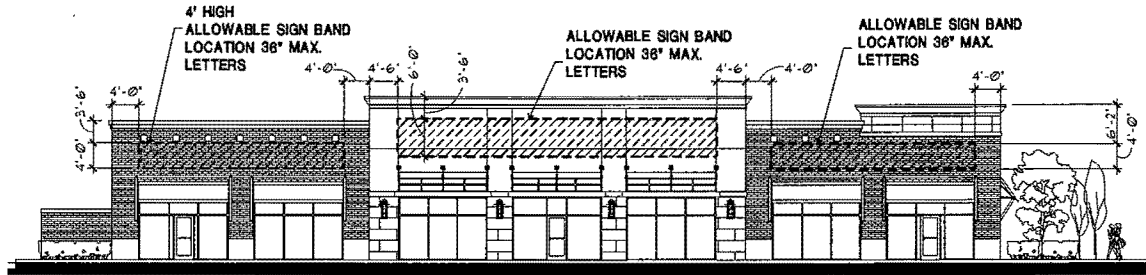
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TEXT FOR ILLUSTRATION ONLY

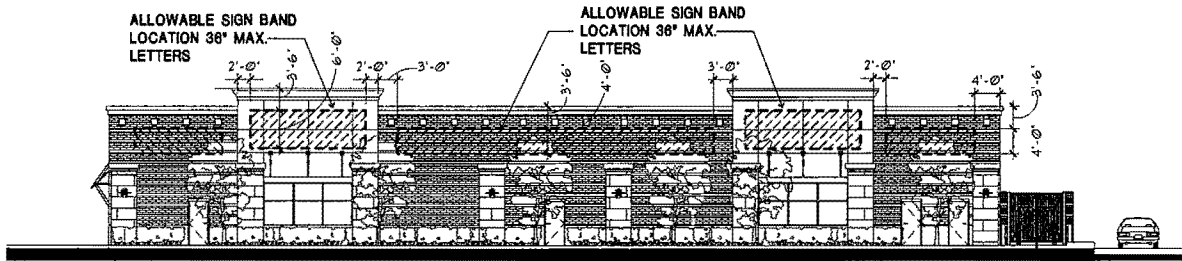
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



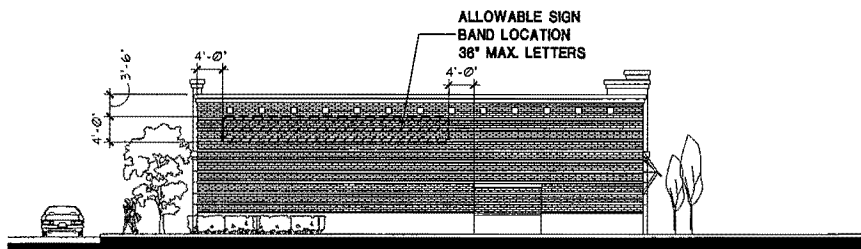
01 SOUTH ELEVATION L-2

SCALE: N.T.S.



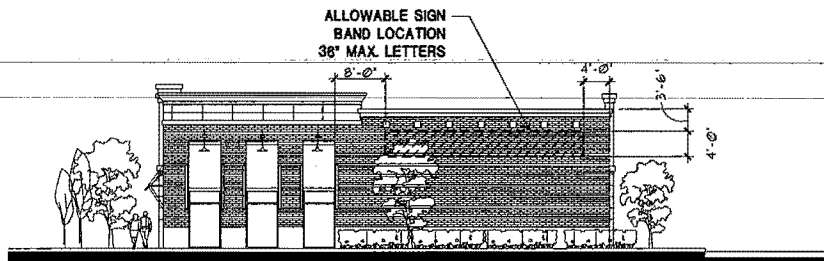
02 NORTH ELEVATION L-2

SCALE: N.T.S.



03 WEST ELEVATION L-2

SCALE: N.T.S.



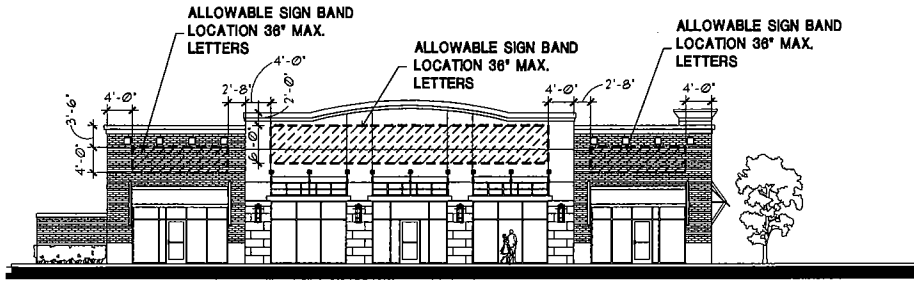
04 EAST ELEVATION L-2

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

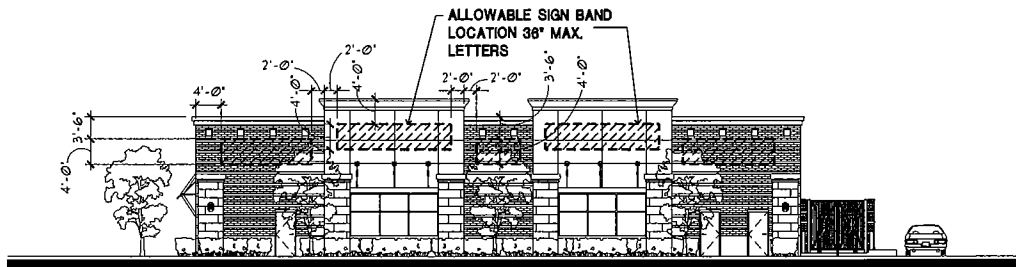
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



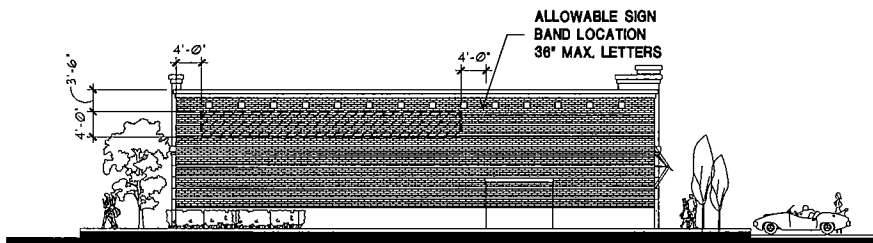
01 NORTH ELEVATION M-1

SCALE: N.T.S.



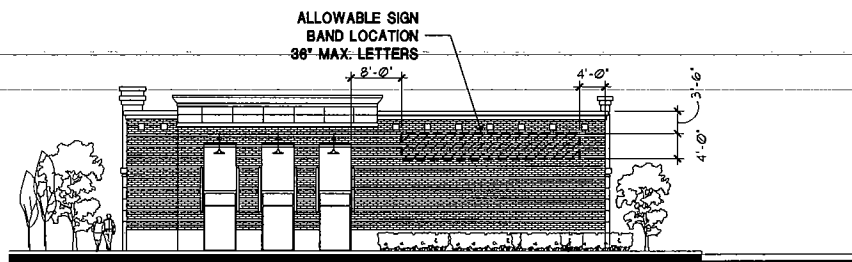
02 SOUTH ELEVATION M-1

SCALE: N.T.S.



03 EAST ELEVATION M-1

SCALE: N.T.S.



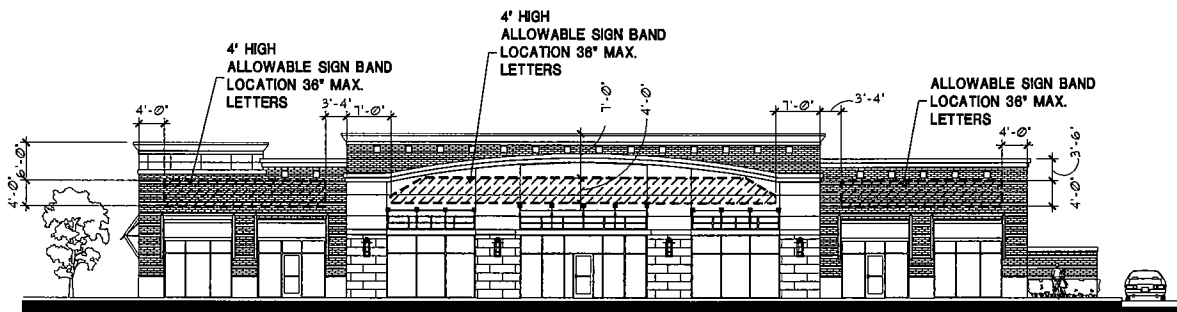
04 WEST ELEVATION M-1

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

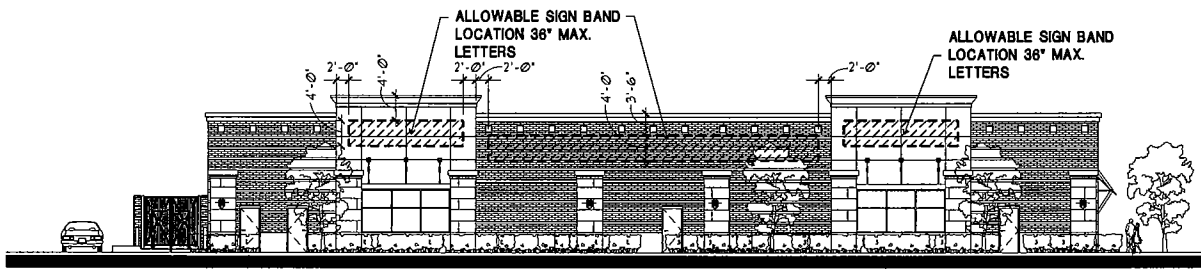
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



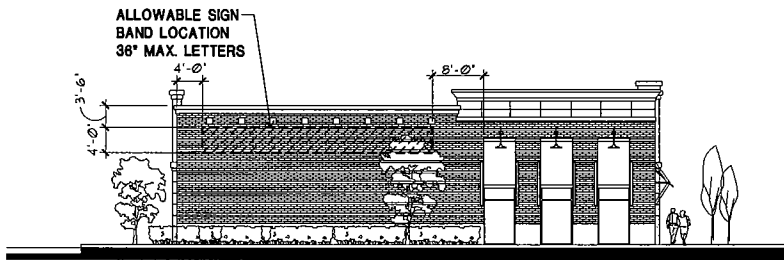
01 NORTH ELEVATION M-2

SCALE: N.T.S.



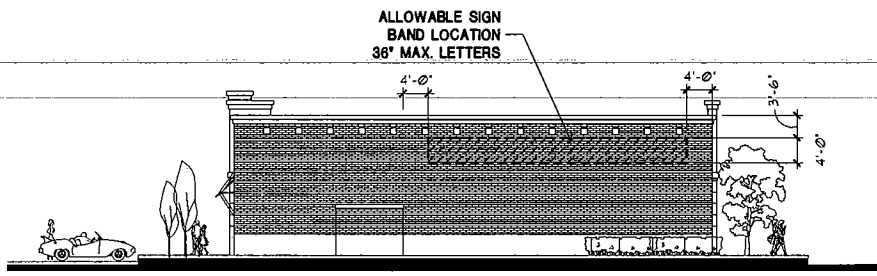
02 SOUTH ELEVATION M-2

SCALE: N.T.S.



03 EAST ELEVATION M-2

SCALE: N.T.S.



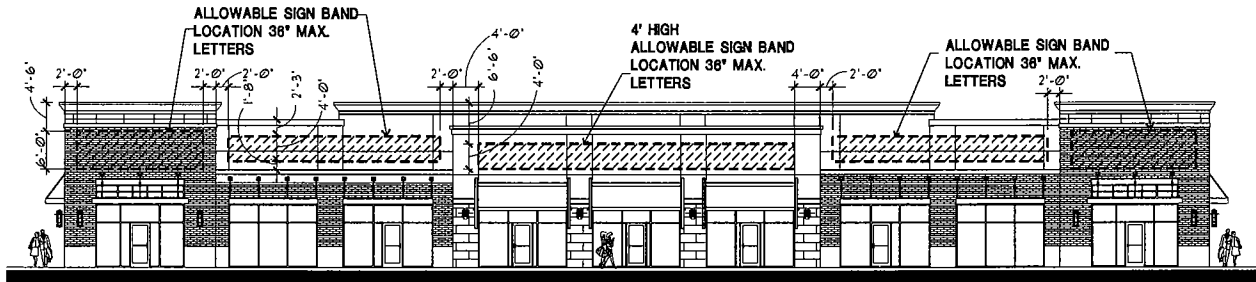
04 WEST ELEVATION M-2

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

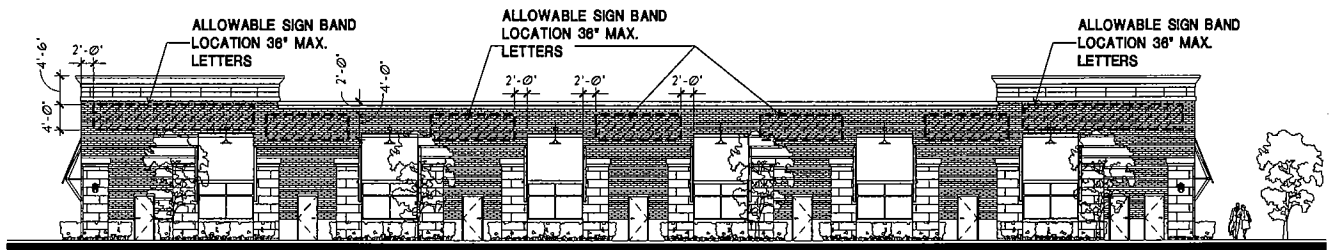
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



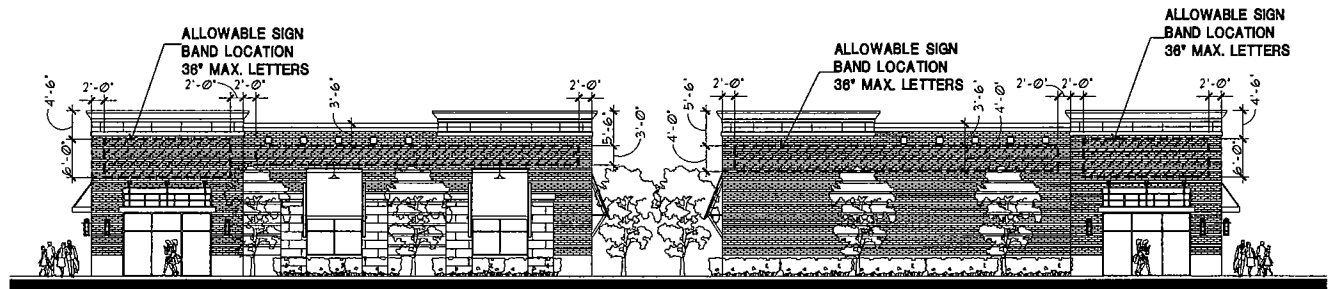
01 SOUTH ELEVATION N-1

SCALE: N.T.S.



02 NORTH ELEVATION N-1

SCALE: N.T.S.



03 EAST ELEVATION N-1

SCALE: N.T.S.

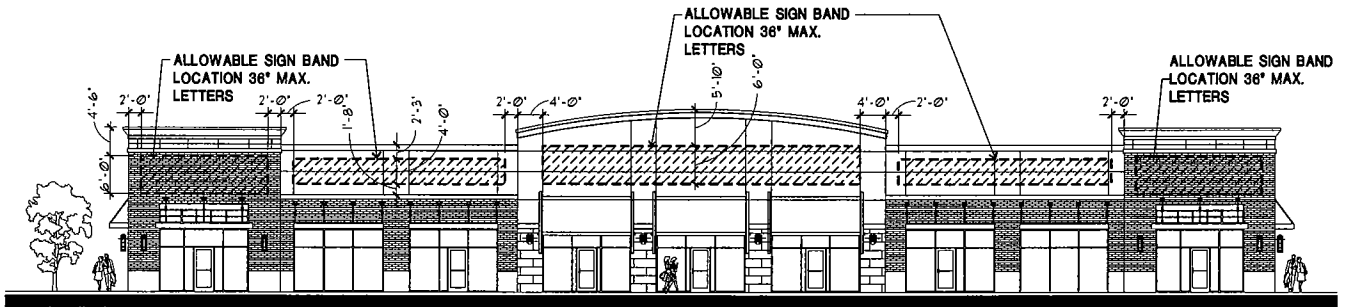
04 WEST ELEVATION N-1

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

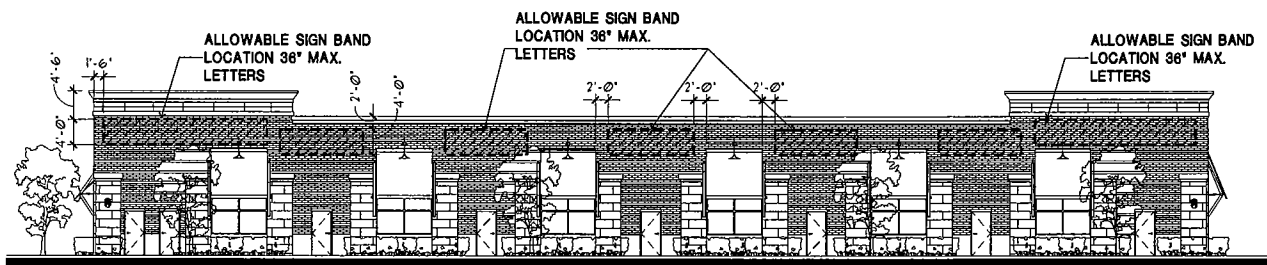
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



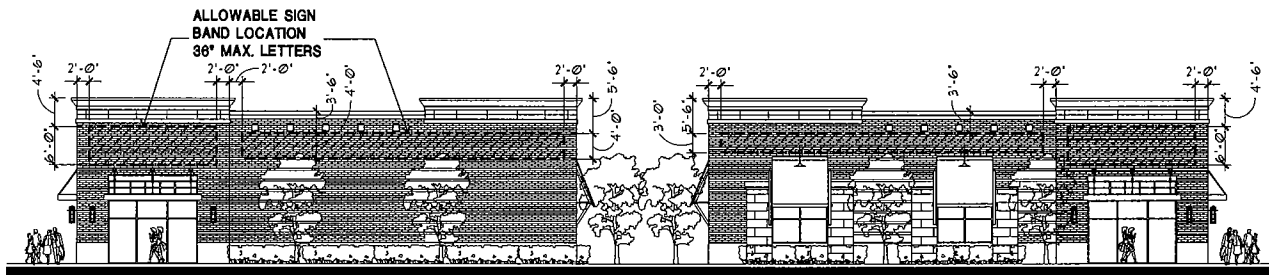
01 SOUTH ELEVATION N-2

SCALE: NT.5.



02 NORTH ELEVATION N-2

SCALE: NT.5.



03 EAST ELEVATION N-2

SCALE: NT.5.

04 WEST ELEVATION N-2

SCALE: NT.5.

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL

III. FREESTANDING GROUND SIGNS

A. Freestanding Ground “A” Major Entrance – Anchor

1. Description: Freestanding Ground signs on state highway frontage.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure.
3. Size:
 - a. Maximum height 30’-0”
 - b. Maximum width 15’-0”
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 32 of this Master Site Plan.
 - d. Maximum depth 8’0”
4. Number: No more than two (2)

B. Freestanding Ground “B” Major Entrance – Retail Sites

1. Description: Freestanding Ground signs for Retail Sites on state highway frontage.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure.
3. Size:
 - a. Maximum height 25’-0”
 - b. Maximum width 16’-0”
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 33 of this Master Site Plan
 - d. Maximum Depth 6’0”
4. Number: No more than two (2)

C. Freestanding Ground “C” Minor Entrance – Anchor

1. Description: Freestanding Ground sign on Old Sutton Road.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure
3. Size:
 - a. Maximum height 10’-0”
 - b. Maximum width 10’-0”
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 34 of this Master Site Plan
 - d. Maximum Depth 4’0”
4. Number: No More than one (1)

D. Freestanding Ground “D” Future Development Sites or Freestanding/Single-tenant Buildings

1. Description: Freestanding Ground signs on state highway frontage.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure
3. Size:
 - a. Maximum height 6’-0”
 - b. Maximum width 8’-4”
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 35 of this Master Site Plan
 - d. Maximum Depth 3’6”
4. Number: No more than three (3)

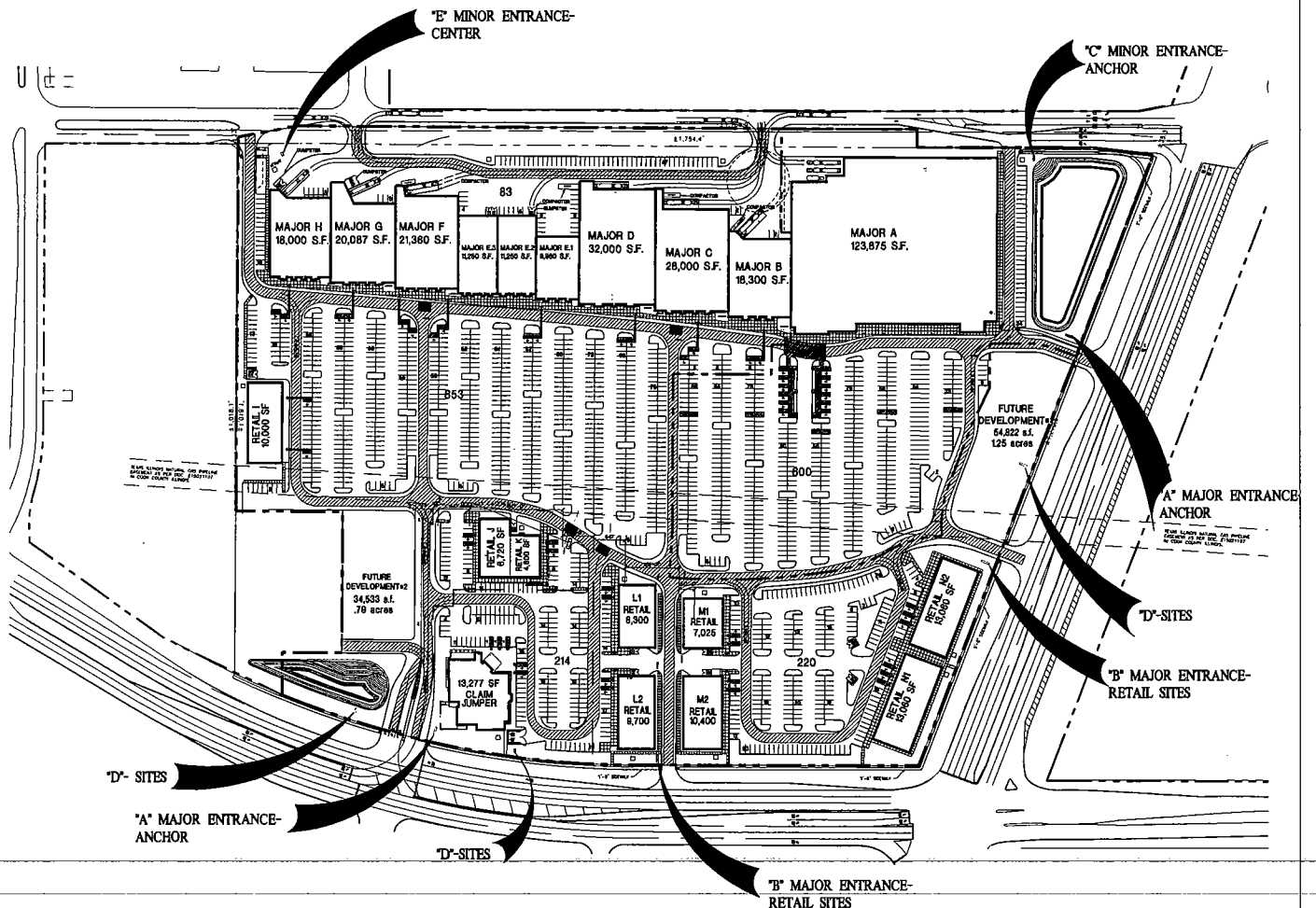
E. Freestanding Ground “E” Minor Entrance - Center

1. Description: Freestanding Ground sign on Old Sutton Road.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure
3. Size:
 - a. Maximum height 6’-0”

- b. Maximum width 8'-4"
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 36 of this Master Site Plan
 - d. Maximum Depth 4'0"
4. Number: No more than one (1)

F. General Location Requirements

- 1. All Freestanding Ground Signs shall be set back a minimum of 10'-0" from the property line and 5'-0" from pavement. The measurement is to be taken from the portion of the sign structure that is closest to the property line or pavement as the case may be.
- 2. Locations shall be as depicted on page 31 of this Master Sign Plan.



01 MASTER SIGN PLAN

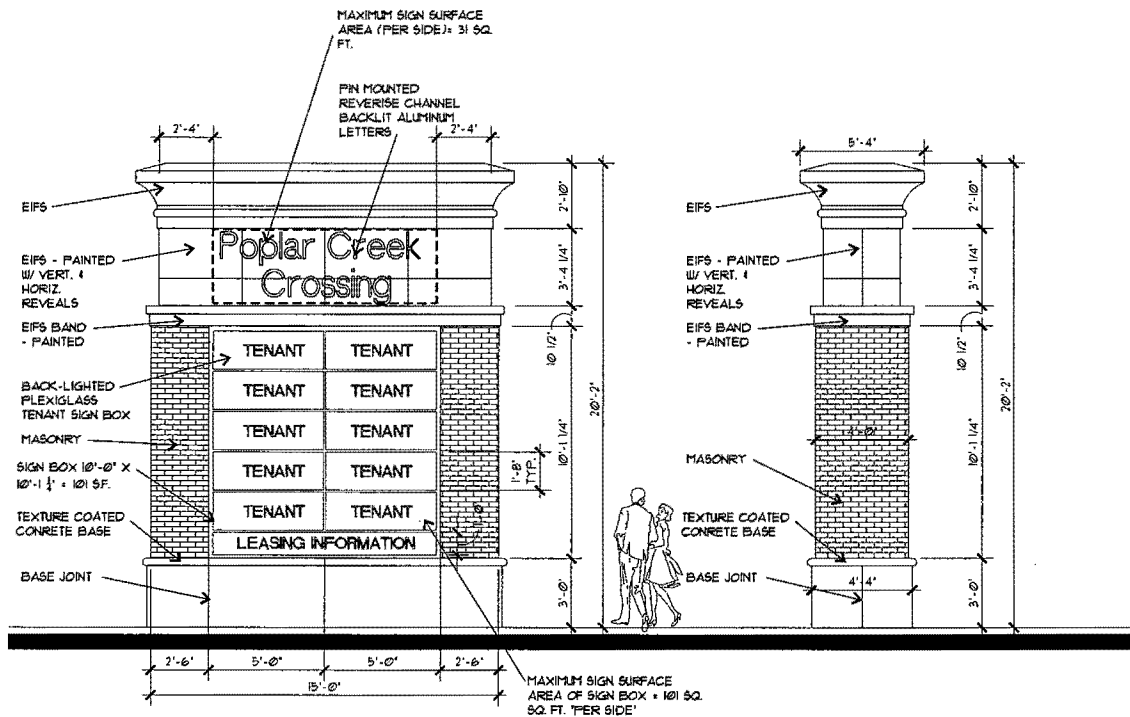
SCALE: N.T.S.



FREESTANDING GROUND SIGNS

POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
 ARCHON RETAIL



**FREESTANDING MAJOR ENTRY GROUND SIGN
01 TYPE "B" FOR SMALLER ANCHOR TENANTS**

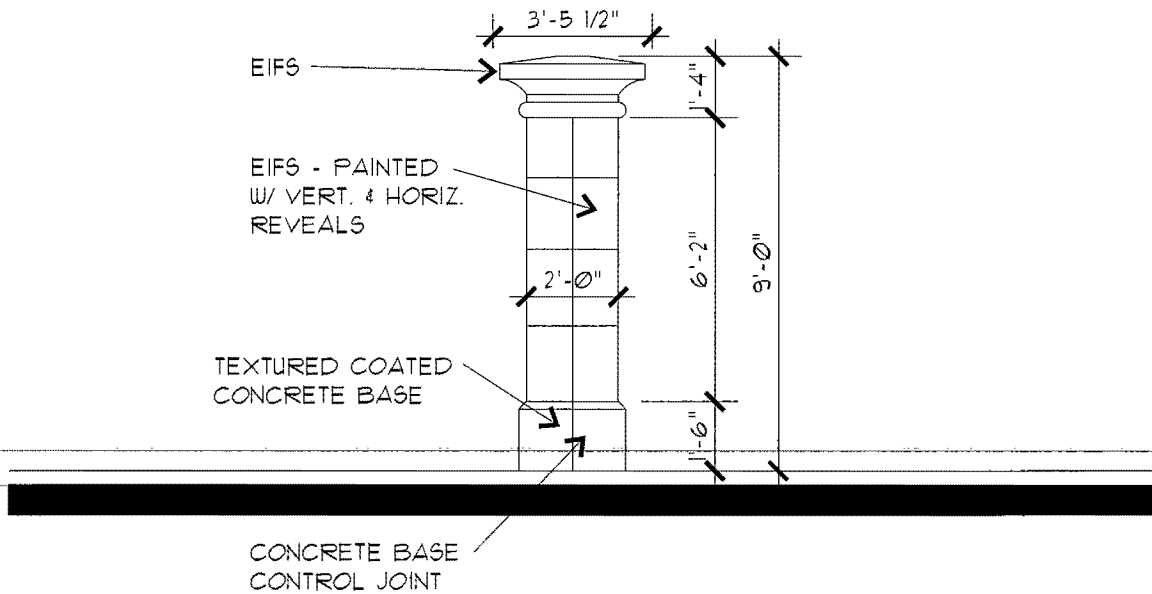
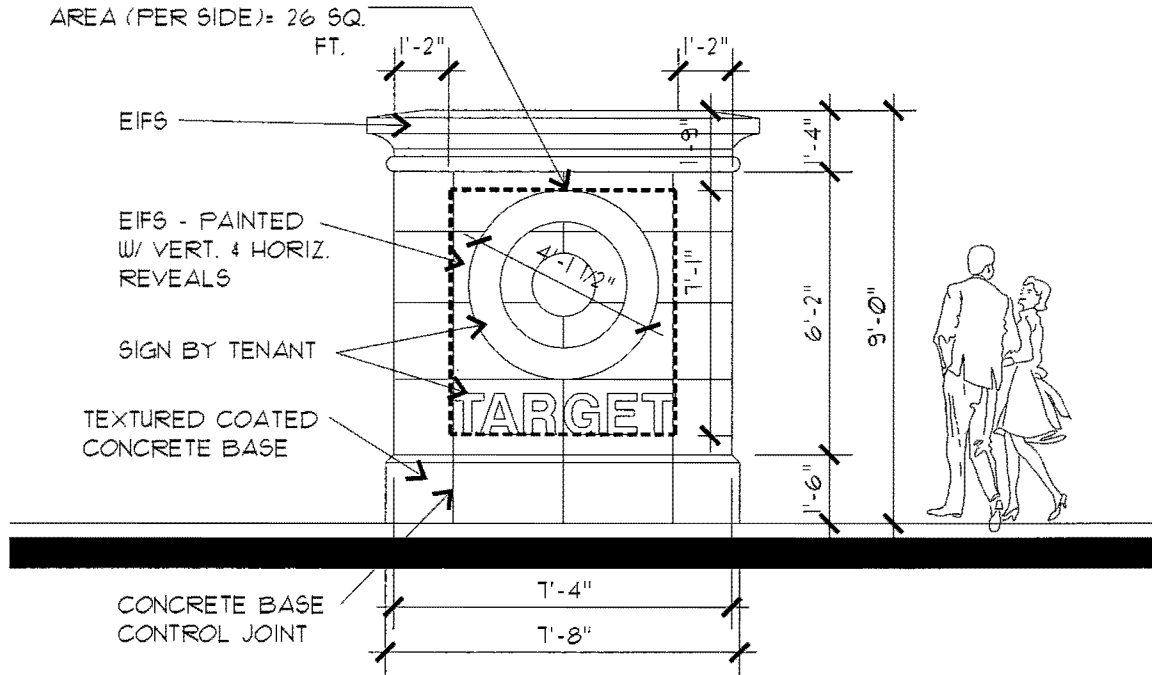
SCALE: 1/8" = 1'-0"

**POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS**

A DEVELOPMENT OF:
ARCHON RETAIL

33 of 37

MAXIMUM SIGN SURFACE
AREA (PER SIDE) = 26 SQ.
FT.

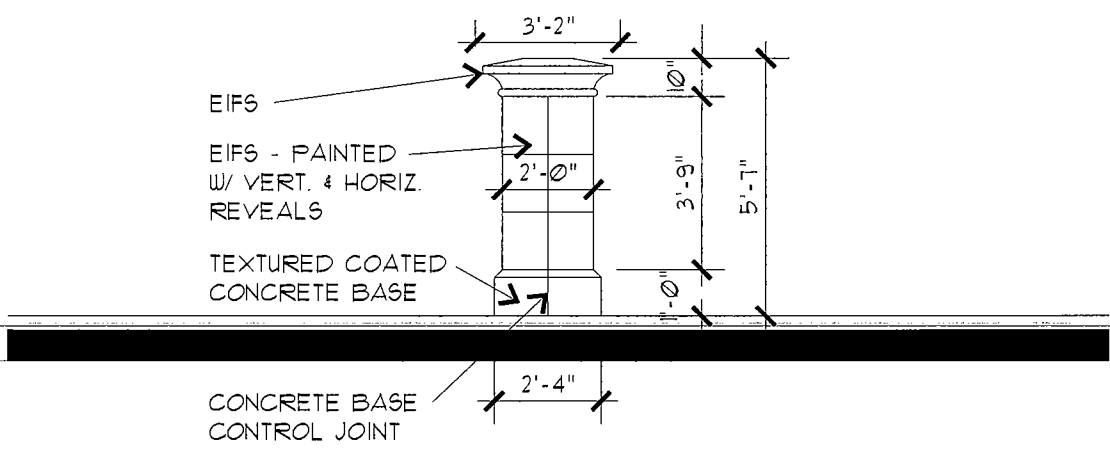
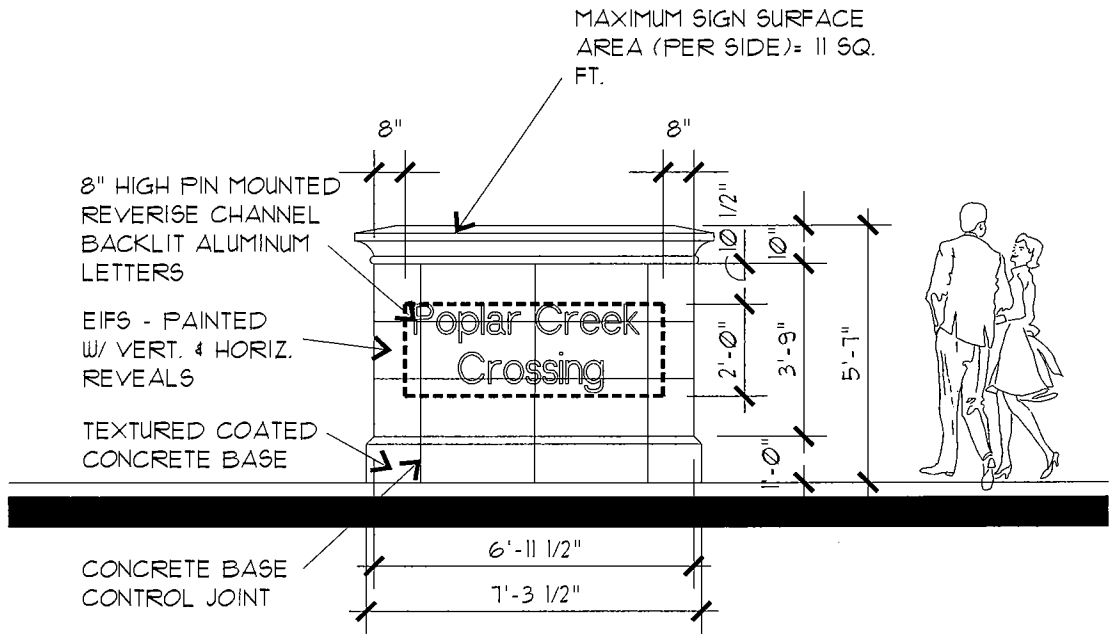


01 FREESTANDING MINOR ENTRY GROUND SIGN TYPE "C"

SCALE: 1/4" = 1'-0"

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



FREESTANDING SINGLE BUSINESS GROUND SIGN TYPE "E"
01 FOR SINGLE USE FREESTANDING BUILDINGS
SCALE: 1/4"=1'-0"

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL

IV LEASING SIGNS

- F. Leasing Signs (i) may be installed within the Sign Surface Areas of the "Freestanding Ground 'B' Major Entrance-Retail Sites" signs as depicted on the sample elevation plan on page 33 of this Master Sign Plan; or (ii) shall comply with Section 9-3-8-K of the Village Code; provided, however, that within 60 days after issuance of the initial certificate of occupancy for the final building to be built on the Property, any Leasing Sign installed pursuant to Section 9-3-8-K shall be removed. After such removal, the Village Code shall no longer govern Leasing Signs on the Property. Instead, Leasing Signs may be installed only within the Sign Surface Areas of the "Freestanding Ground 'B' Major Entrance-Retail Sites" signs as depicted on the sample elevation plan on page 33 of this Master Sign Plan.

Sign permits for Leasing Signs, which comply with this Section IV, may be applied for and shall be issued at any time before all the buildings on the Property are constructed.

2769636_v2



PLAN COMMISSION STAFF REPORT

Meeting Date: 3/18/2026

From: Daisy Dose-Adamzadeh, Planner II

**2026 Zoning Map
Discussion**

2026 Zoning Map Update (Information Only)

REQUEST SUMMARY

In accordance with 65 ILCS 5/11-13-19 and Section 9-1-3 of the Village's Zoning Code, the Village of Hoffman Estates Zoning Map is annually revised by March 31st and adopted by the Village Board. The Village Board approved an ordinance adopting the 2026 Zoning Map on March 16, 2026.

BACKGROUND / ANALYSIS

There were no zoning changes approved in 2025; therefore, no changes have been made to the 2026 Zoning Map.

MOTIONS

N/A

ATTACHMENTS

1. 2026 Zoning Map



Village of Hoffman Estates Zoning Map

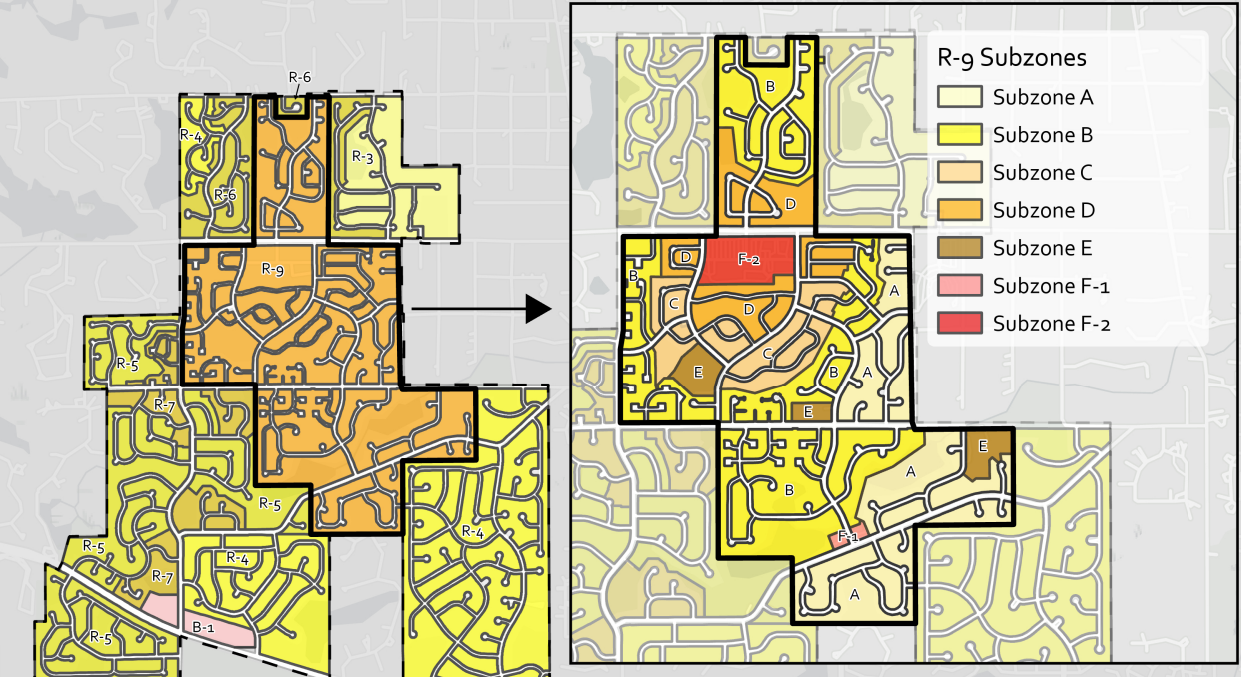
Effective January 1, 2026

Zoning Districts

	A-1 Apartment District		Forest Preserve District		R-1 One-Family Residential District		R-7 One-Family Residential District
	Agricultural District		Historic District		R-10 Attached Single-Family Dwelling Residential District		R-8 Two-Family Residential District
	B-1 Neighborhood Business District		M-1 Manufacturing District		R-2 One-Family Residential District		R-9 Planned Development District
	B-2 Community Business District		M-2 Manufacturing District		R-3 One-Family Residential District		RAA One-Family Residential Active Adult District
	B-3 Business District		O-1 Office District		R-4 One-Family Residential District		RPD Residential Planned Development
	B-4 Business District		O-3 Office and Research Tollway		R-5 One-Family Residential District		TN Traditional Neighborhood District
	C-MU Commercial Mixed-Use District		O-5 Office District		R-6 One-Family Residential District		

R-9 Subzones

	Subzone A
	Subzone B
	Subzone C
	Subzone D
	Subzone E
	Subzone F-1
	Subzone F-2



Legend

- Cannabis Overlay District
- Parcels
- Village Boundary

