



AGENDA
Village Board of Trustees
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

April 6, 2026 **Council Chambers** **7:00 PM**

1. **CALL TO ORDER/ROLL CALL**

2. **PLEDGE OF ALLEGIANCE TO THE FLAG**

3. **PUBLIC COMMENT**

4. **APPROVAL OF MINUTES**
 - A. Village Board 03-16-2026

5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**

(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)

 - A. Approval of Agenda
 - B. Approval of the schedule of bills for 04-06-2026 — \$5,235,877.49
 - C. Approval of a Resolution authorizing the purchase and installation of LED display panels for the Monument Sign at the NOW Arena from Vernon & Maz, Inc. Monee, Illinois in the amount not to exceed \$292,494.
 - D. Approval of a Resolution authorizing the purchase of four heavy-duty truck chassis from JX Truck Center, Bolingbrook, Illinois, in an amount not to exceed \$605,380.
 - E. Approval of a Resolution for the Village to participate in the State of Illinois Central Management Services joint purchase of road salt for 2027, in an amount up to 4,080 tons.
 - F. Approval of a Resolution authorizing an agreement for 2026, 2027, and 2028 Landscape Maintenance Services to V. Cardenas Landscaping, East Dundee, Illinois, in a cumulative amount not to exceed \$250,000.

6. **REPORTS**
 - A. President's Report
 1. Presentation(s)

- a. Great Citizen Awards/Operation Love

- 2. Proclamation(s)
 - a. National Child Abuse Prevention Month
 - b. National Autism Awareness Month

- 3. Board & Commission Appointment(s)/Reappointment(s)/Resignation(s)
 - a. Saif Sultan, Resignation, Cultural Awareness Commission

- B. Trustee Comments

- C. Village Manager's Report

- D. Village Clerk's Report

- E. Committee Reports
 - 1. General Administration & Personnel
 - 2. Transportation & Road Improvement
 - 3. Planning, Building & Zoning

- F. Treasurer's Report

- 7. **PLAN COMMISSION RECOMMENDATIONS**
 - A. Approval of an Ordinance granting a Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road.

- 8. **ADDITIONAL BUSINESS**

- 9. **EXECUTIVE SESSION**
 - A. Purchase or Lease of Property (5 ILCS 120/2-(c)-(5))
 - B. Personnel (5 ILCS 120/2-(c)-(1))

- 10. **ADJOURNMENT**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and

can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

MEETING: **HOFFMAN ESTATES VILLAGE BOARD**
DATE: **MARCH 16, 2026**
PLACE: **COUNCIL CHAMBERS**
 MUNICIPAL BUILDING COMPLEX
 1900 HASSELL ROAD
 HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER/ROLL CALL

Village President William McLeod called the meeting to order at 7:00 p.m. The Village Clerk called the roll. Trustees present: Karen Mills, Anna Newell, Gary Pilafas, Gary Stanton, Karen Arnet, Patrick Kinnane.

Trustee Mills attended electronically.

A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT

E. Palm, Village Manager
J. Pape, Assistant Village Manager
A. Janura, Corporation Counsel
J. Bending, Deputy Police Chief
A. Wax, Fire Chief
R. Musiala, Finance Director
D. Raszka, Director of IT
B. Ackerlund, Assistant PW Director
A. Marks, Assistant HHS Director
J. Horn, Planning & Transportation Director
R. Signorella, Multimedia Production Manager
T. Cuevas, Administrative Intern

Motion by Trustee Pilafas, seconded by Trustee Kinnane, to allow Trustee Mills to attend electronically. Voice vote taken. All ayes. Motion carried.

2. PLEDGE OF ALLEGIANCE TO THE FLAG

The Pledge of Allegiance was led by Trustee Newell.

3. PUBLIC COMMENTS

No one wished to be recognized.

4. APPROVAL OF MINUTES

4.A. Village Board 03-02-2026

Motion by Trustee Pilafas, seconded by Trustee Arnet, to approve Item 4.A. Voice vote taken. All ayes. Motion carried.

4.B. Village Board 03-09-2026 Special

Motion by Trustee Stanton, seconded by Trustee Kinnane, to approve Item 4.B. Voice vote taken. All ayes. Motion carried.

5. CONSENT AGENDA/OMNIBUS VOTE:

5.A. Approval of Agenda

Motion by Trustee Arnet, seconded by Trustee Kinnane, to approve Item 5.A.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Arnet, Kinnane

Nay:

Mayor McLeod voted aye.

Motion carried.

5.B. Approval of the schedule of bills for March 16, 2026 - \$4,765,808.03.

Motion by Trustee Arnet, seconded by Trustee Kinnane, to approve Item 5.B.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Arnet, Kinnane

Nay:

Mayor McLeod voted aye.

Motion carried.

5.C. Approval of Ordinance #5220-2026 Adopting and Publishing the 2026 Zoning Map.

Motion by Trustee Arnet, seconded by Trustee Kinnane, to approve Item 5.C.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Arnet, Kinnane

Nay:

Mayor McLeod voted aye.

Motion carried.

5.D. Approval of Ordinance #5221-2026 Amending Chapter 8, Licenses, and Chapter 11, Building Requirements, of the Hoffman Estates Municipal Code (General Provisions, Fees, and Multiple Dwelling Buildings).

Motion by Trustee Arnet, seconded by Trustee Kinnane, to approve Item 5.D.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Arnet, Kinnane

Nay:

Mayor McLeod voted aye.

Motion carried.

5.E. Approval of Resolution #1762-2026 Increasing The Membership of The Commission For Senior Citizens of the Village of Hoffman Estates.

Motion by Trustee Arnet, seconded by Trustee Kinnane, to approve Item 5.E.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Arnet, Kinnane

Nay:

Mayor McLeod voted aye.

Motion carried.

6. REPORTS

6.A. President's Report

1. Proclamation(s)

a. World Down Syndrome Day

The proclamation was read by Trustee Pilafas. Motion by Trustee Arnet, seconded by Trustee Kinnane, to concur with the proclamation proclaiming March 21, 2026 as World Down Syndrome Day. Voice vote taken. All ayes. Motion carried.

2. Board & Commission Appointment(s)Reappointment(s)/Resignation(s)

a. Mona Morrison, Appointment, Commission for Senior Citizens, Term Ending April 30, 2028.

Motion by Trustee Arnet, seconded by Trustee Stanton, to approve Item 2.a. Voice vote taken. All ayes. Motion carried.

b. Nicholas Jorkon, Appointment, Sister Cities Commission, Term Ending April 30, 2027.

Motion by Trustee Arnet, seconded by Trustee Kinnane, to approve Item 2.b. Voice vote taken. All ayes. Motion carried.

c. Robert Kaplan, Appointment, Economic Development Commission, Term Ending April 30, 2028

Motion by Trustee Arnet, seconded by Trustee Kinnane, to approve Item 2.c. Voice vote taken. All ayes. Motion carried.

Mayor McLeod mentioned the upcoming Wine Wednesday event at Main Event. He attended several events and meetings including a Northwest Municipal Conference Bicycle and Pedestrian

Committee meeting, a Chicago Metropolitan Agency for Planning Board meeting, a seminar on The Economics of Data Center Growth, a Northwest Municipal Conference Board of Directors meeting, and a Chicago Metropolitan Agency (MPO) Policy Committee meeting. He also participated in the focus group for the search for a new district 54 school superintendent, attended a Fourth of July Commission meeting, the Audi After Dark event, and the Blue and Gold ceremony for Pack 397.

6.B. Trustee Comments

Trustee Mills congratulated all the newest commission members.

Trustee Pilafas had a Health & Human Services tour with a sponsor for the golf outing and met with golf outing members to discuss the remaining sponsors they would like the Mayor to reach out to.

Trustee Newell attended a Utility Commission meeting, the Youth Commission Kids Craft event, an Eagle Scout of Honor Ceremony for Alexander Schwer, the Blue and Gold ceremony for Pack 397 and the Audi After Dark event.

Trustee Stanton attended an Economic Development meeting, the Audi After Dark event, and the Blue and Gold ceremony for Pack 397

Trustee Arnet attended the Youth Commission Kids Craft event, an Eagle Scout of Honor Ceremony for Alexander Schwer, and the Blue and Gold ceremony for Pack 397.

Trustee Kinnane attended a Knights of Columbus Officer meeting and a Knights of Columbus Planning meeting, attended the Youth Commission Kids Craft event, an Eagle Scout of Honor Ceremony for Alexander Schwer, and continued with his volunteer activities for Holy Archangels Parish.

6.C. Village Manager's Report

The Village Manager had no report.

6.D. Village Clerk's Report

The Village Clerk had no report.

6.E. Committee Reports

1. Public Works & Utilities

Trustee Newell stated that they would be meeting to discuss the Approval of a Resolution authorizing the purchase of five portable message signs from Road Safe, which is out of Woodridge, Illinois in the amount of \$880,090; the Approval of a Resolution authorizing the purchase of four heavy-duty truck chassis from JX Truck Center, Bolingbrook, Illinois, in an amount not to exceed \$586,552; the Approval of a Resolution for the Village to participate in the State of Illinois Central Management Services joint purchase of road salt

for 2027, in an amount up to 4,080 tons; the Approval of a Resolution authorizing an agreement for 2026, 2027, and 2028 Landscape Maintenance Services to To Be Determined in a cumulative amount not to exceed \$X,XXX (to be determined); and to receive and file the Department of Public Works Monthly Report and the Engineering Division Monthly Report.

2. Public Health & Safety

Trustee Mills stated that they would be meeting to receive and file the Police Department Monthly Report, the Health & Human Services Monthly Report, the Emergency Management Coordinator Monthly Report, and the Fire Department Monthly Report.

3. Finance

Trustee Pilafas stated that they would be meeting to discuss the Approval of a Resolution authorizing the purchase and installation of LED display panels for the Monument Sign at the NOW Arena from Vernon & Maz, Inc. Monee, Illinois in the amount not to exceed \$292,494; and to receive and file the Finance Department Monthly Report, the Information Technology Department Monthly Report, and the NOW Arena Monthly Report.

6.F. Treasurer's Report

Mayor Mcleod stated that the Treasurer's report would be received and filed.

7. ADDITIONAL BUSINESS

There was no additional business.

Mayor McLeod requested Trustee Pilafas to re-read the proclamation.

The proclamation was read by Trustee Pilafas.

Motion by Trustee Arnet, seconded by Trustee Kinnane, to concur with the proclamation proclaiming March 21, 2026 as World Down Syndrome Day.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Arnet, Kinnane

Nay:

Mayor McLeod voted aye.

Motion carried.

A representative from Gigi's playhouse accepted the proclamation and was congratulated by the Board.

8. ADJOURNMENT

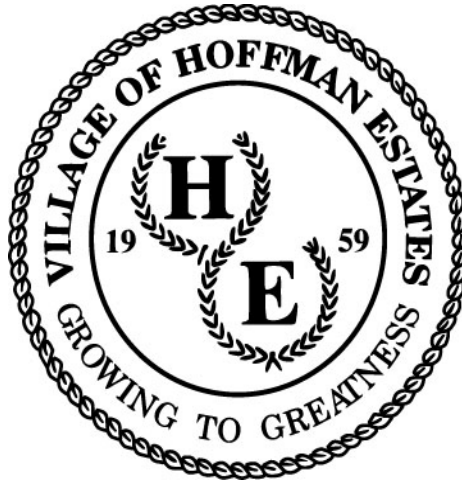
Motion by Trustee Pilafas, seconded by Trustee Arnet, to adjourn the meeting. Voice vote taken. All ayes. Motion carried. Time: 7:21 p.m.

Patty Richter
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

DRAFT



BILL LIST SUMMARY

BILL LIST AS OF	04/06/2026	\$ 1,248,514.72
MANUAL CHECKS	03/13/2026 - 04/01/2026	\$ 563,094.20
PAYROLL	03/20, 04/01 & 04/03/2026	\$ 3,424,268.57
TOTAL		\$ 5,235,877.49

VILLAGE OF HOFFMAN ESTATES

APRIL 6, 2026

GL Number	Vendor Name	Invoice Description	Amount
Fund: 100 GENERAL FUND			
Department: 0000 MISCELLANEOUS			
100-0000-03010.000	STAPLES	OFFICE SUPPLIES	70.16
100-0000-03010.000	THE FINER LINE	NAME BADGES ENGRAVED W/MAGNET	264.00
100-0000-03020.000	ACME TRUCK BRAKE & SUPPLY CO.	STOCK PARTS	26.37
100-0000-03020.000	ADVANCE AUTO PARTS	STOCK PARTS	92.52
100-0000-03020.000	BRAD MANNING FORD INC	STOCK PARTS	211.56
100-0000-03020.000	CAR-ONE TIRE AND AUTO	STOCK PARTS	1,380.00
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	1,354.04
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	CREDIT	(1,354.04)
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	148.80
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	CREDIT	(148.80)
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	93.24
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	719.92
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	CREDIT	(719.92)
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	217.96
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	160.58
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	527.64
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	15.56
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	607.08
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	90.65
100-0000-03020.000	CHICAGO PARTS & SOUND LLC	STOCK PARTS	497.11
100-0000-03020.000	FACTORY MOTOR PARTS CO	STOCK PARTS	122.94
100-0000-03020.000	FACTORY MOTOR PARTS CO	STOCK PARTS	122.94
100-0000-03020.000	FACTORY MOTOR PARTS CO	STOCK PARTS	125.20
100-0000-03020.000	FACTORY MOTOR PARTS CO	STOCK PARTS	1,011.02
100-0000-03020.000	O'REILLY AUTO PARTS	STOCK PARTS	5.27
100-0000-03020.000	O'REILLY AUTO PARTS	STOCK PARTS	87.19
100-0000-03020.000	POMP'S TIRE	STOCK PARTS	3,280.44
100-0000-03020.000	POMP'S TIRE	STOCK PARTS	2,554.60
100-0000-03020.000	POMP'S TIRE	STOCK PARTS	1,894.92
100-0000-03030.000	PROVEN IT	4/23 - 5/22/26 CONTRACT BASE RATE CHARGE	836.80
100-0000-03030.000	PROVEN IT	2/23/26 - 3/22/26 COPIER CLICK CHARGE	155.48
100-0000-05080.000	ADVANCE AUTO PARTS	P39 PARTS	24.28
100-0000-14450.000	ML GROUP DESIGN & DEVELOPMENT	PERMIT OVERPAYMENT	294.17
100-0000-34050.000	BETTY BELLAVIA	PARAMEDIC REFUND	250.00
100-0000-34050.000	CHRISTINE A GRANDT	PARAMEDIC REFUND	250.00
100-0000-34050.000	EMS MANAGEMENT & CONSULTANTS, INC.	PARAMEDIC FEE BILLING 02/01/26 - 02/28/26	5,567.05
100-0000-34050.000	JACQUELINE LISCANO	PARAMEDIC REFUND	545.00
100-0000-34050.000	JANE PETRAKIS	PARAMEDIC REFUND	250.00
100-0000-34050.000	JIM SOMMERER	PARAMEDIC REFUND	545.00
100-0000-34050.000	MARY LOU ANTON	PARAMEDIC REFUND	315.00
100-0000-34050.000	RUTH MENDELSON	PARAMEDIC REFUND	125.00

VILLAGE OF HOFFMAN ESTATES

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100-0000-34050.000	STELLARINE BROWN	PARAMEDIC REFUND	250.00
100-0000-34050.000	WILLIAM SAVAGEAU	PARAMEDIC REFUND	103.69
100-0000-35020.000	DEJESUS RAMON	PD TICKET DUPLICATE PAYMENT REFUND	220.00
100-0000-35020.000	PETER LEAH	PD TICKET DUPLICATE PAYMENT REFUND	200.00
Total Department 0000 MISCELLANEOUS			23,390.42

Department: 1011 GENERAL GOVT LEGISLATIVE

100-1011-45040.000	METROPOLITAN MAYORS CAUCUS	2026 CAUCUS DUES	2,363.85
			2,363.85

Total Department 1011 GENERAL GOVT LEGISLATIVE

2,363.85

Department: 1012 GENERAL GOVT ADMINISTRATION

100-1012-43030.000	MORRISON ASSOCIATES LTD	ANNUAL DUES	1,500.00
100-1012-44020.000	WAREHOUSE DIRECT	PRINTING CALC	33.91
			1,533.91

Total Department 1012 GENERAL GOVT ADMINISTRATION

1,533.91

Department: 1013 GENERAL GOVT LEGAL

100-1013-44040.000	CIVICPLUS INC	MUNICIPAL CODE - SUBSCRIPTION	4,453.00
100-1013-45420.000	RICHARD A KAVITT ATTORNEY AT LAW	HOURS WEEK OF MAR 16, 2026	1,450.00
100-1013-45420.000	RICHARD A KAVITT ATTORNEY AT LAW	HOURS WEEK OF MAR 9, 2026	500.00
100-1013-45420.000	RICHARD A KAVITT ATTORNEY AT LAW	HOURS WEEK OF MAR 23, 2026	1,500.00
100-1013-45670.000	EUGENE L GRIFFIN & ASSOCIATES LTD	2305 PEMBROKE TAX	1,560.00
100-1013-45670.000	FRANCZEK PC	OUTSIDE LEGAL	488.00
			9,951.00

Total Department 1013 GENERAL GOVT LEGAL

9,951.00

Department: 1014 GENERAL GOVT FINANCE

100-1014-44020.000	GARVEY'S OFFICE PRODUCTS INC	OFFICE SUPPLIES	85.27
100-1014-44140.000	THE FINER LINE	NAME PLATE, ENGRAVE, SHIPPING	137.34
100-1014-45050.000	SIKICH LLP	AUDIT SERVICES	20,441.00
100-1014-45050.000	SIKICH LLP	AUDIT SERVICES	1,892.00
100-1014-45050.000	SIKICH LLP	AUDIT SERVICES	225.00
100-1014-45070.000	LAUTERBACH & AMEN, LLP	ACTUARIAL & OPEB REPORTS	16,880.00
			39,660.61

Total Department 1014 GENERAL GOVT FINANCE

39,660.61

Department: 1015 GENERAL GOVT CLERK

100-1015-45460.000	PADDOCK PUBLICATIONS INC	BID PUBLICATION	105.30
100-1015-45460.000	PADDOCK PUBLICATIONS INC	BID PUBLICATION	89.10
100-1015-45460.000	PADDOCK PUBLICATIONS INC	BID & PUBLIC HEARING NOTICES	126.90
100-1015-45480.000	COOK COUNTY CLERK	RECORDINGS	277.00
			598.30

Total Department 1015 GENERAL GOVT CLERK

598.30

Department: 1016 GENERAL GOVT HRM

100-1016-42120.000	BRIAN MANKA	TUITION REIMBURSEMENT	915.45
100-1016-44160.000	PROVEN IT	4/23 - 5/22/26 CONTRACT BASE RATE CHARGE	73.30
100-1016-45070.000	MGT IMPACT SOLUTIONS, LLC	CONTRACTUAL SERVICES / TEMP HR ASSIST	5,104.00
100-1016-45790.000	WELLOW URGENT CARE	HR DRUG SCREENS/PHYSICALS	567.00

VILLAGE OF HOFFMAN ESTATES

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100-1016-45800.000	EMPLOYMENT SCREENING ALLIANCE GROUP	02/2026 BACKGROUND SCREENING	192.00
Total Department 1016 GENERAL GOVT HRM			6,851.75

Department: 2012 POLICE ADMINISTRATION

100-2012-44020.000	ODP BUSINESS SOLUTIONS, LLC	OFFICE SUPPLIES	101.71
100-2012-44050.000	THE FINER LINE	SHADOWBOX - OFFICER K. DOHERTY	395.00
100-2012-44160.000	PROVEN IT	4/23 - 5/22/26 CONTRACT BASE RATE CHARGE	518.25
100-2012-44210.000	J.C. SCHULTZ ENTERPRISES, INC.	US NYLON FLAGS	77.56
100-2012-44220.000	PAMELA G KARAHALIOS	HEARING OFFICER SERVICES MAR, 2026	1,150.00
Total Department 2012 POLICE ADMINISTRATION			2,242.52

Department: 2021 POLICE PATROL & RESPONSE

100-2021-43040.000	CHICAGO EMBROIDERY COMPANY	POLICE PATCH SAMPLES	255.00
100-2021-44030.000	P F PETTIBONE & CO	VOHE ORD VIOLATION ENVELOPES	1,247.40
100-2021-44140.000	B & H PHOTO	EVIDENCE TECH CAMERA	2,246.95
100-2021-45070.000	MATTHEW FESEMYER	REIMB PRESCRIPTION EXP OFC IOD	64.79
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	4,288.57
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	107,570.12
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	84,677.85
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	19,780.16
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	11,691.28
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	13,645.57
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	10,866.16
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	13,645.57
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	13,645.57
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	598.36
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	41,200.86
100-2021-45420.200	AXON ENTERPRISE INC	POLICE BWC TASER EQUIPMENT	575.49
Total Department 2021 POLICE PATROL & RESPONSE			325,999.70

Department: 2022 POLICE TRAFFIC CONTROL

100-2022-45420.000	ANDY FRAIN SERVICES, INC	CROSSING GUARD SERVICES	25,119.45
Total Department 2022 POLICE TRAFFIC CONTROL			25,119.45

Department: 2023 POLICE INVESTIGATIONS

100-2023-43010.000	ALEXANDRA BERKMAN	TRAVEL REIMB SOCIAL WORKER ACADEMY	69.41
100-2023-44140.000	A T & T	TOWER/AREA SEARCH HEP26-000630	70.00
Total Department 2023 POLICE INVESTIGATIONS			139.41

Department: 2029 POLICE ADMINISTRATIVE SERVICES

100-2029-43010.000	INTERNATIONAL ASSOCIATION FOR	PROPERTY/EVID MGMT CLASS	360.00
100-2029-43040.000	J.G. UNIFORMS, INC.	CSO NEW ISSUE UNIFORM - BARRAZA	87.00
Total Department 2029 POLICE ADMINISTRATIVE SERVICES			447.00

Department: 3012 FIRE ADMINISTRATION

100-3012-43010.000	SRSD CONSULTING, LLC	INDIVIDUAL COACHING FEE	1,000.00
100-3012-43030.000	IFSAP	IFSAP MEMBERSHIP	60.00

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100-3012-44020.000	ODP BUSINESS SOLUTIONS, LLC	OFFICE SUPPLIES	91.80
100-3012-44160.000	PROVEN IT	4/23 - 5/22/26 CONTRACT BASE RATE CHARGE	42.35
Total Department 3012 FIRE ADMINISTRATION			1,194.15

Department: 3030 FIRE PUBLIC EDUCATION

100-3030-44140.000	ON TIME EMBROIDERY INC	PUBLIC EDUCATION SUPPLIES	452.00
Total Department 3030 FIRE PUBLIC EDUCATION			452.00

Department: 3031 FIRE SUPPRESSION

100-3031-43040.000	EAGLE ENGRAVING, INC.	UNIFORM SUPPLIES	767.10
100-3031-43040.000	TODAYS UNIFORMS	UNIFORMS	1,618.85
100-3031-43040.160	AIR ONE EQUIPMENT INC	TURNOUT GEAR REPAIR	119.00
100-3031-44080.130	AIR ONE EQUIPMENT INC	EQUIPMENT SUPPLIES	670.00
100-3031-45090.190	CAROL STREAM FIRE PROT.DISTRICT	TOWER - LIVE BURN	1,800.00
100-3031-45100.110	AIR ONE EQUIPMENT INC	SCBA SUPPLIES	1,252.52
100-3031-45420.150	IMAGETREND, INC.	FIELD BRIDGE SUPPORT ANNUAL FEE	675.00
100-3031-45420.150	NORTHWEST COMMUNITY HOSPITAL	2025 IIMAGE TREND & WEBSITE SUPPORT	2,619.91
Total Department 3031 FIRE SUPPRESSION			9,522.38

Department: 3032 FIRE EMERGENCY MEDICAL SERVICES

100-3032-43010.000	DEVIN DELRICCO	PARAMEDIC RENEWAL	41.00
100-3032-43010.000	NORTHWEST COMMUNITY HOSPITAL	IN-STATION CE QTR 3 FY 2025-2026	2,445.00
100-3032-43010.000	WILLIAM RAINEY HARPER COLLEGE	SPRING/SUMMER PARAMEDIC CLASS TUITION	10,930.00
100-3032-44190.000	GRAINGER INC	EMS SUPPLIES	168.36
100-3032-44190.000	LABSOURCE INC	EMS SUPPLIES	231.80
100-3032-44190.000	STRYKER MEDICAL	EMS EQUIPMENT	4,177.50
100-3032-44190.000	TELEFLEX MEDICAL INCORPORATED	EMS EQUIPMENT	598.00
Total Department 3032 FIRE EMERGENCY MEDICAL SERVICES			18,591.66

Department: 3033 FIRE PREVENTION

100-3033-44140.000	WALTER KIDDE PORTABLE EQUIPMENT	TAMPER SWITCH KIT	661.64
100-3033-45070.000	CHICAGO METRO FIRE PREVENTION CO	MONTHLY MAINTENANCE FEE	1,488.00
100-3033-45070.000	CHICAGO METRO FIRE PREVENTION CO	RADIO DISCONNECT FEE	85.00
100-3033-45070.000	FIRE SAFETY CONSULTANTS INC	PLAN REVIEW	580.00
100-3033-45070.000	FIRE SAFETY CONSULTANTS INC	PLAN REVIEW	925.00
100-3033-45070.000	FIRE SAFETY CONSULTANTS INC	PLAN REVIEW #26-12648	345.00
Total Department 3033 FIRE PREVENTION			4,084.64

Department: 3035 FIRE STATIONS

100-3035-46020.000	ABT HOME SERVICES	NEW GRILL FOR FIRE STATION #21	1,360.00
Total Department 3035 FIRE STATIONS			1,360.00

Department: 4012 PUBLIC WORKS ADMINISTRATION

100-4012-45070.000	WELLSNOW URGENT CARE	FIT FOR DUTY EXAMS	650.00
Total Department 4012 PUBLIC WORKS ADMINISTRATION			650.00

Department: 4041 PUBLIC WORKS SNOW & ICE

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100-4041-44090.000	MORTON SALT, INC	ROAD SALT	4,412.40
Total Department 4041 PUBLIC WORKS SNOW & ICE			4,412.40

Department: 4042 PUBLIC WORKS TRAFFIC OPERATIONS

100-4042-45020.000	COMMONWEALTH EDISON	ELECTRIC - VARIOUS TRAFFIC LIGHTS	382.90
100-4042-45020.000	COMMONWEALTH EDISON	ELECTRIC - 0 GLENDALE TRAFFIC SIGNAL	2,435.59
100-4042-45020.000	COMMONWEALTH EDISON	ELECTRIC - 290 KINGMAN	41.40
100-4042-45020.000	COMMONWEALTH EDISON	ELECTRIC - SEDGE LITE/PRAIRIE	2,731.95
100-4042-45230.000	ENERGYEFFICIENT SYSTEMS, INC.	GREENSPOINT LED LIGHT	2,112.50
100-4042-45230.000	WOLF ELECTRIC SUPPLY CO	STREET LIGHT MAINTENANCE	877.75
100-4042-45230.000	WOLF ELECTRIC SUPPLY CO	COIL KIT	1,707.51
100-4042-45440.000	3M HAK0206	SUPPLIES	2,385.27
100-4042-45440.000	MCMASTER CARR SUPPLY CO	SUPPLIES	442.39
100-4042-45450.000	FIVE STAR SAFETY EQUIPMENT INC	SAFETY EQUIPMENT	614.80
Total Department 4042 PUBLIC WORKS TRAFFIC OPERATIONS			13,732.06

Department: 4043 PUBLIC WORKS FORESTRY

100-4043-44080.000	RUSSO POWER EQUIPMENT	TOOLS/EQUIP	163.92
100-4043-44080.000	RUSSO POWER EQUIPMENT	EQUIPMENT	146.94
100-4043-45370.000	RUSSO POWER EQUIPMENT	SEED - 50LB	92.99
100-4043-45450.000	FULLIFE SAFETY CENTER	VARIOUS SUPPLIES	240.00
100-4043-45450.000	MENARDS - HNVR PARK	VARIOUS SUPPLIES	152.91
Total Department 4043 PUBLIC WORKS FORESTRY			796.76

Department: 4044 PUBLIC WORKS FACILITIES

100-4044-44120.000	CASE LOTS	2026 JANITORIAL SUPPLIES	1,478.00
100-4044-44140.000	STAPLES	OFFICE SUPPLIES	74.19
100-4044-45020.000	COMMONWEALTH EDISON	ELECTRIC - 4501 HOFFMAN BLVD	85.06
100-4044-45020.000	COMMONWEALTH EDISON	ELECTRIC - 5101 PRAIRIE STONE	489.01
100-4044-45030.000	NICOR GAS	GAS - 1900 HASSELL	66.67
100-4044-45070.000	SOUND INC.	BRIVO HOSTING FEES - APR'26	1,568.33
100-4044-45090.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45090.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45090.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45090.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45090.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45090.000	CINTAS	2026 UNIFORM AND MAT SERVICES	53.39
100-4044-45090.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45090.000	CINTAS	2026 UNIFORM AND MAT SERVICES	53.39
100-4044-45160.000	ALLIED DOOR INC.	GARAGE DOOR REPLACEMENT	6,447.24
100-4044-45160.000	NEUCO INC	VH EXHAUST FAN REPAIR	165.52
100-4044-45160.000	NEUCO INC	EXHAUST FAN MOTOR	151.21
100-4044-45160.000	ROSE PEST SOLUTIONS INC	PEST CONTROL	171.00
100-4044-45170.000	AMERICAN TIME	PD REPLACEMENT CLOCKS	388.61
100-4044-45170.000	GRAINGER INC	PD EXHAUST FAN	17.40
100-4044-45170.000	ROSE PEST SOLUTIONS INC	PEST CONTROL	138.00

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100-4044-45170.000	WOLF ELECTRIC SUPPLY CO	PD LED LIGHTING	1,824.00
100-4044-45170.000	WOLF ELECTRIC SUPPLY CO	LIGHT REPLACEMENT	98.75
100-4044-45180.000	BATTERIES PLUS BULBS	BRIVO BATTERY BACKUP	167.70
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	31.01
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	36.89
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	29.18
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	MATS - 1700 MOON LAKE BLVD	31.01
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	31.74
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4044-45180.000	CINTAS	MATS - 1300 WESTBURY	31.83
100-4044-45180.000	FOX VALLEY FIRE & SAFETY CO	FIRE ALARM CONTROL PANEL REPAIRS	5,478.00
100-4044-45180.000	GENSERVE LLC	FS24 GENERATOR REPAIRS	2,490.38
100-4044-45180.000	GRAINGER INC	TOILET REPAIRS	159.90
100-4044-45180.000	MENARDS - HNVR PARK	FIRE STATIONS: 21, 22, 23 STOCK OIL	94.36
Total Department 4044 PUBLIC WORKS FACILITIES			21,851.77

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Department: 4045 PUBLIC WORKS FLEET SERVICES

100-4045-43010.000	J J KELLER & ASSOCIATES INC	TRAINING	394.00
100-4045-43040.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4045-43040.000	CINTAS	2026 UNIFORM AND MAT SERVICES	88.79
100-4045-43040.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4045-43040.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4045-43040.000	CINTAS	2026 UNIFORM AND MAT SERVICES	125.39
100-4045-43040.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4045-43040.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4045-43040.000	CINTAS	2026 UNIFORM AND MAT SERVICES	72.65
100-4045-43040.000	CINTAS	2026 UNIFORM AND MAT SERVICES	0.00
100-4045-44110.000	AL WARREN OIL CO INC	FUEL UNLEADED	18,197.87
100-4045-44110.000	AL WARREN OIL CO INC	FUEL BIODIESEL	4,991.68
100-4045-44110.000	AL WARREN OIL CO INC	FUEL BIODIESEL	8,639.45
100-4045-44110.000	AL WARREN OIL CO INC	FUEL UNLEADED	15,003.43
100-4045-44140.000	ADVANCE AUTO PARTS	VARIOUS SUPPLIES	31.02
100-4045-44140.000	AMAZON CAPITAL SERVICES INC	VARIOUS SUPPLIES	102.85
100-4045-44140.000	AMAZON CAPITAL SERVICES INC	VARIOUS SUPPLIES	26.85
100-4045-44140.000	CTW INC.	VINYL COATED CLAMP	68.63
100-4045-44140.000	CTW INC.	OTHER SUPPLIES	73.05
100-4045-44140.000	MCMASTER CARR SUPPLY CO	OTHER SUPPLIES	106.99
100-4045-44140.000	MENARDS - HNVK PARK	VARIOUS SUPPLIES	47.96
100-4045-45070.000	PRECISE MRM LLC	5MB DATA PLAN	252.00
100-4045-45100.000	ADVANCE AUTO PARTS	MAINTENANCE EQUIPMENT	89.29
100-4045-45100.000	AMAZON CAPITAL SERVICES INC	MAINTENANCE EQUIPMENT	137.94
100-4045-45100.000	AMAZON CAPITAL SERVICES INC	MAINTENANCE EQUIPMENT	531.74
100-4045-45100.000	BUMPER TO BUMPER/ LEE AUTO	MAINTENANCE EQUIPMENT	11.89
100-4045-45100.000	HIGH PSI LTD	MAINTENANCE EQUIPMENT	953.55
100-4045-45130.000	BOB ROHRMAN'S SCHAUMBURG FORD	P50 PARTS	344.73
100-4045-45130.000	BRAD MANNING FORD INC	P50 PARTS	38.81
100-4045-45130.000	BRAD MANNING FORD INC	P26 PARTS	71.99
100-4045-45130.000	BRAD MANNING FORD INC	P23 PARTS	67.30
100-4045-45130.000	CAR-ONE TIRE AND AUTO	TIRE DISPOSAL	32.00
100-4045-45130.000	CAR-ONE TIRE AND AUTO	TIRE DISPOSAL	68.00
100-4045-45130.000	FRIENDLY FORD	P14 REPAIRS	690.10
100-4045-45130.000	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	45.00
100-4045-45130.000	SECRETARY OF STATE	LICENSE PLATE RENEWAL P47	151.00
100-4045-45130.000	THE GARAGE ON 12	P12 PARTS	450.00
100-4045-45130.000	THE GARAGE ON 12	P10 PARTS	450.00
100-4045-45130.000	THE GARAGE ON 12	P27 PARTS	450.00
100-4045-45130.000	ULTRA STROBE COMMUNICATIONS	P27 PARTS	302.70
100-4045-45130.000	ULTRA STROBE COMMUNICATIONS	P27 PARTS	103.85
100-4045-45130.000	ULTRA STROBE COMMUNICATIONS	P27 PARTS	161.95
100-4045-45130.000	ULTRA STROBE COMMUNICATIONS	PARTS	405.00
100-4045-45130.000	ULTRA STROBE COMMUNICATIONS	P27 PARTS	269.31
100-4045-45130.000	ULTRA STROBE COMMUNICATIONS	P27 PARTS	63.00
100-4045-45140.000	ACME TRUCK BRAKE & SUPPLY CO.	FA22 PARTS	61.90

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100-4045-45140.000	ACME TRUCK BRAKE & SUPPLY CO.	HAZ24 PARTS	280.73
100-4045-45140.000	ACME TRUCK BRAKE & SUPPLY CO.	FE24 PARTS	144.02
100-4045-45140.000	ADVANCE AUTO PARTS	SQ22 PARTS	16.46
100-4045-45140.000	ADVANCE AUTO PARTS	FT22R PARTS	12.81
100-4045-45140.000	AMAZON CAPITAL SERVICES INC	FC19 PARTS	41.30
100-4045-45140.000	BRAD MANNING FORD INC	FC16 PARTS	1,150.00
100-4045-45140.000	FOSTER COACH SALES INC	PARTS	20.40
100-4045-45140.000	HASTINGS AIR ENERGY CONTROL INC	MAINTENANCE FIRE	6,598.96
100-4045-45140.000	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	90.00
100-4045-45140.000	LAKESIDE INTERNATIONAL LLC	FE24 PARTS	183.79
100-4045-45140.000	NORTHWEST TRUCKS, INC	FA23 REPAIRS	296.00
100-4045-45140.000	NORTHWEST TRUCKS, INC	FA21 PARTS	178.35
100-4045-45140.000	O'REILLY AUTO PARTS	FE24 PARTS	26.48
100-4045-45140.000	PIEMONTE DUNDEE CHEVROLET INC	SQ22 PARTS	89.41
100-4045-45140.000	RUSH TRUCK CENTER OF ILLINOIS, INC	FT22R PARTS	98.90
100-4045-45140.000	RUSH TRUCK CENTER OF ILLINOIS, INC	FE22 AND UNIT 2 PARTS	21.79
100-4045-45140.000	RUSH TRUCK CENTER OF ILLINOIS, INC	FA23 PARTS	29.48
100-4045-45140.000	RUSH TRUCK CENTER OF ILLINOIS, INC	FA21R PARTS	345.00
100-4045-45140.000	THE GARAGE ON 12	FC19 PARTS	250.00
100-4045-45140.000	ULTRA STROBE COMMUNICATIONS	FC19 PARTS	130.00
100-4045-45140.000	ULTRA STROBE COMMUNICATIONS	FC19 PARTS	182.00
100-4045-45330.000	THE GARAGE ON 12	UNIT 94 PARTS	60.00
100-4045-45340.000	ADVANCE AUTO PARTS	UNIT 36 PARTS	40.79
100-4045-45340.000	ADVANCE AUTO PARTS	UNIT 36 PARTS	31.03
100-4045-45340.000	JX TRUCK CENTER WADSWORTH	UNIT 16 PARTS	499.22
100-4045-45340.000	JX TRUCK CENTER WADSWORTH	UNIT 16 PARTS	566.46
100-4045-45340.000	JX TRUCK CENTER WADSWORTH	UNIT 16 PARTS	217.86
100-4045-45340.000	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	337.00
100-4045-45340.000	LAKESIDE INTERNATIONAL LLC	UNIT 12 PARTS	107.20
100-4045-45340.000	LINDCO EQUIPMENT SALES	UNIT 11 PARTS	1,659.11
100-4045-45340.000	MCMASTER CARR SUPPLY CO	PARTS	50.16
100-4045-45340.000	MONROE TRUCK EQUIPMENT	UNIT 17 PARTS	95.34
100-4045-45340.000	POMP'S TIRE	STOCK PARTS	56.92
100-4045-45340.000	RUSH TRUCK CENTER OF ILLINOIS, INC	UNIT 2 PARTS	3,928.66
100-4045-45340.000	RUSH TRUCK CENTER OF ILLINOIS, INC	PARTS	77.00
100-4045-45340.000	RUSH TRUCK CENTER OF ILLINOIS, INC	UNIT 17 PARTS	352.41
100-4045-45340.000	RUSH TRUCK CENTER OF ILLINOIS, INC	UNIT 12 PARTS	341.25
100-4045-45340.000	RUSH TRUCK CENTER OF ILLINOIS, INC	UNIT 12 PARTS	400.28
100-4045-45340.000	THE GARAGE ON 12	UNIT 16 PARTS	60.00
100-4045-45340.000	THE GARAGE ON 12	UNIT 15 PARTS	60.00
100-4045-46020.000	RUSH TRUCK CENTER OF ILLINOIS, INC	SOFTWARE NAVISTAR	583.20
Total Department 4045 PUBLIC WORKS FLEET SERVICES			73,883.43

Department: 4046 PUBLIC WORKS F.A.S.T.

100-4046-44140.000	MENARDS - HNVR PARK	VARIOUS SUPPLIES	8.47
Total Department 4046 PUBLIC WORKS F.A.S.T.			8.47

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Department: 5050 DEVELOPMENT SVCS PLANNING&TRANSPORTATION

100-5050-45460.000	PADDOCK PUBLICATIONS INC	BID & PUBLIC HEARING NOTICES	32.40
Total Department 5050 DEVELOPMENT SVCS PLANNING&TRANSPORTATION			32.40

Department: 5051 DEVELOPMENT SVCS BLDG&CODE ENFORCEMENT

100-5051-44030.000	THE FINER LINE	NAME PLATE - KERIN BROWNE	62.46
100-5051-45070.000	ACTION LOCK & KEY, INC	BOARD UP SERVICES - INSTALLATION	382.90
100-5051-45070.000	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTIONS	36.00
100-5051-45070.000	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTIONS	288.00
100-5051-45070.000	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTIONS	468.00
100-5051-45070.000	TIGER ELECTRIC CORP	UPGRADE TO BREAK ROOM	2,289.74
100-5051-45450.000	JOHN STASCHKE	SAFETY SHOES REIMB	192.06
100-5051-45450.000	MICHAEL MCAVOY	SAFETY SHOES REIMB	85.59
Total Department 5051 DEVELOPMENT SVCS BLDG&CODE ENFORCEMENT			3,804.75

Department: 5052 DEVELOPMENT SVCS ENGINEERING

100-5052-44030.000	CLASS PRINTING	CONSTRUCTION TIMES NEWSLETTER	445.00
100-5052-45070.000	CZAPLICKI LOPEZ, PLLC	2026 NBIS BRIDGE INSPECTIONS	1,920.00
100-5052-45420.000	BLA, INC.	COMED CONSTRUCTION OBSERVATION	14,227.50
100-5052-46020.000	TOPCON SOLUTIONS INC	SURVEY EQUIP MAGNET FIELD SUBS	815.00
Total Department 5052 DEVELOPMENT SVCS ENGINEERING			17,407.50

Department: 5565 HEALTH & HUMAN SERVICES

100-5565-43030.000	CATHY DAGIAN STANTON	REIMB FOR NURSING LICENSE RENEWAL	81.80
100-5565-43030.000	GINA MCCAULEY	REIMB FOR NURSING LICENSE RENEWAL	81.80
100-5565-44160.000	PROVEN IT	4/23 - 5/22/26 CONTRACT BASE RATE CHARGE	117.70
100-5565-45070.100	BREAK THROUGH LIFE COACHING	REIMB - ITEMS FOR FLORECIENDO GROUP	21.77
Total Department 5565 HEALTH & HUMAN SERVICES			303.07

Department: 6053 BOARDS & COMMISSIONS 4TH OF JULY

100-6053-45460.000	THE FINER LINE	BADGES - PACKAGE & SHIPPING	4.32
Total Department 6053 BOARDS & COMMISSIONS 4TH OF JULY			4.32

Department: 6058 BOARDS & COMMISSIONS MISCELLANEOUS

100-6058-45550.000	GARY PILAFAS	FLIGHT REIMBURSEMENT SISTER CITIES EXCH	6,973.33
100-6058-45550.000	LILLIAN MOSIER	REIMBURSEMENT-MISC ITEMS	108.06
100-6058-45550.000	NOUR HUSSEINI	SISTER CITIES RUNNERS EXCHANGE REIMB	183.42
100-6058-45550.000	THE FINER LINE	BADGES - PACKAGE & SHIPPING	4.31
100-6058-45590.000	THE FINER LINE	BADGES - PACKAGE & SHIPPING	4.32
100-6058-45950.000	THE FINER LINE	BADGES - PACKAGE & SHIPPING	4.32
Total Department 6058 BOARDS & COMMISSIONS MISCELLANEOUS			7,277.76

Total Fund 100 GENERAL FUND			617,667.44
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Fund: 221 ROSELLE ROAD TIF

Department: 0000 MISCELLANEOUS

221-0000-45070.000	ARTHUR L JANURA JR	LEGAL SERVICES - ROSELLE RD TIF	487.50
221-0000-45070.000	BBG INC	APPRAISAL OF 80 W HIGGINS	2,000.00
221-0000-45070.000	SIKICH LLP	AUDIT SERVICES	1,352.00
Total Department 0000 MISCELLANEOUS			3,839.50

Total Fund 221 ROSELLE ROAD TIF	3,839.50
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Fund: 222 HIGGINS/HASELL TIF

222-0000-45070.000	SIKICH LLP	AUDIT SERVICES	1,352.00
222-0000-45670.000	ARTHUR L JANURA JR	LEGAL SERVICES - HIGGINS HASELL TIF	15,795.00
Total Department 0000 MISCELLANEOUS			17,147.00

Total Fund 222 HIGGINS/HASELL TIF	17,147.00
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Fund: 223 BARRINGTON/HIGGINS TIF

223-0000-45070.000	SIKICH LLP	AUDIT SERVICES	1,352.00
Total Department 0000 MISCELLANEOUS			1,352.00

Total Fund 223 BARRINGTON/HIGGINS TIF	1,352.00
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Fund: 224 LAKEWOOD CENTER TIF

224-0000-45070.000	EUGENE L GRIFFIN & ASSOCIATES LTD	LAKEWOOD TIF LEGAL SERVICES	1,657.50
224-0000-45070.000	SIKICH LLP	AUDIT SERVICES	1,352.00
Total Department 0000 MISCELLANEOUS			3,009.50

Total Fund 224 LAKEWOOD CENTER TIF	3,009.50
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Fund: 225 HIGGINS-OLD SUTTON TIF

225-0000-45070.000	SIKICH LLP	AUDIT SERVICES	1,352.00
Total Department 0000 MISCELLANEOUS			1,352.00

Total Fund 225 HIGGINS-OLD SUTTON TIF	1,352.00
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Fund: 226 STONINGTON & PEMBROKE TIF

226-0000-45070.000	ARTHUR L JANURA JR	LEGAL SERVICES - STONINGTON TIF	5,557.50
226-0000-45070.000	SIKICH LLP	AUDIT SERVICES	1,352.00
Total Department 0000 MISCELLANEOUS			6,909.50

Total Fund 226 STONINGTON & PEMBROKE TIF	6,909.50
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VILLAGE OF HOFFMAN ESTATES

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Fund: 402 CAPITAL VEHICLE & EQUIP

402-0000-46020.000	DIRECT FITNESS SOLUTIONS	FITNESS EQUIPMENT FOR NEW FS21	5,130.00
402-0000-46020.000	DIRECT FITNESS SOLUTIONS	FITNESS EQUIPMENT FOR NEW FS21	7,275.00
402-0000-46020.000	DIRECT FITNESS SOLUTIONS	FITNESS EQUIPMENT FOR NEW FS21	500.00
402-0000-46020.000	DIRECT FITNESS SOLUTIONS	FITNESS EQUIPMENT FOR NEW FS21	600.00
402-0000-46030.000	EBY GRAPHICS	LETTERING AND GRAPHICS P10	1,815.54
402-0000-46030.000	LINDCO EQUIPMENT SALES	UP-FITTING UNIT 16	158,703.00
402-0000-46030.000	ULTRA STROBE COMMUNICATIONS	VEHICLE SPOTLIGHTS	1,006.50
Total Department 0000 MISCELLANEOUS			175,030.04

Total Fund 402 CAPITAL VEHICLE & EQUIP 175,030.04

Fund: 404 ROAD IMPROVEMENT FUND

404-0000-46060.000	CIVILTECH ENGINEERING, INC.	HASSELL RD STP RESURFACE PH3 CE	30,881.46
404-0000-46100.000	STRAND ASSOCIATES, INC	ITEP HASSELL BIKE/PED PH II	2,006.38
Total Department 0000 MISCELLANEOUS			32,887.84

Total Fund 404 ROAD IMPROVEMENT FUND 32,887.84

Fund: 410 PRAIRIE STONE CAPITAL FND

410-0000-46210.000	KIMLEY-HORN & ASSOC INC	PRAIRIE STONE PKWY ACCESS STUDY	10,346.10
Total Department 0000 MISCELLANEOUS			10,346.10

Total Fund 410 PRAIRIE STONE CAPITAL FND 10,346.10

Fund: 415 2024 BOND PROJECT

415-0000-46040.000	DIGICOM INC.	STATION ALERTING EQUIPMENT	1,123.37
415-0000-46040.000	DIGICOM INC.	STATION ALERTING EQUIPMENT	2,569.00
415-0000-46040.000	DIGICOM INC.	NEW FS21 ALERTING SYSTEM INSTALLATION	31,156.18
415-0000-46040.000	HASTINGS AIR ENERGY CONTROL INC	FS21 PLYMOVENT REMOVAL	2,645.00
Total Department 0000 MISCELLANEOUS			37,493.55

Total Fund 415 2024 BOND PROJECT 37,493.55

Fund: 501 WATER & SEWER FUND

501-0000-11500.000	CORY ZOSKE	UB refund	37.68
501-0000-11500.000	JOHN & KIMBERLEE DIVITO	UB refund	37.68
501-0000-11500.000	K & S JOHNSON & J SCHROEDER	UB refund	46.32
501-0000-11500.000	LUDMILA BOGDAN	UB refund	71.67
501-0000-11500.000	ROBERT W LITZ	UB refund	38.68
501-0000-11500.000	CAROLYN MELLANDER	UB refund	108.08
501-0000-11500.000	ROBERT CURREY	UB refund	68.56

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501-0000-11500.000	NANDUBEN JORAVASING RATHOD	UB refund	50.66
501-0000-11500.000	FELICIA PRESTON	UB refund	5.05
501-0000-11500.000	JUAN GONZALEZ	UB refund	24.38
501-0000-11500.000	GERALD MURRAY	UB refund	108.08
501-0000-11500.000	VTR DOB III MOB, LLC HEALTHCARE REALTY TR	UB refund	2,239.53
501-0000-11500.000	BOB SADO	UB refund	55.26
501-0000-11500.000	PULTE HOME COMPANY LLC	UB refund	14.72
501-0000-11500.000	ADELOLA AFUWATE	UB refund	100.00
501-0000-11500.000	PULTE HOME COMPANY LLC	UB refund	14.72
501-0000-11500.000	SCINDHIA RUBAN & RAJEEV KUMAR	UB refund	92.18
501-0000-11500.000	LUDMILA BOGDAN	UB refund	73.80
501-0000-11500.000	DANIEL & LAURA NIJAKOWSKI	UB refund	81.50
501-0000-11500.000	AMANDA & MARCUS WEBER	UB refund	53.98
501-0000-11500.000	DAN DELIMA C/O SYNC PROPERTIES	UB refund	34.55
501-0000-11500.000	RANDALL EVERETT	UB refund	99.44
501-0000-11500.000	LENNYS MONGUA & LUIS VASQUEZ	UB refund	116.82
501-0000-11500.000	TIMOTHY VILLARAZA	UB refund	35.49
501-0000-11500.000	SUN HWA YOUNGS	UB refund	36.39
501-0000-11500.000	JIAN YANG & SHIYING NING	UB refund	13.49
501-0000-11500.000	ALICE SELKE	UB refund	53.12
501-0000-11500.000	ANTHONY D RAGONA	UB refund	14.38
501-0000-11500.000	MCDONALDS #37651	UB refund	3,496.12
501-0000-11500.000	TOSHIKO LIN	UB refund	143.26
501-0000-11500.000	HEMANG SHAH	UB refund	231.45
501-0000-14450.000	CAMOSY INCORPORATED	HYDRANT METER DEPOSIT REFUND	2,660.00
Total Department 0000 MISCELLANEOUS			10,257.04

Department: 4067 PUBLIC WORKS WATER

501-4067-44140.000	MENARDS - HNVR PARK	VARIOUS SUPPLIES	41.91
501-4067-44200.000	FERGUSON WATERWORKS #2516	WRENCH	290.00
501-4067-44200.000	FERGUSON WATERWORKS #2516	METERS	251.99
501-4067-45020.000	COMMONWEALTH EDISON	ELECTRIC - 2150 STONINGTON	310.91
501-4067-45030.000	NICOR GAS	GAS - 2550 PRAIRIE STONE PKWY	63.76
501-4067-45030.000	NICOR GAS	GAS - 95 ASTER LN	484.50
501-4067-45030.000	NICOR GAS	GAS - 1775 ABBEYWOOD	240.95
501-4067-45070.000	CONCENTRIC INTEGRATION	SCADA SYSTEM MANAGED SUPPORT	6,850.00
501-4067-45070.000	PRECISE MRM LLC	5MB DATA PLAN	108.00
501-4067-45070.000	STRAND ASSOCIATES, INC	WATER MODEL UPDATE AND SYSTEM STUDY	4,471.88
501-4067-45100.000	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	45.00
501-4067-45100.000	RUSSO POWER EQUIPMENT	WATER EQUIPMENT REPAIR	110.25
501-4067-45100.000	STANDARD EQUIPMENT CO	EQUIPMENT	37.90
501-4067-45280.000	MENARDS - HNVR PARK	VARIOIUS SUPPLIES	51.96
501-4067-45280.000	USA BLUE BOOK	HYDRANT SUPPLIES	164.62
501-4067-45280.000	USA BLUE BOOK	HYDRANT SUPPLIES	49.95
501-4067-45280.000	USA BLUE BOOK	HYDRANT SUPPLIES	601.59
501-4067-45290.000	BEVERLY MATERIALS, L.L.C.	2405 PEMBROKE	1,140.36
501-4067-45290.000	BEVERLY MATERIALS, L.L.C.	CREDIT	(40.00)

VILLAGE OF HOFFMAN ESTATES

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501-4067-45290.000	BEVERLY MATERIALS, L.L.C.	VAC TRUCK	300.00
501-4067-45290.000	FULLIFE SAFETY CENTER	EAR PLUGS/GLASSES	69.40
501-4067-45290.000	FULLIFE SAFETY CENTER	EAR PLUGS	120.00
501-4067-45290.000	UNDERGROUND PIPE & VALVE CO	CLAMPS	477.00
501-4067-45290.000	UNDERGROUND PIPE & VALVE CO	VARIOUS SUPPLIES	250.00
501-4067-45290.000	USA BLUE BOOK	SUPPLIES	372.80
501-4067-45290.000	WATER PRODUCTS CO.	SUPPLIES	340.69
501-4067-45290.000	ZIEBELL WATER SERVICE	VARIOUS SUPPLIES	346.78
501-4067-45290.000	ZIEBELL WATER SERVICE	VARIOUS SUPPLIES	2,044.00
501-4067-45850.000	ACME TRUCK BRAKE & SUPPLY CO.	UNIT 2 PARTS	49.77
501-4067-45850.000	ADVANCE AUTO PARTS	UNIT 29 PARTS	7.80
501-4067-45850.000	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	180.00
501-4067-45850.000	LAKESIDE INTERNATIONAL LLC	UNIT 5A PARTS	31.92
501-4067-45850.000	M3 AUTOBODY LLC	UNIT 66 PARTS	689.85
501-4067-45850.000	MONROE TRUCK EQUIPMENT	UNIT 29 PARTS	329.78
501-4067-45850.000	RUSH TRUCK CENTER OF ILLINOIS, INC	UNIT 2 PARTS	35.53
501-4067-45850.000	RUSH TRUCK CENTER OF ILLINOIS, INC	UNIT 2 PARTS	89.98
501-4067-45850.000	RUSH TRUCK CENTER OF ILLINOIS, INC	CREDIT	(465.50)
501-4067-45850.000	RUSH TRUCK CENTER OF ILLINOIS, INC	CREDIT	(463.72)
501-4067-45850.000	RUSH TRUCK CENTER OF ILLINOIS, INC	UNIT 2 PARTS	1,293.71
501-4067-45850.000	RUSH TRUCK CENTER OF ILLINOIS, INC	UNIT 2 PARTS	49.53
501-4067-45850.000	RUSH TRUCK CENTER OF ILLINOIS, INC	FE22 AND UNIT 2 PARTS	14.40
501-4067-45850.000	RUSH TRUCK CENTER OF ILLINOIS, INC	CREDIT	(226.10)
501-4067-45850.000	RUSH TRUCK CENTER OF ILLINOIS, INC	UNIT 1 PARTS	951.10
501-4067-45850.000	STANDARD EQUIPMENT CO	UNIT 66 PARTS	435.37
501-4067-45850.000	STANDARD EQUIPMENT CO	UNIT 66 PARTS	1,602.84

Total Department 4067 PUBLIC WORKS WATER	24,202.46
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Department: 4068 PUBLIC WORKS SEWER

501-4068-45020.000	COMMONWEALTH EDISON	ELECTRIC - 1101 WESTBURY	602.34
501-4068-45020.000	COMMONWEALTH EDISON	ELECTRIC - 2090 CENTRAL	492.83
501-4068-45070.000	CONCENTRIC INTEGRATION	SCADA T&M SUPPORT	946.50
501-4068-45300.000	BUILDERS ASPHALT, LLC	COLD PATCH	1,106.30

Total Department 4068 PUBLIC WORKS SEWER	3,147.97
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Department: 4070 PUBLIC WORKS WATER BILLING

501-4070-45420.000	BS&A SOFTWARE	BILLING SERVICES - JAN & FEB 2026	1,003.29
501-4070-45420.000	FIRST BILLING SERVICES LLC	BILLING SERVICES - JAN 2026	8,403.85
501-4070-45420.000	FIRST BILLING SERVICES LLC	BILLING SERVICES - FEB 2026	7,695.34

Total Department 4070 PUBLIC WORKS WATER BILLING	17,102.48
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Department: 4073 WATER CAPITAL

501-4073-46090.000	BAXTER & WOODMAN, INC.	SHOE FACTORY WM REPLACEMENT	1,154.25
501-4073-46090.000	BAXTER & WOODMAN, INC.	SHOE FACTORY RD WM REPLACEMENT	3,094.25
501-4073-46090.000	ROSS VALVE MANUFACTURING CO.	ABBEYWOOD ALTITUDE VALVE REPLACEMENT	86,471.00

Total Department 4073 WATER CAPITAL	90,719.50
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VILLAGE OF HOFFMAN ESTATES

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Total Fund 501 WATER & SEWER FUND		145,429.45
Fund: 505 NOW ARENA OPERTNG FUND		
Department: 0000 MISCELLANEOUS		
505-0000-45100.000	PROVEN IT	4/23 - 5/22/26 CONTRACT BASE RATE CHARGE 192.19
Total Department 0000 MISCELLANEOUS		<u>192.19</u>
Total Fund 505 NOW ARENA OPERTNG FUND		<u>192.19</u>
Fund: 601 INSURANCE FUND		
601-0000-11010.000	KURT GERLACH	SICK INCENTIVE REIMBURSEMENT 465.75
601-0000-11010.000	SCOTT LAWRENCE	SICK INCENTIVE REIMBURSEMENT 338.00
Total Department 0000 MISCELLANEOUS		<u>803.75</u>
Department: 7000 INSURANCE		
601-7000-45790.000	PHYSICIANS IMMEDIATE CARE CHICAGO	FITNESS FOR DUTY EXAM 315.00
601-7000-45790.000	WELLNOW URGENT CARE	HR DRUG SCREENS/PHYSICALS 325.00
601-7000-45790.000	WELLNOW URGENT CARE	FITNESS FOR DUTY EXAM 325.00
Total Department 7000 INSURANCE		<u>965.00</u>
Total Fund 601 INSURANCE FUND		<u>1,768.75</u>
Fund: 602 INFORMATION SYSTEMS FUND		
Department: 4785 IT OPERATIONS		
602-4785-45420.000	CARASOFT TECHNOLOGY CORP	ZOOM OVRAGE 5.84
602-4785-45420.000	TIGER ELECTRIC CORP	PARKING LOT CONDUIT EXTENSION 4,498.67
602-4785-45420.200	CDW-GOVERNMENT INC	ANNUAL ADOBE LICENSING 13,299.12
602-4785-45420.200	CDW-GOVERNMENT INC	ANNUAL NESSUS PRO LICENSING 4,645.00
602-4785-45420.200	GRANICUS LLC	GOV QA SUBSCRIPTION 2,229.01
602-4785-45420.200	ZOHO CORPORATION	HELP DESK SOFTWARE 1,545.00
602-4785-46020.000	CDW-GOVERNMENT INC	AXIS T94R01B CORNER BRKT 148.40
602-4785-46020.000	TECHNO CONSULTING INC	CABLE TRAYS FOR BEER GARDEN 2,695.00
602-4785-46020.000	TECHNO CONSULTING INC	NOW ARENA IDF EXPANSION 2,884.00
Total Department 4785 IT OPERATIONS		<u>31,950.04</u>
Department: 4786 IT CAPITAL		
602-4786-46020.000	CDW-GOVERNMENT INC	CCTV MOUNTING BRACKETS 296.80
602-4786-46020.000	CDW-GOVERNMENT INC	NOW ARENA - WI-FI EXPANSION 23,841.74
602-4786-46020.000	CDW-GOVERNMENT INC	NOW ARENA - WI-FI EXPANSION 85,598.18
602-4786-46020.000	CDW-GOVERNMENT INC	NOW ARENA - WI-FI EXPANSION 52,403.10
Total Department 4786 IT CAPITAL		<u>162,139.82</u>
Total Fund 602 INFORMATION SYSTEMS FUND		<u>194,089.86</u>

VILLAGE OF HOFFMAN ESTATES

APRIL 6, 2026

--- TOTALS BY FUND ---

100	GENERAL FUND	617,667.44
221	ROSELLE ROAD TIF	3,839.50
222	HIGGINS/HASSELL TIF	17,147.00
223	BARRINGTON/HIGGINS TIF	1,352.00
224	LAKEWOOD CENTER TIF	3,009.50
225	HIGGINS-OLD SUTTON TIF	1,352.00
226	STONINGTON & PEMBROKE TIF	6,909.50
402	CAPITAL VEHICLE & EQUIP	175,030.04
404	ROAD IMPROVEMENT FUND	32,887.84
410	PRAIRIE STONE CAPITAL FND	10,346.10
415	2024 BOND PROJECT	37,493.55
501	WATER & SEWER FUND	145,429.45
505	NOW ARENA OPERTNG FUND	192.19
601	INSURANCE FUND	1,768.75
602	INFORMATION SYSTEMS FUND	194,089.86
Total For All Funds:		1,248,514.72

VILLAGE OF HOFFMAN ESTATES

MANUAL CHECKS

Check Number	Date	GL Number	Vendor Name	Invoice Description	Amount
142640	03/16/26	100-0000-14500.000	MATTHEW BRACKEN	C-PAL	1,810.97
142608	03/17/26	100-3012-43010.000	JILL WEGEHAUPT	IFSAP REGISTRATION - VOID	(500.00)
142641	03/17/26	100-3012-43010.000	IFSAP	IFSAP REGISTRATION	500.00
142426	03/18/26	100-2029-43010.000	IL. ASSOC OF PROPERTY & EVIDENCE MA	PROPERTY & EVIDENCE CLASS - VOID	(360.00)
142668	03/23/26	100-1013-45670.000	JEFFREY JACOBS	ARBITRATOR SERVICES	4,909.48
142669	03/23/26	100-4046-45190.000	PETTY CASH	DISPLAY CASE FOR LOBBY @ 2305 PEMBROKE	75.00
	03/23/26	602-4785-45420.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	21.56
	03/23/26	100-1011-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	448.35
	03/23/26	100-1012-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	376.12
	03/23/26	100-1014-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	119.62
	03/23/26	100-1015-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	39.87
	03/23/26	100-1016-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	79.75
	03/23/26	100-1025-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	39.87
	03/23/26	100-2071-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	39.87
	03/23/26	100-2012-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	1,547.74
	03/23/26	100-3031-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	61.43
	03/23/26	100-3032-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	1,063.85
	03/23/26	100-3033-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	162.74
	03/23/26	100-4012-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	264.05
	03/23/26	100-4042-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	267.30
	03/23/26	100-4043-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	267.30
	03/23/26	100-4044-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	282.37
	03/23/26	100-4045-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	101.31
	03/23/26	100-4046-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	82.99
	03/23/26	100-4047-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	61.43
	03/23/26	100-5012-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	79.75
	03/23/26	100-5050-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	104.55

Check Number	Date	GL Number	Vendor Name	Invoice Description	Amount
	03/23/26	100-5051-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	592.78
	03/23/26	100-5052-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	739.38
	03/23/26	100-5059-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	162.74
	03/23/26	100-5565-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	79.75
	03/23/26	501-4067-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	1,595.11
	03/23/26	602-4712-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	3,096.71
	03/23/26	602-4712-45010.000	VERIZON WIRELESS	LANDLINES & EQUIPMENT - TELEPH EXPENSE	20.24
142670		TOTAL CHECK			11,798.53
142671	03/23/26	100-1014-44010.000	FEDERAL EXPRESS	SHIPPING	69.56
142678	03/25/26	410-0000-46210.000	CONSTRUCTION INC.	VILLAGE GREEN RESTROOMS CONSTRUCT	544,036.91
142679	03/27/26	100-2071-45420.000	COMCASTS BUSINESS	INTERNET SERVICES	12.85
142680	03/27/26	100-1014-44010.000	FEDERAL EXPRESS	SHIPPING	36.06
	03/31/26	100-5051-43030.000	PETTY CASH	PETTY CASH	30.00
	03/31/26	100-5051-44140.000	PETTY CASH	PETTY CASH	51.25
	03/31/26	100-5565-45070.000	PETTY CASH	PETTY CASH	18.26
	03/31/26	100-1015-43010.000	PETTY CASH	PETTY CASH	70.00
	03/31/26	100-5051-43010.000	PETTY CASH	PETTY CASH	142.49
142681		TOTAL CHECK			312.00
142682	03/31/26	100-1014-44010.000	FEDERAL EXPRESS	SHIPPING	18.44
142683	03/31/26	100-2071-45420.000	COMCAST BUSINESS	INTERNET SERVICES	42.80
142684	03/31/26	100-1025-45010.000	COMCAST BUSINESS	INTERNET SERVICES	331.60
Total:					563,094.20



AGENDA ITEM REPORT

Village Board of Trustees
April 6, 2026
ITEM 5C

- REQUEST:** Approval of a Resolution authorizing the purchase and installation of LED display panels for the Monument Sign at the NOW Arena from Vernon & Maz, Inc. Monee, Illinois in the amount not to exceed \$292,494.
- FROM:** Ben Gibbs, General Manager - NOW Arena
William Lynch, Superintendent of Facilities & Arena Maintenance
Dan O'Malley, Deputy Village Manager
- ITEM TYPE:** Resolution - Village Board
-

REQUEST SUMMARY

In 2009, the NOW Arena Monument sign along I-90 was installed. NOW Health Supplements acquired naming rights in 2016. At that time, the sign was rebranded and the display panels were updated. The LED display panels have been operational for over 10 years and have reached the end of service life. Every day, nearly 138,600 vehicles commute past the sign on I90. Reliable and clear messaging is essential for public awareness, event promotion and attracting sponsorships.

The Village issued a request for bids for the removal, replacement and installation of new LED display panels in December 2025. A required vendor walk-through occurred on January 08, 2026, to allow interested vendors an opportunity to become familiar with the sign. The public bid opening occurred on January 30, 2026 and two bidders submitted multiple bids. The bids presented various manufacturers and display panel solutions. Staff reviewed the value proposition associated with each of the options presented. Staff selected the SMD (Surface Mounted Diode) LED with a pixel pitch of 10mm. Each of the bidders presented a bid for the selected solution. The bid tabulation is below:

Omega Sign & Lighting Inc.	\$329,990.
Vernon and Maz, Inc	\$292,494.

Vernon and Maz, Inc was the lowest bid at \$292,494.

Staff reviewed the bids and focused on three key criteria: cost of service, technical skill and reputation. These companies source equipment from various manufacturers and typically pass along the cost of the equipment with a mark-up. The proposed equipment is not proprietary to any bidder, so numerous companies can suggest the same equipment at similar prices. Companies differentiate themselves by their technical ability, the cost they charge for providing this service, installation and integrating the equipment into the current system, along with designing a system that works properly. A company's portfolio

of work with corresponding references is the best method to assess whether a bidder has the requisite skills to handle the scope of work. Based on references and portfolios, both Omega Sign and Vernon & Maz are fully capable of successfully handling this project. Vernon & Maz is a smaller regional vendor, however they recently completed the display panel replacements for the Hoffman Estates Park District marquee signs. Additionally, they provided an LED display panel sign for the Village of South Elgin. Both agencies indicated they were satisfied with the services and would contract with Vernon & Maz again.

Based on the above review, staff recommends awarding Vernon & Maz as the lowest responsible bidder for this purchase and installation.

FINANCIAL IMPACT

The 2026-30 CIP contains \$350,000 for this project. This expense is funded through the balance of funds available due to the Shuttered Venue Operators Grant (SVOG) grant award.

RECOMMENDATION

Approval of a Resolution authorizing the purchase and installation of LED display panels for the Monument Sign at the NOW Arena from Vernon & Maz, Inc. Monee, Illinois in the amount not to exceed \$292,494.

ATTACHMENTS

1. Resolution NOWArena JBD
2. Vernon & Maz bid
3. Bid Opening Log Display Panels 2026.01.30

VILLAGE OF HOFFMAN ESTATES

RESOLUTION AUTHORIZING THE PURCHASE AND INSTALLATION OF LED DISPLAY PANELS FOR THE MONUMENT SIGN AT THE NOW ARENA FROM VERNON & MAZ, INC. MONEE, ILLINOIS, IN THE AMOUNT NOT TO EXCEED \$292,494.00

WHEREAS, the Village of Hoffman Estates ("the Village") is a home-rule municipality located in Cook County, Illinois; and

WHEREAS, the Village owns and operates the Now Arena which is in need of upgrading its LED Display Panels; and

WHEREAS, a public bid opening was held on January 30, 2026, for the purchase and installation of LED Display Panels for the monument sign; and

WHEREAS, the Village has identified Vernon & Maz as the lowest responsible bidder and able to best meet the needs of the Village; and

WHEREAS, the Corporate Authorities have determined that it is in the public interest for the Village to approve an agreement with Vernon & Maz for the purchase and installation of LED Display Panels in the amount of \$292,494.00.

NOW, THEREFORE, BE IT RESOLVED, by the President and Board of Trustees of the Village of Hoffman Estates, as follows:

Section 1: RECITALS. The facts and statements contained in the preamble of this Resolution are found to be true and correct and are hereby adopted as part of this Resolution.

Section 2: APPROVAL OF PURCHASE. The President and Board of Trustees hereby approve the purchase and installation of LED Display Panels by Vernon & Maz in the amount of \$292,494.00.

Section 3: AUTHORIZATION TO EXECUTE PURCHASE DOCUMENTS. The President or Village Manager is hereby authorized to execute all documents and agreements necessary to complete the purchase approved in Section 2 of this Resolution.

Section 4: EFFECTIVE DATE. This Resolution will be in full force and effect from and after its passage and approval as provided by law.

RESOLVED THIS _____ day of _____, 2026

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Trustee Patrick Kinnane	_____	_____	_____	_____
President William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2026

Village President

ATTEST:

Village Clerk



Village of Hoffman Estates
Department of Public Works
2305 Pembroke Avenue
Hoffman Estates, IL 60169

Now Arena Monument Sign Display Panel Replacement

BASE BID INCLUDES:

ELECTRO-MATIC VISUAL 10MM LED DISPLAYS

COMMUNICATION - 4G / LTE CELLULAR – 15 YEAR CONNECTION
SOFTWARE - EM VUE (CLOUD BASED) INCLUDES LIFETIME SOFTWARE UPDATES
SOFTWARE TRAINING - ONSITE OWNER AND OPERATOR TRAINING (MINIMUM 4 PEOPLE FOR 8 HOURS) AND LIFETIME ONLINE AND REMOTE TRAINING

SPARE PARTS KIT:

16 – 10MM MODULES
212 - LED PACKAGES
35 - DRIVER IC
22 - MODULE MASKING
2 - POWER SUPPLIES
2 - RECEIVING CARDS
2 – HUB CARDS

WARRANTY - LED DISPLAYS

5 YEAR PARTS

5 YEARS LABOR - **2 ADDITIONAL YEARS INCLUDED (\$7,000 VALUE)**

ELECTRICAL REQUIREMENTS:

CUSTOMER SHALL PROVIDE ELECTRIC SERVICE OF SUITABLE CAPACITY AND APPROVED TYPE TO THE SIGN AS FOLLOWS: 18 – 120VAC 20 AMP CIRCUITS.

Sincerely,

Brian Mazurek

President

Vernon and Maz, Inc.

24216 S. HOME AVE. - MONEE, IL 60449

PH: 708.534.9123 – WWW.VERNONANDMAZ.COM - FAX: 708.534.9149

“YOUR IMAGE IS OUR IMAGE”

NOTE: THIS FORM MUST BE NOTARIZED

RETURN WITH BID

**VILLAGE OF HOFFMAN ESTATES
BID CERTIFICATE FORM**

RE: Certification of bidder, compliance with the Illinois Criminal Code

I/We hereby certify that, Vernon and Maz, Inc (name of bidding firm) by bidding on this contract, no action has occurred that would result in a violation of 720 1LCS 5/33E, Public Contracts of the Illinois Criminal Code.

Signed: *Brian Mazurek*

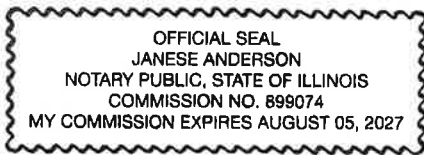
Name/Title: Brian Mazurek (please print)

Date: 01-28-2026

Attest: *Jane Anderson* (Notary Public)

Commission Expiry: 08/05/27

Date: January 28, 2026



(SEAL)

THIS FORM IS MANDATORY.

PLEASE INCLUDE THREE COPIES OF THIS FORM WITH YOUR BID DOCUMENTS.

**SUBSTANCE ABUSE PREVENTION PROGRAM CERTIFICATE
RETURN WITH BID**

The undersigned, upon being first duly sworn, hereby certifies to the Village of Hoffman Estates that the undersigned has in place a written Substance Abuse Prevention Program that meets or exceeds the requirements of the State of Illinois P.A. 095-0635, or has a collective bargaining agreement in effect dealing with the subject matter of P.A. 095-0635. The Contractor and Subcontractors will file a copy of the Substance Abuse Prevention Program, or collective bargaining agreement, with the Client prior to any work being conducted on the project.

Brian Mazurek 

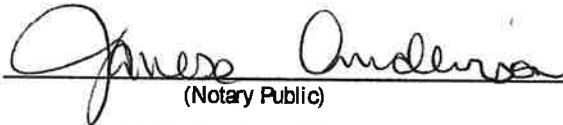
(Name of Contractor)

President

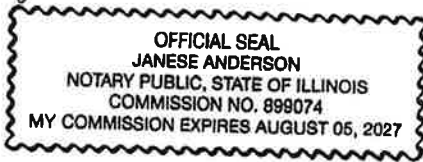
(Title)

Subscribed and sworn to before me this 28 day of January, 2026.

My Commission expires: 08/05/27



(Notary Public)



(SEAL)

THIS FORM IS MANDATORY.

PLEASE INCLUDE THREE COPIES OF THIS FORM WITH YOUR BID DOCUMENTS.



HOFFMAN ESTATES

DEPARTMENT OF PUBLIC WORKS

CONTRACT

1. THIS AGREEMENT, made and concluded the ____ day of _____ (month, year) between the Village of Hoffman Estates, acting by and through its Mayor and Board of Trustees, known as the party of the first part, and Vernon and Maz, Inc (name of firm), their executors, administrators, successors, or assigns, known as the party of the second part.
2. Witnesseth: That for and in consideration of the payments and agreements mentioned in the Bid/Proposal Documents hereto attached, to be made and performed by the party of the first part, and according to the terms expressed in the Bond referring to these presents, the party of the second part agrees with said party of the first part at his/their own proper cost and expense to do all the work, furnish all materials and all labor necessary to complete the work in accordance with the plans and specifications hereinafter described, and in full compliance with all of the terms of this agreement and the requirements of the Village Representative under it.
3. The party of the second part agrees to abide by all OSHA, IDOL, and MUTCD safety requirements and all laws and statutes of the State of Illinois including but not limited to the Prevailing Wage Act (if applicable). Prevailing rates of wages are revised by the Illinois Department of Labor and are available on the Department's official website.
4. And it is also understood and agreed that the Instructions to Bidders, General Conditions, Specifications, Scope of Services, Site Maps, and Contract Proposal hereto attached are essential documents of this contract and are a part hereof.
5. IN WITNESS WHEREOF, the said parties have executed these presents on the date above mentioned.

Attest:

Clerk
(Seal Below)

The Village of Hoffman Estates

By: _____
Party of the First Part

(If a corporation)

Vernon and Maz, Inc

Corporate Name

Brian Mazurek *Brian Mazurek*
President, Party of the Second Part

(If a Co-Partnership)

Attest:

Secretary

Co-Partner

Co-Partner

Doing business under the firm name,
Party of the Second Part

(If an individual)

Party of the Second Part

THIS CONTRACT FORM IS MANDATORY.

PLEASE INCLUDE THREE SIGNED COPIES WITH YOUR BID DOCUMENTS.

**VILLAGE OF HOFFMAN ESTATES
PERFORMANCE SURETY BOND FORM**

BOND NO.	DATE BOND EXECUTED:
PRINCIPAL:	BOND AMOUNT: (written out & numerically)
CO-PRINCIPAL(S):	CONTRACT DOCUMENTS:
SURETY(IES):	PROJECT:

KNOW ALL MEN BY THESE PRESENTS, that we, the Principal(s) and Surety(ies) hereto, recite and declare that:

1. We are held and firmly bound to the obligee Village of Hoffman Estates, Illinois (hereinafter called "Village"), in the sum written above in lawful money of the United States of America, to be paid to the Village, its successors or assigns, for the payment whereof Principal(s), Co-Principals and Surety(ies) bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by this Bond.

2. The condition of this Bond is that if the Principal shall in every respect perform all of its obligations under the Contract Documents identified above, which Contract Documents are incorporated herein by reference, then this Bond shall be void; otherwise, the Bond shall continuously remain in full force and effect until released by the Village. Contract Documents shall also include any contracts, annexation agreements, development agreements, plats, zoning approvals, engineering plans, site plans or other Village documents associated with the Project, including any laws, ordinances or governmental regulations related to the Project.

3. Surety waives all of its surety defenses including, but not limited to, the following:

a) It shall be the duty of the Principal to notify the Surety of any revision of the plans, profiles and specifications referred to in the Contract Documents. The Surety expressly waives any right to receive notice from the obligee or to review or approve any revisions to the plans, profiles and specifications referred to in the Contract Documents which are required to meet governmental standards. No such revisions of any kind in the work shall in any way affect the obligation of the Surety under this Bond;

b) The addition or reduction in subdivision lots or area to those shown in the original plat of subdivision, site plan or construction plan referred to in the Development Document shall in no way affect the obligation of the Surety under this Bond;

c) Any extension of time beyond the period provided for in the Development Document for completion of its obligations under the Agreement shall in no way affect the obligation of the Surety under this Bond;

d) The failure or refusal of Village to take any action, proceeding, or steps to enforce any remedy or exercise any right under the Development Document, or that taking of any action, proceeding, or step by Village, acting in good faith upon the belief that same is permitted by the provisions of the Contract Documents, shall not in any way release

Principal or Surety, or either of them, or their respective executors, administrators, successors, or assigns, from liability under this Bond. Surety hereby waives notice of any amendment, indulgence made, granted or permitted;

e) The Principal, Co-Principal and Surety intend that each provision of this Bond be valid and binding upon them and expressly agree to abide thereby;

f) In the event of a default of this Bond, the Village may terminate whatever rights Principal, Co-Principal and/or Surety may have to perform further work on the Project.

g) The requirement of any other entity to perform any obligations contained in the Contract Documents shall in no way affect the obligations of the Surety under this Bond.

Default:

A default shall be deemed to have occurred on the part of the Principal if Principal shall fail to complete its obligations under the Contract Documents within the time set forth therein or any extensions thereof; or, prior to the expiration of such period, if in the sole judgment of the Village, the Principal has:

1) abandoned the performance of its obligations under the Contract Documents; or

2) renounced or repudiated its obligations under the Contract Documents; or

3) clearly demonstrated through insolvency, or otherwise, that its obligations under the Contract Documents cannot be completed within the time allotted under the Contract Documents.

b) If the Principal defaults in the performance of all or any part of the obligations specified in the Contract Documents, the Village shall give written notice of the default to the Surety, with a copy to the Principal and Co-Principal, if any. In the event of such default and notice, Surety shall, within 45 days of receipt of the default notice, give written notice to the Village stating whether Surety will assume the Development Document obligations and the obligations of the Principal, and should it elect to assume said obligations, Surety shall be required to complete the obligations specified in the Contract Documents according to its terms and provisions within 180 days of said notice, but not before expiration of the period provided for under the Contract Documents and approved extensions thereof. In the event that Surety elects to assume the obligations of Principal as provided herein and thereafter fails to faithfully perform all or any part of the work, or should it unnecessarily delay all or any part of the work, then the Village may proceed as provided in Paragraph No. 5 of this Bond.

5. Should Surety following notice of default

notify the Village that Surety elects not to assume the obligations of Principal under the Contract Documents, or fails within 45 days of receipt of the default notice as provided in Paragraph No. 4b) above to notify the Village whether Surety elects to assume the obligations of Principal under the Contract Documents, or having elected to assume the obligations of Principal, should it then fail to perform, then in any event the Village may elect any of the following procedures or any combination thereof:

a) Terminate whatever rights the Principal, Co-Principal and/or Surety may have to perform further work on the Project;

b) Take over or relet all or any part of the work under the Contract Documents which is not completed and complete the same for the account and at the expense of the Principal and Surety, who shall be jointly and severally liable to Village for the costs incurred in completion of the obligations under the Contract Documents and/or correction thereof. Such costs as identified in the Contract Documents shall include, but not be limited to, construction, engineering, surveying, maintenance, donations, impact fees, deterioration, administration, supervision, reasonable attorney's fees, and any costs associated or related to any litigation of the Bond agreement and shall be adjusted for inflation. The amount of Village's actual costs for completion and/or correction of the work required under the Contract Documents shall be conclusive of the extent of the liability of Principal and Surety and may exceed the Bond Amount;

c) Require the Surety to pay the Bond Amount to the Village as liquidated damages.

6. Should Surety, following notice of default notify the Village within 45 days of the receipt of the default notice choose to pay the Village for completion of the obligation under the Contract Documents, the Surety shall have the right to demand that the Village state a sum constituting the estimated costs at that time, of completion and/or correction of the work required under the Contract Documents, such as costs as defined in Paragraph No. 5b). Surety shall then immediately pay over to the Village the sum so stated and be released from any further obligations under this Bond. If funds are paid over under this section and the paid over funds are not sufficient to complete the work, the Village's sole remedy shall be to proceed against the Principal(s) and Co-Principals for any deficiency. If there are any paid over funds not necessary for completion of the work, the Village will return the excess to Surety after completion of the work.

7. If any action or proceeding is initiated in connection with this Bond and any and all obligations arising hereunder the venue thereof shall be in State Court in the County of Cook, State of Illinois, it is further understood and agreed that this contract shall be governed by the laws of the State of Illinois, both as to interpretation and performance.

8. All notices sent to the Principal(s), Co-Principals, and Surety(ies) shall be sent to the address set forth on the signature page unless said Principal(s), Co-Principal(s) and Surety(ies) notify the Village in writing of any change. If the addresses of any of the Principal(s), Co-Principal(s) and Surety(ies) change, the Principal(s), Co-Principal(s) or Surety(ies) shall immediately notify the Village in writing of such change. Failure to notify the Village of any change in address is deemed to be a waiver of any requirement for notice under this Bond to the Principal(s), Co-Principal(s) or Surety(ies). All written notices to the Village required under the Bond shall be sent certified mail to the Village Clerk.

9. If any one or more of the provisions of this Bond are determined to be illegal or unenforceable by a court of competent jurisdiction, all other provisions shall remain effective.

10. No party other than the Village shall have any rights under this Bond as against the Surety.

11. As part of the obligation secured hereby and in addition the Bond Amount specified herein, there shall be included costs, interest and reasonable expenses and fees (including, without limitation, attorneys' fees and costs), incurred by the Village in enforcing this agreement, to be awarded by the court.

12. Nonpayment of the premiums associated with this Bond will not invalidate this Bond nor shall Village be obligated for the payment thereof. Surety agrees to deliver written notice of non-payment under this Bond or other actions to the Village.

13. Surety waives its right to trial by jury.

**VILLAGE OF HOFFMAN ESTATES
PERFORMANCE SURETY BOND FORM**

IN WITNESS WHEREOF, the parties have caused this Agreement to be signed and sealed as of the day and year set forth above.

PRINCIPAL

Type of Organization: _____ Legal Name of Organization: _____

State of Incorporation: _____

Address: _____

Authorized Signature(s): _____

By: _____
Signature

By: _____
Signature

(Type name and title)

(Type name and title)

ACKNOWLEDGMENT OF PRINCIPAL(S)

STATE OF _____:
COUNTY/CITY OF _____:

I, _____ Notary Public in and for the State and County/City aforesaid, do hereby certify that _____ whose name is signed to the foregoing bond, this day personally appeared before me in my State and County/City aforesaid and acknowledged the same.

Given under my hand this _____ day of _____, _____
My commission expires: _____

NOTARY PUBLIC

Surety: _____
Bond No.: _____

CO-PRINCIPAL(S)

Type of Organization:

Legal Name of Organization:

State of Incorporation:

Address:

Authorized Signature(s):

By: _____
Signature

By: _____
Signature

(Type name and title)

(Type name and title)

ACKNOWLEDGMENT OF CO-PRINCIPAL(S)

STATE OF _____ :
COUNTY/CITY OF _____ :

I, _____ Notary Public in and for the State and County/City
aforesaid, do hereby certify that _____
_____ whose name is signed to the foregoing bond, this day personally appeared
before me in my State and County/City aforesaid and acknowledged the same.

Given under my hand this _____ day of _____, _____.

My commission expires: _____

NOTARY PUBLIC

Surety: _____

Bond No.: _____

CORPORATE SURETY

Type of Organization:

Legal Name and Address:

Liability Limit:

Address:

Authorized Signature(s):

By: _____
Signature

By: _____
Signature

(Type name and title)

(Type name and title)

ACKNOWLEDGMENT OF CORPORATE SURETY(S)

STATE OF _____
COUNTY/CITY OF _____

I, _____ Notary Public in and for the State and County/City
aforesaid, do hereby certify that _____
_____ whose name is signed to the foregoing bond, this day personally appeared
before me in my State and County/City aforesaid and acknowledged the same.

Given under my hand this _____ day of _____, _____.
My commission expires: _____

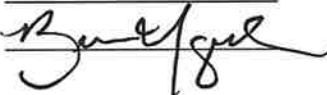
NOTARY PUBLIC

Surety: _____
Bond No.: _____

**VILLAGE OF HOFFMAN ESTATES
 BID PROPOSAL FORM**

“NOW ARENA MONUMENT SIGN DISPLAY PANEL REPLACEMENT”

The undersigned, having examined all documents related to this proposal and having become familiar with the extent, nature, and local conditions affecting the cost and performance or the proposed work, hereby proposes to furnish all professional services, supervision, labor, equipment, and materials and to perform the work herein described at the proposal prices as included in this document. It is understood that the Village reserves the right to reject all proposals (including alternate proposals) and to waive any technicalities.

Name of Bid:	<u>Now Arena Monument Sign Display Panel Replacement</u>	
Company Name:	<u>Vernon and Maz, Inc</u>	
Bidder Name (print):	<u>Brian Mazurek</u>	
Title:	<u>President</u>	
Business Address:	<u>24216 S. HOME AVE.</u>	
	<u>MONEE, IL 60449</u>	
Email Address:	<u>MAZ@VERNONANDMAZ.COM</u>	
Telephone	<u>708-534-9123</u>	
Signature		Date <u>1-28-26</u>

SMD (Surface Mounted Device) LED Display Solution

_Section	Description	Bid Values
1	Remove and dispose of existing display panels	\$ 4,050
2	Modifications to existing monument structure and cladding	\$ 4,875
3	East and West LED Display Panels (Material and Installation)	10mm \$ 275,445
4	15 years LED parts support and 6% attic stock for LED panels	\$ 8,124

13.1 - SMD LED Display Panel

5	Lifetime software updates and/or upgrades	Included in Base Bid
		\$ 0
6	15 years of cellular connection (P2P)	Included in Base Bid
		\$ 0
7	Three (3) years of on-site labor warranty	5 years on-site labor warranty included in Base Bid
		\$ 0
TOTAL BASE BID SMD LED (Sum all Sections 1 through 7)		\$ \$292,494

Identify any subcontractors required for the execution of the scope of work. Each subcontractor shall complete References pages 15 and 16. Bidder shall include "Subcontractor References" in addition to Bidders References.

Identify any specialty subcontractors Bidder intends to hire in support of the Bid scope of work.

Trade	Sub-Contractor Company (Name, Address, Phone Number, Contact)	Scope Section and Dollar Value

Approximate number of weeks after notice to proceed to start construction: 10 weeks.
 Approximate number of weeks to achieve substantial completion of construction: 12 weeks.

NOTE: all proposed work under the terms of this bid must be completed on or before May 01, 2026, unless delayed by supply chain constraints.

**Information on this Form (pages 13.1 through 14.2) is mandatory.
 Please include three copies of this form with your bid documents.**

13.2 - SMD LED Display Panel

DIP (Duel Inline Package) LED Display Panel Solution

<u>Section</u>	<u>Description</u>	<u>Bid Values</u>
1	Remove and dispose of existing display panels	\$
2	Modifications to existing monument structure and cladding	\$
3	East and West LED Display Panels (Material and Installation)	\$
4	15 years LED parts support and 6% attic stock for LED panels	\$
5	Lifetime software updates and/or upgrades	\$
6	15 years of cellular connection (P2P)	\$
7	Three (3) years of on-site labor warranty	\$
TOTAL BASE BID DIP LED (Sum all Sections 1 through 7)		\$ N/A

14.1 – DIP LED Display Panel

Identify any subcontractors required for the execution of the scope of work. Each subcontractor shall complete References pages 15 and 16. Bidder shall include "Subcontractor References" in addition to Bidders References.

Identify any specialty subcontractors Bidder intends to hire in support of the Bid scope of work.

Trade	Sub-Contractor Company (Name, Address, Phone Number, Contact)	Scope Section and Dollar Value

Approximate number of weeks after notice to proceed to start construction: _____ weeks.

Approximate number of weeks to achieve substantial completion of construction: _____ weeks.

NOTE: all proposed work under the terms of this bid must be completed on or before May 01, 2026, unless delayed by supply chain constraints.

Information on this Form (pages 13.1 through 14.2) is mandatory.

Please include three copies of this form with your bid documents.

14.2 – DIP LED Display Panel

NOW ARENA MONUMENT SIGN DISPLAY PANEL REPLACEMENT

REFERENCES

BIDDER NOTE: List SIX (6) references where services like have been performed of comparable scope. Like-services would include other municipalities, park districts, county and state agencies, major event venues, universities, large companies, etc. **Active references are mandatory.**

BUSINESS NAME: Hoffman Estates Park District
ADDRESS: 1685 West Higgins Road
CONTACT PERSON: Brian Bechtold
PHONE NUMBER: 847-885-7500
PROJECT DESCRIPTION: Replacement of 8 Large LED Display Panels
APPROXIMATE DATE: October 2024

BUSINESS NAME: Village of Park Forest
ADDRESS: 350 Victory Drive., Park Forest, IL 60466
CONTACT PERSON: Heather Jones
PHONE NUMBER: 708-503-8153
PROJECT DESCRIPTION: Replacement of 2 Large LED Display Panels
APPROXIMATE DATE: September 2024

BUSINESS NAME: Wood Dale Park District
ADDRESS: 111 E. Foster., Wood Dale, IL 60191
CONTACT PERSON: Jon Marquardt
PHONE NUMBER: 630-948-0522
PROJECT DESCRIPTION: New Monument Sign w/ LED Display Panels
APPROXIMATE DATE: August 2025

BUSINESS NAME: Village of South Elgin
ADDRESS: 10 N. Water Street., South Elgin, IL 60177
CONTACT PERSON: Kim Wascher
PHONE NUMBER: 847-622-0003
PROJECT DESCRIPTION: New Monument Sign w/ LED Display Panels
APPROXIMATE DATE: July 2023

BUSINESS NAME: Village of Hazel Crest
ADDRESS: 3601 W. 183rd St., Hazel Crest, IL 60429
CONTACT PERSON: Dante Sawyer
PHONE NUMBER: 708-335-9600 x107
PROJECT DESCRIPTION: 3 New Monument Signs w/ LED Display Panels
APPROXIMATE DATE: 2021-2022

BUSINESS NAME: Mi-Jack Products
ADDRESS: 3311 W. 167th St., Hazel Crest, IL 60429
CONTACT PERSON: Jim Lanigan
PHONE NUMBER: 708-596-5200
PROJECT DESCRIPTION: New LED Billboard Panels w/ Identification Cabinets
APPROXIMATE DATE: August 2016

**Information on this Form (pages 15 and 16) is mandatory.
If Bidder intends to hire subcontractors each subcontractor must provide required references.**



HOFFMAN ESTATES

DEPARTMENT OF PUBLIC WORKS

January 16, 2026

**RE: NOW ARENA MONUMENT SIGN DISPLAY PANEL REPLACEMENT BID
ADDENDUM No. 01 AND ACKNOWLEDGMENT FORM**

Prospective Bidder,

This Addendum provides clarification to questions submitted the Village of Hoffman Estates following the "Mandatory Pre-Bid Meeting" held on January 08, 2026. Acknowledge receipt of this addendum on the bid form. Failure to do so may disqualify the bidder.

Addendum No. 01

1. During the mandatory pre-bid meeting requests were made to access the sign cabinet. The Village provided access Tuesday January 13, 2026 at 8:00 am. The notice was short but weather was a limiting factor.
An email with a Share-File link to photos taken by VOHE staff was sent to all attendees of the mandatory pre-bid.
2. *Does the Refresh Rate have to be 3,840 Hz minimum?*
The specification has been written for both SMD (Surface Mounted Device) LEDs and DIP LEDs (Duel Inline Package). The higher refresh rate is the minimum standard for the SMD LEDs, it is our understanding that DIP LEDs can have increased refresh rates. We have revised the "BID PROPOSAL FORM" to provide bidders the opportunity to submit both a SMD display panel solution and a DIP display solution. Remove pages 13 and 14 from submittal and include pages 13.1, 13.2, 14.1, and 14.2 attached to this Addendum.
3. *NITS are you asking for the calibrated or uncalibrated NITS?*
Calibrated
4. *Do the minimum NITS have to be 10,000 NITS?*
The NITS criteria range has been revised.
3.b Brightness (Luminance)
Required Luminance Range (Outdoor) for readability in direct sunlight 8,000 to 12,000 NITS
5. *Which LED type is your preference, SMD (Surface Mounted Device) or DIP (Duel Inline Packages)?*
VOHE has no specific preference. We are seeking a "right sized" solution for the specific application. We will make our selection based on the entirety of the BIDs requirements and select the solution that best meets the operational needs and our financial constraints.

6. *How would you like us to document hiring of Illinois Workers? We manufacture our video displays in Illinois with globally sourced components. Is there any documentation required for Union Manufacturing in Illinois?*

No specific documentation is requested by the Village for this bid. This is a prevailing wage project and all your prevailing wage documentation submitted to the state should comply with the "Employment of Illinois Workers on Public Works Act, 30 ILCS570/3" The projects "Scope of Work" describes the "Sign Contractor Qualifications and Requirements", see page 31 of BID Package. We will review and evaluate the BIDs submitted for compliance with this section.

7. *15 year parts availability. Industry standard is 10 years, which you said you preferred 15 years. You have the 15 year parts availability section tied into the same line item as the spare parts. How would you have us document a 10 year parts availability guarantee, but we are including 6% spare parts which would theoretically extend the life of the display Is it 15 year parts availability guarantee, or spare parts, or both?*

Both

8. *Will this project be Tax Exempt?*

Yes, this is a Village of Hoffman Estates project. We will provide a tax-exempt certificate to the selected bidder.

Nothing in this Addendum shall be construed as changing other requirements of the Bidding Documents. All Bidders shall include Addendum No. 01 Acknowledgment Form as the last page of their bid package.

The above clarifications have been made to assist you in preparing your bid. Thank you for your consideration.

Respectfully

William Lynch, NCARB, FMP
Superintendent of Facilities

Encl: BID FORMS

Name of Bidding Organization: VERNON AND MAZ, INC.
(please print)

Signed: 

It is MANDATORY to include this form with your bid documents.

Remitter(s) VERNON AND MAZ INC
118206



Jan 29, 2026

5671826

71-1/863

\$29,249.40

Pay *** Twenty-Nine Thousand Two Hundred Forty-Nine and 40/100

Pay to the order of VILLAGE OF HOFFMAN ESTATES
645 ENCLAVE LN

VOID AFTER 90 DAYS

CASHIERS CHECK

BC# 348

James Anderson RA
NAME AND TITLE
Janese Anderson
PRINTED NAME AND TITLE



⑈ 5671826 ⑆ ⑆ 0863000 1 2 ⑆ ⑆ 902000705 ⑆



Remitter(s) VERNON AND MAZ INC
118206

Jan 29, 2026

5671826

71-1/863

\$29,249.40


Pay to the order of VILLAGE OF HOFFMAN ESTATES
645 ENCLAVE LN

Tlr / Til 3762 - 9 Seq 1-8
BC # 348 348 MONEE IL
Ref Account DD **8206
Fee Charged \$6.00

CASHIERS CHECK

NON-NEGOTIABLE

⑈ 5671826 ⑆ ⑆ 0863000 1 2 ⑆ ⑆ 902000705 ⑆ 10

FOR UPS SHIPPING ONLY 

“SEALED BID”

RECEIVED

JAN 29 2026

**OFFICE OF VILLAGE CLERK
HOFFMAN ESTATES**

1:52

VERNON AND MAZ, INC.

24216 S. HOME AVE

MONEE, IL 60449

NOW ARENA MONUMENT SIGN DISPLAY PANEL REPLACEMENT

JANUARY 30, 2026, AT 10:00 A.M.

10MM LED DISPLAY PANELS

Village of Hoffman Estates

BID Opening for: NOW ARENA Monument Sign Display Panel Replacements

Location: Village Hall 1900 Hassell Blvd., Hoffman Estates, IL. 60169

Date: 01/30/2026 Time: 10:00 a.m.

Company Name	Mandatory Pre-Bid	Bid Bond	Addendum Acknowledgement	Bid Amount
Omega Sign & Lighting Inc. 1401 W. Jeffery Dr. Addison, IL 60101 Sam Menna / Howard Brody	Yes	10%	Yes	SMD LED Display - Watchfire 8MM Display \$452,990.00
Omega Sign & Lighting Inc.				SMD LED Display - Ledman 8MM Display \$338,990.00
Omega Sign & Lighting Inc.				SMD LED Display - Watchfire 10MM Display \$407,990.00
Omega Sign & Lighting Inc.				SMD LED Display - Ledman 10MM Display \$329,990.00
Omega Sign & Lighting Inc.				DIP LED Display - Watchfire 16MM Display \$381,850.00
Omega Sign & Lighting Inc.				DIP LED Display - Ledman 16MM Display \$319,955.00
Vernon and Maz, Inc 24216 S. Home Ave Monee, IL 60449 Brian Mazurek	Yes	10%	Yes	SMD LED Display - Electro-Matic Visual 10MM Display \$292,494.00
Vernon and Maz, Inc				SMD LED Display - Electro-Matic Visual 16MM Display \$265,974.00


Observed by Signature

WILLIAM LYNCH
SUPT. FACILITIES
VILLAGE OF HOFFMAN ESTATES
2026.01.30



AGENDA ITEM REPORT

Village Board of Trustees

April 6, 2026

ITEM 5D

REQUEST: Approval of a Resolution authorizing the purchase of four heavy-duty truck chassis from JX Truck Center, Bolingbrook, Illinois, in an amount not to exceed \$605,380.

FROM: Joseph Nebel, Public Works Director
Kevin McGraw, Superintendent of Streets

ITEM TYPE: Agreement - Village Board

REQUEST SUMMARY

The FY25 and FY26 budgets included the scheduled replacement of four heavy-duty trucks used primarily for snow and ice operations. This agenda item pertains only to the purchase of the chassis for those vehicles. A subsequent agenda item will be presented for the related up-fitting.

The proposed purchase is from JX Truck Center of Bolingbrook, Illinois, through the Sourcewell Cooperative Purchasing Contract. Sourcewell is a national cooperative purchasing program that competitively solicits and awards contracts on behalf of participating public agencies, allowing municipalities to take advantage of favorable volume-based pricing. The Sourcewell contract includes Peterbilt chassis that meet the Village's operational needs.

The total cost for the four chassis is \$576,552. To provide flexibility for any unforeseen costs or minor configuration adjustments that may arise prior to delivery, staff is also requesting authorization for the Village Manager to approve change orders in an aggregate amount not to exceed five percent (5%) of the total purchase price. As such, the total requested authorization for this purchase is an amount not to exceed \$605,380.

FINANCIAL IMPACT

There is \$790,000 in the FY2025 and FY2026 budgets for these vehicle chassis replacements. Following this purchase, \$184,620 will remain to complete the associated up-fitting.

RECOMMENDATION

Approval of a Resolution authorizing the purchase of four heavy-duty truck chassis from JX Truck Center, Bolingbrook, Illinois, in an amount not to exceed \$605,380.

ATTACHMENTS

1. RESOLUTION PURCHASE CHASSIS JX Truck

2. JX Truck rev 2 - DE-12991 Quote
3. Chassis Purchase Budget Sheet

RESOLUTION NO. ____ - 2026

VILLAGE OF HOFFMAN ESTATES

A RESOLUTION AUTHORIZING THE PURCHASE OF FOUR HEAVY-DUTY TRUCK CHASSIS FROM JX TRUCK CENTER, BOLINGBROOK, IL, IN AN AMOUNT NOT TO EXCEED \$605,380

WHEREAS, the Village of Hoffman Estates (“Village”) is a home-rule municipality located in Cook County, Illinois; and

WHEREAS, the FY25 and FY26 budgets included the scheduled replacement of four (4) heavy-duty trucks used primarily for snow and ice operations; and

WHEREAS, this purchase pertains to the acquisition of the chassis for such vehicles, with vehicle upfitting to be addressed separately by the Village; and

WHEREAS, Village staff determined that procurement through the Sourcewell Cooperative Purchasing Contract is advantageous to the Village by providing competitively solicited, volume-based pricing; and

WHEREAS, JX Truck Center of Bolingbrook, Illinois, is the vendor identified through the Sourcewell Cooperative Purchasing Contract for the purchase of heavy-duty truck chassis meeting the Village’s operational needs; and

WHEREAS, the total cost for the four (4) truck chassis is \$576,552, and the Corporate Authorities further find it to be in the best interests of the Village to authorize additional change orders in an aggregate amount not to exceed 5% of the purchase price for unforeseen costs or configuration adjustments, for a total authorization not to exceed \$605,380.

NOW, THEREFORE, BE IT RESOLVED, by the President and Board of Trustees of the Village of Hoffman Estates, Cook County, Illinois as follows:

Section 1: RECITALS. The facts and statements contained in the preamble of this Resolution are found to be true and correct and are hereby adopted as part of this Resolution.

Section 2: APPROVAL OF PURCHASE. The President and Board of Trustees hereby approve an agreement with JX Truck Center of Bolingbrook, IL, for four (4) heavy-duty truck chassis in an amount not to exceed \$605,380.

Section 3: AUTHORIZATION TO EXECUTE PURCHASE DOCUMENTS. The President or Village Manager is hereby authorized to execute all documents and agreements necessary to complete the purchase approved in Section 2 of this Resolution.

Section 4: EFFECTIVE DATE. This Resolution will be in full force and effect from and after its passage and approval as provided by law.

RESOLVED THIS _____ day of _____, 2026

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Trustee Patrick Kinnane	_____	_____	_____	_____
President William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2026

Village President

ATTEST:

Village Clerk



Peterbilt Illinois Joliet, Inc dba JX Truck Center

535 E. South Frontage Road
 Bolingbrook IL 60440
 (262) 709-3446

PURCHASE CONTRACT

Date: 2/18/2026 - rev 2 specs
 Quote #: DE-12991
 Type: Cash
 Salesperson: Darren Simon
 PO #: _____

Bill To: **32347**
 Village of Hoffman Estates
 1900 Hassell Rd
 HOFFMAN ESTATES IL 60169-2010
 P:(847) 882-9100 | F:(847) 843-4822

Ship To:
 Village of Hoffman Estates
 1900 Hassell Rd
 HOFFMAN ESTATES, IL 60169-2010

Stock#: TBD	VIN:SINGLE AXLE	0 PETERBILT 548	Price:	\$135,519.74
		WARRANTY - ENGINE 5YR/100K - SOURCED GOODS		\$2,190.00
		HEATED WINDSHIELD STRIPS - SOURCED GOODS		\$1,250.00
		WARRANTY - AFTERTREATMENT - 5YR/100K MILES		\$1,115.00
		Per Unit:		\$140,074.74
Stock#: TBD	VIN:SINGLE AXLE	0 PETERBILT 548	Price:	\$135,519.74
		WARRANTY - AFTERTREATMENT - 5YR/100K MILES		\$1,115.00
		HEATED WINDSHIELD STRIPS - SOURCED GOODS		\$1,250.00
		WARRANTY - ENGINE 5YR/100K - SOURCED GOODS		\$2,190.00
		Per Unit:		\$140,074.74
Stock#: TBD	VIN:TANDEM AXLE	0 PETERBILT 548	Price:	\$143,116.30
		WARRANTY - ENGINE 5YR/100K - SOURCED GOODS		\$2,190.00
		HEATED WINDSHIELD STRIPS - SOURCED GOODS		\$1,250.00
		WARRANTY - AFTERTREATMENT - 5YR/100K MILES		\$1,115.00
		Per Unit:		\$147,671.30
Stock#: TBD	VIN:TANDEM AXLE	0 PETERBILT 548	Price:	\$143,116.30
		WARRANTY - AFTERTREATMENT - 5YR/100K MILES		\$1,115.00
		HEATED WINDSHIELD STRIPS - SOURCED GOODS		\$1,250.00
		WARRANTY - ENGINE 5YR/100K - SOURCED GOODS		\$2,190.00
		Per Unit:		\$147,671.30
			Total Price	\$575,492.08
			Documentation Fee	\$367.00
			Title Fee	\$660.00
			Plate Fee	\$32.00
			Total	\$576,551.08



Peterbilt Illinois Joliet, Inc dba JX Truck Center

535 E. South Frontage Road
Bolingbrook IL 60440
(262) 709-3446

PURCHASE CONTRACT

Date: 2/18/2026 - rev 2 specs
Quote #: DE-12991
Type: Cash
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Ship To:
Village of Hoffman Estates
1900 Hassell Rd
HOFFMAN ESTATES, IL 60169-2010

***** Peterbilt Motors Company Sourcewell Contract #032824-PMC. *****

Order Requirements:

- Signed specs w/ each page initialed (via JX e-signature)
- Signed Purchase Contract (via JX e-signature)
- Customer PO

No additional flooring is included, payment for the chassis is expected upon chassis delivery/inspection to the customer or body builder.
(body will be invoiced separately when delivered complete)

Quote is valid for 60 days or while supplies last at this price level.
Price is not protected.
Delivery timeframe is not guaranteed.
Trade values subject to change depending on usage/condition at time of trade.

Global supply chain constraints, force majeure actions, tariffs, and other world events continue to present challenges to production and the industry as a whole; which continue to affect prices and lead times. This quote is presented with the most current information we have at the present time and is subject to change at any time prior to final invoice from Peterbilt Motors Co.

IMPORTANT BUYER INFORMATION

- 1. AS IS SALE. Any warranties from a Manufacturer or other supplier, including warranties on any Dealer-installed Non-Manufacturer accessories, are direct from such Manufacturer or supplier, not Dealers, and only such Manufacturer or other supplier will be liable for performance under those warranties. All goods, services and Vehicles sold by Dealer are sold "AS IS." SEE TERMS AND CONDITIONS SECTION 10 ON REVERSE SIDE.
- 2. TERMS AND CONDITIONS. The terms and conditions for this purchase and sale are attached.
- 3. NO ORAL AGREEMENTS. There are no oral agreements regarding the Vehicle(s). Employees, salespersons and managers are not authorized to make any oral representations, agreements or promises about the Vehicle that are not in writing. Any oral representation, agreement or promise not in writing is not a part of this Order and is not binding on Dealer.
- 4. NON-CANCELLABLE. This transaction is non-cancellable after the Dealer and Buyer sign this Order except as otherwise provided herein.

Purchaser's Initials

Date

BUYER'S REPRESENTATIONS

I have read all terms printed on the front and back of this Order, and I understand and agree to them as part of this Order. I understand that the front and back of this Order, including the Terms and Conditions, comprise the entire agreement for this purchase, and no other agreement or understanding of any nature concerning the same has been made or entered into, or will be recognized. I also certify that there are no unwritten agreements or understandings and that no credit has been extended by Dealer nor arranged by Dealer for the cash down payment unless it appears in writing on the face of this Order. There are no blanks on this Order. I certify that I am at least 18 years old and acknowledge receipt of a copy of this Order. By signing below, I authorize outside parties to release financial information to the Dealer that includes, but is not limited to, information regarding lien amounts and details regarding the financing of the equipment listed on the face of this Order.

Purchaser's Initials

Date

TERMS AND CONDITIONS OF SALE

The Order on the reverse side hereof includes, and is subject to, the following terms and conditions:

1. **DEFINITIONS AND RELATIONSHIP:** As used in this Order, the terms (a) "Dealer" means the dealership that owns or has a right to sell the Vehicle being sold; (b) "Buyer" means the party(ies) named on the reverse side as Buyer; (c) "Manufacturer" means the company that manufactured the Vehicle or chassis; and (d) "Vehicle(s)" shall mean the vehicle(s) being purchased by Buyer listed on the reverse side of this Order. Dealer is not the agent of Manufacturer. Dealer and Buyer are the only parties to this Order. Reference to Manufacturer is for the purpose of explaining generally the contractual relationships between Dealer and Manufacturer regarding new vehicles.
2. **PRICE CHANGES; MANUFACTURER, BODY-BUILDER OR UPFITTER FEES, COSTS OR SURCHARGES:** Manufacturer, and certain body-builders and upfitters, have reserved the right to change the price to Dealer of new vehicles and or to impose fees, costs or surcharges, without notice. In the event the price to Dealer of the Vehicle(s) is increased by Manufacturer, or a body-builder or upfitter, if applicable, prior to delivery of the Vehicle(s) ordered by Buyer, or Manufacturer, a body-builder or upfitter imposes fees, costs or surcharges, Dealer reserves the right to change the total delivered price of the Vehicle(s) to Buyer to pass thru such fees, costs or surcharges, accordingly, but without markup, overhead or profit to Dealer. Dealer will use reasonable efforts to promptly notify Buyer on receipt of notice of such increase, or imposition of fees costs or surcharges. Any such increase, or imposition of fees, costs or surcharges will not give rise to any right to cancel the Order, provided, however, that as a courtesy, and not as a matter of contractual obligation, Dealer may work with Buyer, and the applicable Manufacturer, bodybuilder or upfitter, regarding any available opportunity to cancel the Order.
3. **TRADE-IN REAPPRAISAL:** If a trade-in for the Vehicle(s) ordered by Buyer is not delivered to Dealer until delivery to Buyer of the ordered Vehicle(s), the trade-in will be reappraised at that time, and such reappraised value will determine the allowance made for the trade-in. If the reappraised value is lower than the original trade-in allowance shown on the front of this Order, Buyer may, if dissatisfied, cancel this Order, provided, however, that the right to cancel must be exercised prior to both the delivery to Buyer of the Vehicle(s) ordered and the surrender of the trade-in Vehicle to Dealer.
4. **EVIDENCE OF TITLE FOR TRADE-IN; REQUIREMENTS FOR TRADE:** Buyer agrees to deliver to Dealer evidence of unrestricted title to any trade-in as a part of the down payment for the Vehicle(s) ordered. Buyer warrants and represents any trade-in to be Buyer's property free and clear of all liens and encumbrances, except as expressly noted on the front of this Order. Buyer warrants and represents that the trade-in was not in a prior accident or has not incurred any frame damage nor is it a municipal, salvage, damaged, rebuilt or flood vehicle, nor has it been the subject of any "lemon" claim. The Buyer further warrants and represents that the odometer of the trade-in was not altered or tampered with prior to its transfer to the Dealer. Additionally, the buyer certifies that all emissions including, but not limited to, the diesel particulate filter, EGR valves, and EGR coolers function properly and will pass industry tests and inspections. When equipped, model year 2008 and newer trade-ins must have a fully functional particulate filter capable of regeneration at normal factory intervals.
5. **TRADE-IN ALLOWANCE.** The trade-in allowance shown on the reverse side may not represent the actual cash value of the Buyer's trade-in(s). Buyer acknowledges that such allowance may be an over allowance for said trade-in(s) in lieu of an additional discount on the purchase price of the Vehicle(s). In the event of any dispute between Buyer and Dealer as it may relate to any trade-in(s) or return of any trade-in or rescission of this Order, Dealer's only obligation as to the trade-in(s) shall be the actual amount received from the sale of the trade-in, less a selling commission of 15% and any expenses incurred in storing, insuring, conditioning or advertising the trade-in for sale, will be returned to Buyer.
6. **TRADE IN PAYOFF.** Dealer has relied on information from Buyer and/or the lien holder of Buyer's trade-in(s) to determine the "Est. Lien Payoff" shown. Buyer understands that the such payoff is only an estimate and may not be the actual amount owed. Buyer directs Dealer to pay off the lien on the trade-in as soon as practical after closing on this transaction. If the payoff balance on the trade-in is greater than the estimated payoff shown, Buyer agrees upon demand to promptly pay the difference to Dealer. If the payoff balance is less than the estimated payoff shown, Dealer shall promptly pay the difference, in Dealer's sole discretion, to either Buyer's lender or Buyer. Buyer acknowledges and agrees that as of the date of this Order that Buyer is or will be transferring title to and ownership of the trade-in(s) to Dealer but that Buyer, and not Dealer, will remain responsible for amounts due to Buyer's lender or lien holder for the trade-in(s) until paid in full, which may be after the date of this Order. Buyer will indemnify and hold Dealer, and any of its shareholders, directors, officers, members, managers, employees, agents, representatives, attorneys, insurers, affiliates, parents, successors and assigns, from any and all claims arising out of, or relating to, amounts that are or become due to Buyer's trade-in lender or lien holder after the date of this Order and prior to the lender or lienholder being paid in full.
7. **BUYER INDEMNITY.** Buyer agrees to indemnify and hold Dealer, its directors, officers, agents, and employees harmless from any and all claims of liability and expenses, including but not limited to, injury to person or property, loss of profit, and reasonable attorney fees, arising out of or in connection with any breach of this Order, or of the Buyer's warranties, representations, and agreements contained in this Order, including but not limited to the representations concerning any trade-ins.
8. **BUYER DEFAULT PRIOR TO DELIVERY; LIQUIDATED DAMAGES:** Unless this Order is canceled by Buyer as allowed by these Terms and Conditions, upon failure or refusal of Buyer to accept delivery of the Vehicle(s) ordered or to otherwise comply with the terms of this Order, Dealer may, at its sole option and discretion cancel the Order and either: a) assess against Buyer liquidated damages of the greater of (i) 5% of the total price which would have been chargeable to Buyer at delivery, or (ii) the actual amount of any cash deposit made by Buyer; or b) decline such liquidated damages and to reserve its claims against Buyer for actual damages and for such other expenses and losses as Dealer may incur or suffer as a result of such default by Buyer, including consequential damages and lost profits. On either election, Dealer will be entitled to offset any cash deposit made by Buyer and, may further sell any trade-in and may offset the proceeds against the amounts due from Buyer. Buyer agrees and acknowledges that it has ordered the Vehicle(s) based on its own needs and for its own purposes and that such Vehicle(s) may not be subject to prompt resale, and that as such determination of actual damages may be delayed or difficult, and that as such the above stated liquidated damages are reasonable and appropriate for this transaction. Buyer further acknowledges and agrees that based on market conditions, such liquidated damages may prove insufficient to compensate Dealer for Buyer's failure to take delivery or other breach and that as such, Buyer has agreed to the above election of remedies as additional consideration to Dealer in agreeing to the Order.
9. **DESIGN CHANGES:** Manufacturer has reserved the right to change the design of any new Vehicle, chassis, accessory, or part at any time without notice, without the obligation to make the same or any similar change upon any Vehicle, chassis, accessory, or part previously purchased by or shipped to Dealer or being manufactured or sold in accordance with Dealer's orders. In the event of any such change by Manufacturer, Dealer has no obligation to Buyer to make the same or any similar change in any Vehicle, chassis, accessory, or part covered by this Order, either before or after delivery to Buyer.
10. **DELIVERY LIABILITY LIMITATION:** Dealer will not be liable for failure to deliver or delay in delivering the Vehicle(s) where such failure or delay is due, in whole or in part, to any cause beyond the control or without the fault or negligence of Dealer. Buyer agrees that Buyer is not entitled to recover from Dealer any consequential damages, damages to property, damages for the loss of use of the Vehicle(s), loss of time, loss of profits or income, or any other incidental damages which may result from failure to deliver or delay in delivery of the Vehicle(s) where such failure or delay is due, in whole or in part, to any cause beyond the control or without the fault or negligence of Dealer, including, but not limited to, Manufacturer's failure to produce or deliver the Vehicle(s).

11. TAXES: The total taxable price for the Vehicle(s) ordered does not include sales, use, excise, or other taxes (Federal, State or local). Buyer assumes and agrees to pay, unless prohibited by law, any such taxes imposed on or applicable to the transaction covered by this Order, regardless of which party may have primary tax liability.

12. WARRANTY DISCLAIMER:

A. IN THE EVENT A VEHICLE IS EITHER A NEW VEHICLE, DEMONSTRATOR, OR A USED VEHICLE STILL SUBJECT TO A MANUFACTURER'S WARRANTY, DEALER EXPRESSLY DISCLAIMS ALL WARRANTIES, EXPRESS AND IMPLIED (INCLUDING ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE) ON SUCH VEHICLE. FURTHER, DEALER NEITHER MAKES NOR AUTHORIZES ANY OTHER PERSON TO MAKE ON DEALER'S BEHALF, ANY WARRANTY IN CONJUNCTION WITH THE SALE OF ANY VEHICLE. AS TO ANY MANUFACTURER'S WARRANTY WHICH MAY BE EXTENDED TO BUYER BY MANUFACTURER, DEALER SPECIFICALLY DISCLAIMS ANY LIABILITY THEREUNDER, SUCH MANUFACTURER'S WARRANTY BEING BETWEEN BUYER AND MANUFACTURER ONLY.

B. UNLESS A SEPARATE WRITTEN INSTRUMENT SHOWING THE TERMS OF ANY DEALER WARRANTY OR SERVICE CONTRACT IS FURNISHED BY DEALER TO BUYER, ALL VEHICLES ARE SOLD "AS IS," AND THE DEALER DISCLAIMS ALL WARRANTIES, EITHER EXPRESS OR IMPLIED, INCLUDING ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

C. IN THE EVENT A VEHICLE IS A USED VEHICLE SUBJECT TO FEDERAL TRADE COMMISSION RULES REQUIRING THE POSTING OF A "BUYER'S GUIDE" THE INFORMATION ON THE WINDOW FORM FOR THIS VEHICLE IS PART OF THIS CONTRACT, INFORMATION ON THE WINDOW FORM OVERRIDES ANY CONTRARY PROVISIONS IN THIS ORDER.

D. Buyer has selected the Vehicle(s) and any configuration or options, and has not relied on the Dealer for such selection.

E. Dealer is not part of any aftermarket or third-party service contract or warranty which may be sold by Dealer. Buyer will look only to the third-party seller of any such aftermarket service contract or warranty, and not to Dealer, for any remedy or recourse.

13. DAMAGE DISCLOSURE:

A. NEW VEHICLE. DEMONSTRATOR. EXECUTIVE OR MANUFACTURER'S VEHICLE OR PROGRAM VEHICLE: Damage to a new Vehicle (including to all mechanical components, electrical components, sheet metal, paint, trim or other appearance items) may occur either at the factory during assembly, while the Vehicle is being transported to Dealer, or while in Dealer's possession awaiting sale. Normally, any damage which occurs during assembly is detected and corrected at the factory during the inspection process. Damage which has been repaired by the Manufacturer prior to delivery to Dealer, since generally unknown to Dealer, will not be disclosed.

B. USED VEHICLES: Since a used Vehicle has been subject to use and possibly to body and mechanical damages, the Vehicle may have been subject to repairs for mechanical reasons or to enhance appearance for sale. Such repairs may include body work and painting of the Vehicle. Since (i) Buyer has the right to inspect the Vehicle, (ii) Dealer generally lacks knowledge of all prior repairs, and (iii) there is uncertainty as to what may be deemed material to Buyer. Dealer makes no representations as to former damage or as to whether the Vehicle was in a prior accident, bad frame damage or incurred any other damage that would affect the condition of the vehicle or its value.

14. ODOMETER DISCLAIMER: The mileage shown on the odometer of the Vehicle(s) sold or leased is believed by Dealer to be the actual mileage of the Vehicle(s) unless otherwise disclosed. However, Dealer makes no warranties or representations as to the actual mileage that the Vehicle has been driven, and expressly disclaims any liability for damages which may be asserted by Buyer, or Buyer's transferees or assigns, in the event the mileage shown is incorrect. Should the vehicle subject to this Agreement be subject to the Federal Odometer Statute, the Odometer Statement provided by the Dealer shall control.

15. COLOR OR EQUIPMENT CHANGE: If the Vehicle(s) ordered is received by Dealer with a different color or equipment, Buyer will be notified. If Dealer and Buyer reach an agreement as to purchase of the Vehicle(s), a new Order shall be completed by Dealer and Buyer covering the Vehicle(s) received; and the new Order will take the place of this Order and this Order will be null and void.

16. OTHER DOCUMENTS: The Buyer, before or at the time of delivery of the Vehicle, will sign such other documents as may be required by the terms and conditions of payment indicated on the front of this Order.

17. SAVINGS CLAUSE. GOVERNING LAW AND VENUE: Any provisions of this Order prohibited by State or Federal Law will be ineffective to the extent of such prohibition, but shall not invalidate the remaining provisions of this Order. This Order shall be governed by the laws of the State in which it is written, and Buyer agrees that the state court of the county in which the Dealer is located shall be the court of exclusive jurisdiction and venue with respect to any disputes arising from or related to this Order.

18. ARBITRATION: Any dispute arising out of or relating to this Order shall be resolved by binding arbitration before a single arbitrator pursuant to the Arbitration Rules of Resolute Systems, Inc. in effect on the date of this Order. Buyer acknowledges that in partial consideration for the agreements, covenants and representations of the parties hereto that he/she/it has or shall upon signing this Order or thereafter upon presentment by Dealer sign a separate arbitration agreement with Dealer, the terms and conditions of which are incorporated in this Order and made a part hereof.

19. FINANCING. Dealer intends to assign to a third-party lender any retail installment contract executed by Buyer for the purchase of the Vehicle(s). Buyer understands and agrees that Dealer SHALL NOT BE OBLIGATED TO SELL the Vehicle(s) to him/her/it unless a third-party lender accepts the assignment of the retail installment contract signed by the Buyer. The Order and retail installment contract may be cancelled at any time by Dealer, if Dealer determines in its sole discretion that it cannot obtain third party lender approval and may be cancelled by either party within twenty-one (21) days hereafter if such approval is not obtained on the agreed terms within such time. Additional terms may apply as set out in the retail installment contract and/or a finance rider. Buyer agrees to provide Dealer with a true, correct and complete credit application and cooperates fully in obtaining financing, including providing supporting documentation and Buyer acknowledges that Dealer is solely relying on the accuracy of such information. In the event the Order is terminated as provided herein, Dealer shall return any monetary deposit made by Buyer to Dealer and Buyer agrees to return the Vehicle(s) to Dealer upon demand. In the event that Buyer does not return the Vehicle(s) as required herein, the Dealer may repossess the Vehicle(s) and Buyer shall be liable for all costs, expenses and reasonable attorneys' fees incurred by Dealer related to such repossession and any damages to the Vehicle(s).

20. FAILURE TO DELIVER TRADE-IN VEHICLE OR TITLE. If Buyer fails to deliver any trade-in or good title to such Vehicle(s) on or before the time of delivery of the Vehicle(s) to Buyer, this Order shall remain in full force and effect unless cancelled by the Dealer, except that at the election of the Dealer, there shall be immediately due and payable from the Buyer to Dealer the amount of the gross-trade in allowance plus all applicable taxes.

21. SECURITY INTEREST IN TRADE-IN. By signing this Order, Buyer grants to Dealer a security interest in the trade-in Vehicle(s) to secure Buyer's obligations under this Order and the other documents executed herewith. In the event of a breach of the Order by the Buyer, Dealer may exercise all rights of a secured party under the Uniform Commercial Code with respect to the trade-in. Buyer agrees to execute any and all documents reasonably required by Dealer to perfect Dealer's security interest granted herein.

22. **PROMISSORY NOTE/ADDITIONAL CHARGES.** Any additional sums due pursuant to the terms of this transaction may be evidenced by a promissory note executed by Buyer in favor of Dealer. In the event any payment made by Buyer to Dealer is in the form of a check which is dishonored for any reason, Buyer shall pay a service charge to Dealer in the amount of \$100.00 plus any and all other compensatory and any other credit related costs under applicable law.

23. **SUCCESSION.** This Order is binding and shall inure to the benefit of the parties hereto and their respective heirs, executors, personal representatives, successors, and assigns, except that Buyer may not assign this Order or any interest therein, in whole or in part, without the prior written consent of Dealer.

24. **REBATE.** If a rebate from the Manufacturer is reflected on the reverse side of this Order, Buyer understands that such rebate is being subtracted from the total amount due as a courtesy to the Buyer. If Buyer does not qualify for the Manufacturer's rebate indicated on this Order, Buyer agrees to pay the amount of the rebate plus applicable taxes to Dealer within three (3) days after demand by Dealer.

25. **OTHER DOCUMENTS; CORRECTION.** The Buyer shall at any time upon demand by Dealer, even if such demand is after the date of this Order, execute such forms, agreements, or other documents as may be reasonably required to complete the transaction contemplated by this Order, or to evidence correction of mathematical or scrivener's errors.

26. **REPOSSESSION.** In addition to any other remedies that may be available to Dealer, in the event Buyer is unable to secure financing to purchase the Vehicle(s), Buyer's down payment check(s) do not clear or are not honored, or Buyer is otherwise in default of this Order or other written agreement related hereto, prior to full payment to dealer, and Buyer refuses to return the Vehicle(s) as required herein, Buyer authorizes Dealer to repossess the Vehicle(s) with or without legal process pursuant to applicable law.

27. **RIGHT TO INSPECT-FINAL ACCEPTANCE OF VEHICLE.** The Buyer acknowledges that he/she/it has been given an opportunity to thoroughly inspect the Vehicle(s) prior to taking delivery and that by taking delivery the Buyer accepts the Vehicle(s) in the condition on the date of this Order with all defects or non-conformities. For pre-owned Vehicle(s), except as otherwise required by law, Buyer accepts the Vehicle(s) in an "AS IS" condition. Receipt of delivery of the Vehicle(s) hereunder constitutes the Buyer's acknowledgment that the Vehicle(s) conforms to this Order and constitutes the Buyer's unqualified acceptance of the Vehicle(s), including pursuant to Section 2-606 of the Uniform Commercial Code.

28. **LIMITATIONS ON TIME PERIOD IN WHICH BUYER CAN FILE A LAWSUIT OR ARBITRATION CLAIM (AS APPLICABLE) AGAINST THE DEALER:** Buyer agrees that any arbitration claim (if applicable) or lawsuit arising out of or related to the purchase or lease of the Vehicle(s) described herein against the Dealer must be filed no more than 365 days after the date of the delivery of the Vehicle. While Buyer understands that the statute of limitations for claims arising out of the purchase of the Vehicle(s) may be longer than 365 days, Buyer agrees to be bound by the 365 day period of limitations as set forth herein, and BUYER WAIVES ANY STATUTE OF LIMITATIONS TO THE CONTRARY. This provision shall not apply to any action to enforce any retail installment contract, if any, executed in connection herewith.

29. **NOTICE TO DEALER OF DEFECTS OR CLAIM.** Buyer agrees to give Dealer prompt written notice, but in no event more than twenty-one (21) days after discovery, of any alleged defect or nonconformity related to the Vehicle(s) and afford Dealer, in its sole discretion, the reasonable opportunity to correct or repair such defect or nonconformity.

30. **TITLE.** The parties hereto agree that the title to the Vehicle(s) shall not pass to the Buyer until such time as Buyer has fully performed all of his/hers/its obligations contained herein.

31. **VEHICLE EMISSION LAW.** Dealer makes no representations or warranty that the Vehicle(s) sold hereunder passed, or will pass, any inspection required by any state vehicle emission inspection law. Compliance is the responsibility of the Buyer.

32. **CONSEQUENTIAL DAMAGES.** Buyer shall not be entitled to recover from Dealer any consequential or incidental damages for loss of use, loss of time, loss of profit or income, or any other incidental damages including, without limitations, any damages arising from liability on breach of warranty, contract, tort, strict liability or any other statutory or common law theory of liability or punitive damages.

33. **ATTORNEYS FEES.** In the event of any breach of this Order or default by Buyer, Dealer shall be entitled to collect all costs and expenses incurred by Dealer, including, but not limited to, reasonable attorneys' fees from Buyer, in addition to any other damages permitted by law, related to the enforcement of this Order.

34. **SEVERABILITY.** Buyer and Dealer agree that if any portion of this Order is deemed unenforceable, or is contrary to any applicable statute, administrative code, or state mandated form of agreement or contract, then only that portion of the Order shall fail, the remainder of the Order shall remain in force.

35. **WAIVER OF CLASS ACTION.** TO THE EXTENT PERMITTED BY LAW, BUYER AGREES NOT TO BRING, JOIN, OR PARTICIPATE IN ANY CLASS ACTION AS TO ANY CLAIM, DISPUTE, OR CONTROVERSY AGAINST DEALER, ITS EMPLOYEES, OFFICERS, DIRECTORS, AND ASSIGNS. BUYER AGREES TO THE ENTRY OF INJUNCTIVE RELIEF BARRING ANY SUCH ACTION AND TO PAY ALL OF DEALER'S ATTORNEYS' FEES AND COURT COSTS INCURRED IN SEEKING SUCH RELIEF. THIS PROVISION DOES NOT CONSTITUTE A WAIVER OF BUYER'S RIGHTS AND REMEDIES TO PURSUE A CLAIM INDIVIDUALLY AS OTHERWISE AGREED TO BETWEEN THE PARTIES.

36. **WAIVER OF JURY TRIAL.** THE PARTIES WAIVE ANY RIGHT TO TRIAL BY JURY IN ANY ACTION OR PROCEEDING TO ENFORCE OR DEFEND ANY RIGHTS UNDER THIS ORDER OR RELATED, DIRECTLY OR INDIRECTLY, TRANSACTION HEREUNDER AND AGREES THAT ANY ACTION OR PROCEEDING SHALL BE TRIED BEFORE A COURT AND NOT BEFORE A JURY.

THIS ORDER SHALL NOT BECOME BINDING UNTIL ACCEPTED BY THE MANAGER.

Village of Hoffman Estates

Purchaser's Name

Sales Representative

Purchaser's Signature

Date

Manager

AGREEMENT AND ACKNOWLEDGMENT
REGARDING PRICE INCREASES, SURCHARGES, FEES AND COSTS

Vehicle Order: DE-12991

Buyer: Village of Hoffman Estates

Dealer: Peterbilt Illinois Joliet, Inc dba JX Truck Center

Date: 2/18/2026 - rev 2 specs

Dealer, and its manufacturers, bodybuilders, upfitters and other suppliers are experiencing unprecedented cost increases resulting from global supply shortages, including the pandemic, increased demand for electronic chips, and scarcity of certain raw materials. Dealer is faced with incredible volatility in its business, accordingly, particularly for non-commodity units and chassis. In order to manage that volatility, and to enter into the above vehicle order, Dealer requires the right to pass such increases through to the Buyer. Accordingly, and as additional consideration to Dealer relative to the above-referenced sale, the parties agree that Manufacturer, and certain bodybuilders and upfitters, have reserved the right to change the price to Dealer of new vehicles and or to impose fees, costs or surcharges, without notice. In the event the price to Dealer of the Vehicle(s) is increased by Manufacturer, or a body-builder or upfitter, if applicable, prior to delivery of the Vehicle(s) ordered by Buyer, or Manufacturer, a body-builder or upfitter imposes fees, costs or surcharges, Dealer reserves the right to change the total delivered price of the Vehicle(s) to Buyer to pass thru such fees, costs or surcharges, accordingly, but without markup, overhead or profit to Dealer. Dealer will use reasonable efforts to promptly notify Buyer on receipt of notice of such increase, or imposition of fees costs or surcharges. Any such increase, or imposition of fees, costs or surcharges will not give rise to any right to cancel the Order, provided, however, that as a courtesy, and not as a matter of contractual obligation, Dealer may work with Buyer, and the applicable Manufacturer, body-builder or upfitter, regarding any available opportunity to cancel the Order.

This Agreement and Acknowledgment Regarding Price Increases, Surcharges, Fees and Costs will govern over any other or conflicting document on the issue of pricing and price increases.

DEALER:
Peterbilt Illinois Joliet, Inc dba JX Truck Center
535 E. South Frontage Road
Bolingbrook IL 60440

BUYER:
Village of Hoffman Estates
1900 Hassell Rd
HOFFMAN ESTATES, IL 60169-2010

By: _____
Print: _____

By: _____
Print: _____

Village of Hoffman Estates, Illinois

2026 Annual Operating Budget

Account Information

Account Number: 37000025-4603
 Account Name: Motor Vehicles

Fund: Capital Vehicle & Equipment
 Department:
 Division:

Account History

2022 Budget	\$	450,580	2023 Budget	\$	843,240	2024 Budget	\$	1,454,480
2022 Actual	\$	709,820	2023 Actual	\$	675,995	2024 Actual	\$	1,420,385

	2025 Budget	2025 Estimate	2026 Dept Request	2025 Carry-Over	2026 Manager Approved	2027 Financial Plan	2028 Financial Plan
Projected Expenditures							
<i>Existing financed vehicles:</i>							
PD Admin vehicle (P02) (financing)	6,430	6,430	6,430	-	6,430	6,430	6,430
Pickup truck Unit #43 (financing)	7,690	7,690	7,690	-	7,690	7,690	7,690
Dump Truck Unit #7 (financing)	29,870	29,870	29,870	-	29,870	29,870	29,870
Pickup truck Unit #31 (financing)	5,800	5,800	5,800	-	5,800	5,800	5,800
4x4 Pickup Truck w/plow Unit #30	7,990	7,990	7,990	-	7,990	7,990	7,990
4x4 mini dump truck w/plow Unit #61	2,250	2,250	2,250	-	2,250	2,250	2,250
<i>(partial in 40407325-4603)</i>				-	-		
4x2 3/4 ton pickup truck, Unit #18	2,250	2,250	2,250	-	2,250	2,250	2,250
<i>(Vehicle in 40407325-4603)</i>							

	2025 Budget	2025 Estimate	2026 Dept Request	2025 Carry- Over	2026 Manager Approved	2027 Financial Plan	2028 Financial Plan
Patrol vehicles (5), changeover, equipment	629,700	629,700	-	-	-	-	-
PD Squad Unit 06, changeover, equip.	-	-	67,000	-	67,000	-	-
PD Squad Unit 10, changeover, equip.	-	86,000	-	-	-	-	-
PD Squad Unit 12, changeover, equip.	-	86,000	-	-	-	-	-
PD Squad Unit 16, changeover, equip.	-	-	69,000	-	69,000	-	-
PD Squad Unit 18, changeover, equip.	-	-	69,000	-	69,000	-	-
PD Squad Unit 25, changeover, equip.	-	-	69,000	-	69,000	-	-
PD Squad Unit 81, changeover, equip.	-	-	77,000	-	77,000	-	-
Future Police Vehicle Replacements	-	-	-	-	-	600,000	625,000
Fire Car #5	-	-	40,000	-	40,000	-	-
Fire Car #7	65,000	60,000	-	-	-	-	-
Code Vehicle C79	-	-	-	-	-	-	-
Engineering Vehicle E95	55,000	55,000	-	-	-	-	-
Code Vehicle C99	-	-	-	-	-	-	-
Pickup truck, Unit #34	-	-	-	-	-	75,000	-
Pickup truck, Unit #35	-	-	-	-	-	75,000	-
4x4 Stake Body Truck, #44	110,000	110,000	-	-	-	-	-
4x4 Stake Body Crew Cab Truck, #64	100,000	100,000	-	-	-	-	-
4x4 Flat Bed Truck, Unit #62 (partial in 40407325-4603)	20,000	25,200	-	-	-	-	-
Stake Body Truck #47	200,000	285,000	-	-	-	-	-
Semi Truck & Dump Trailer #68 (partial in 40407325-4603)	-	-	-	-	-	25,500	-
Dump Truck Unit #10	-	200,000	200,000	-	200,000	-	-
Dump Truck Unit #9	-	190,000	190,000	-	190,000	-	-
Dump Truck Unit #1	-	-	210,000	-	210,000	200,000	-
Dump Truck Unit #8	-	-	190,000	-	190,000	200,000	-
Dump Truck Unit #2	-	-	-	-	-	210,000	210,000
Dump Truck Unit #12	-	-	-	-	-	200,000	210,000
Aerial Lift Truck Unit #85	-	-	-	-	-	-	320,000
TOTAL EXPENDITURES	1,241,980	1,889,180	1,243,280	-	1,243,280	1,647,780	1,427,280

	2025 Budget	2025 Estimate	2026 Dept Request	2025 Carry- Over	2026 Manager Approved	2027 Financial Plan	2028 Financial Plan
Projected Revenues							
Transfer from General Fund	1,241,980	1,889,180	1,243,280	-	1,243,280	1,647,780	1,427,280
Transfer from Capital Improvements							
Transfer from Insurance Fund							
TOTAL REVENUES	1,241,980	1,889,180	1,243,280	-	1,243,280	1,647,780	1,427,280



AGENDA ITEM REPORT

Village Board of Trustees

April 6, 2026

ITEM 5E

REQUEST: Approval of a Resolution for the Village to participate in the State of Illinois Central Management Services joint purchase of road salt for 2027, in an amount up to 4,080 tons.

FROM: Joseph Nebel, Public Works Director
Kevin McGraw, Superintendent of Streets

ITEM TYPE: Resolution - Village Board

REQUEST SUMMARY

The Village has participated in the State joint purchasing program for road salt for over 30 years. To participate in this program, the Village must submit a request for a specified tonnage of salt each year. As a requirement, the Village must purchase and take ownership of no less than 80%, and is allowed to purchase up to 120%, of this request.

A table of historic salt request quantities is provided below. Typically, the Village exceeds this request (up to 120%) when pricing is favorable or when salt usage is high due to winter weather.

Year	Amount (tons)	Cost per ton
2025-2026	3,400	\$67.17
2024-2025	3,400	\$67.84
2023-2024	3,800	\$75.38
2022-2023	4,000	\$76.53
2021-2022	3,600	\$52.18
2020-2021	4,000	\$89.33
2019-2020	5,500	\$89.33

In February 2026, the Village received notification from the State that bids will soon be solicited for this year’s joint purchase. Government units wishing to participate are required to submit requested quantities no later than April 7, 2026. With consideration for salt currently in storage (estimated 3,500 tons at the conclusion of the 2025/26 snow season) and past usage per season, Staff recommends a request of 3,400 tons of salt for the 2026/27 joint purchase (2,720 tons minimum to 4,080 tons maximum).

FINANCIAL IMPACT

There is \$11,000 remaining in the 2026 General Fund operating budget to purchase road salt. As this joint purchase agreement spans multiple budget years, funding in the

2027 operating budget will also be used to purchase salt through the upcoming joint purchasing contract.

RECOMMENDATION

Approval of a Resolution for the Village to participate in the State of Illinois Central Management Services joint purchase of road salt for 2027, in an amount up to 4,080 tons.

ATTACHMENTS

- 1. RESOLUTION 2027 State of Illinois Joint Road Salt Purchase
- 2. Blank Certificate of Authority Template(s) 02.10.26
- 3. State of Illinois Rock Salt Joint Purchasing Participant

RESOLUTION NO. ____-2026

VILLAGE OF HOFFMAN ESTATES

APPROVAL OF A RESOLUTION FOR THE VILLAGE TO PARTICIPATE IN THE STATE OF ILLINOIS CENTRAL MANAGEMENT SERVICES JOINT PURCHASE OF ROAD SALT FOR 2027, IN AN AMOUNT UP TO 4,080 TONS

WHEREAS, the Village of Hoffman Estates (“the Village”) is a home-rule municipality located in Cook County, Illinois; and

WHEREAS, the Village has participated in the State of Illinois joint purchasing program for road salt for more than thirty (30) years; and

WHEREAS, in February 2026, the Village received notice from the State of Illinois that bids will be solicited for the upcoming road salt joint purchase program, and participating governmental units are required to submit their requested quantities no later than April 7, 2026; and

WHEREAS, the Corporate Authorities have determined that it is in the best interest of the Village to participate in the State of Illinois Central Management Services joint purchase of road salt for 2027, in an amount up to 4,080 tons.

NOW, THEREFORE, BE IT RESOLVED, by the President and Board of Trustees of the Village of Hoffman Estates, as follows:

Section 1: RECITALS. The facts and statements contained in the preamble of this Resolution are found to be true and correct and are hereby adopted as part of this Resolution.

Section 2: APPROVAL OF AGREEMENT. The President and Board of Trustees hereby approve the Village to participate in the State of Illinois Central Management Services joint purchase of road salt for 2027, in an amount up to 4,080 tons.

Section 3: AUTHORIZATION TO EXECUTE AGREEMENT. The President or Village Manager is hereby authorized to execute the contract, and to execute any other documents in furtherance of this Resolution in accordance with the Village Code and state and federal law.

Section 4: EFFECTIVE DATE. This Resolution will be in full force and effect from and after its passage and approval as provided by law.

RESOLVED THIS _____ day of _____, 2026

Table with 5 columns: VOTE, AYE, NAY, ABSENT, ABSTAIN. Rows list Village officials: Trustee Karen V. Mills, Trustee Anna Newell, Trustee Gary J. Pilafas, Trustee Gary G. Stanton, Trustee Karen Arnet, Trustee Patrick Kinnane, President William D. McLeod.

APPROVED THIS _____ DAY OF _____, 2026

Village President

ATTEST:

Village Clerk



Certificate of Authority by Vote

(Two Party Written Signature Required)

I, Enter Name of Certifier/Attest., hereby certify that I am duly (**Choose an item** *appointed, designated, elected or selected*) (**Choose an item** *Administrator, Clerk or Secretary*). Of Enter Name of Governmental Unit. (“Governmental Unit”). I hereby certify the following is a true copy of a vote taken at a meeting of the Board of Directors (or equivalent governing body), duly called and held on **Enter a date.**, at which a quorum of the Members was present and voting.

Voted: That Enter Name of Person with Authority and Title. (may list more than one person) is duly authorized to enter into contracts, to include joint participation agreements, on behalf of Enter Name of Governmental Unit with the State of Illinois and any of its agencies or departments and further is authorized to execute any documents which may in his/her judgment be desirable or necessary to affect the purpose of this vote.

I hereby certify that said vote has not been amended or repealed and remains in full force and effect as of the date of the contract or joint participation agreement to which this certificate is attached. I further certify that it is understood that the State of Illinois will rely on this certificate as evidence that the person(s) listed above currently occupy the position(s) indicated and that they have full authority to bind the Governmental Unit. To the extent that there are any limits on the authority of any listed individual to bind the Governmental Unit in contracts with the State of Illinois, all such limitations are expressly stated herein.

Dated: _____

Attest: _____
(Written signature & Title)

Dated: _____

Attest: _____
(Written signature & Title)



Certificate of Authority by Bylaws

(Two Party Written Signature Required)

I, Enter Name of Certifier/Attest., hereby certify that I am duly (**Choose an item** *appointed, designated, elected or selected*). (**Choose an item** *Administrator, Clerk or Secretary*). Of Enter Name of Governmental Unit. I hereby certify the following is a true copy of the current Bylaws (or equivalent law or ordinance) and that the Bylaws authorize the following person or position to bind the Governmental Unit for contractual obligations, to include joint participation agreements: Enter title or position.

I further certify that the following individuals currently hold the office or position(s) authorized: Enter Name of Person Authorized.

I further certify that it is understood that the State of Illinois will rely on this certificate as evidence that the person listed above currently occupies the position indicated and that they have full authority to bind the Governmental Unit for contractual obligations, to include joint participation agreements with the State of Illinois.

Dated: _____

Attest: _____
(Written signature & Title)

Dated: _____

Attest: _____
(Written signature & Title)



Certificate of Authority (Two Party Written Signature Required)

I, Enter Name of Certifier/Attest., hereby certify that I am Enter title or position. of Enter Name of Entity.

I further certify that Enter Name of Entity. authorized the following person(s) and position(s) to bind the entity for contractual obligations, to include joint participation agreements with the State of Illinois:

Enter title(s) or position(s) of authorized person.

Enter Name of Person(s) Authorized.

I further certify that it is understood that the State of Illinois will rely on this certificate as evidence that the person listed above currently occupies the position indicated and that they have full authority to bind the Enter Name of Governmental Unit. for contractual obligations, to include joint participation agreements with the State of Illinois.

Dated: _____

Attest: _____
(Written signature & Title)

Dated: _____

Attest: _____
(Written signature & Title)

Dear State of Illinois Rock Salt Joint Purchasing Participant:

The Illinois Department of Central Management Services is inviting your governmental unit to participate in the solicitation for the CY2026-CY2027 Joint Purchase Master Contract(s) for Rock Salt. The resulting joint purchase master contract(s) will be for a one (1) year contract with no options to renew.

[IMPORTANT NOTE: BY SUBMITTING THE ROCK SALT CONTRACT JOINT PARTICIPATION AGREEMENT FORM WITH A ROCK SALT TONNAGE AMOUNT, YOU ARE OBLIGATING YOUR GOVERNMENTAL UNIT TO TAKE DELIVERY OF THAT SPECIFIED AMOUNT DURING THE RESULTING CONTRACT TERM. YOU MUST READ THROUGH ALL TERMS OF THE AGREEMENT FORM, INCLUDING THE SIGNATORY'S CERTIFICATIONS, PRIOR TO SUBMISSION. IF YOU HAVE QUESTIONS ABOUT THE CERTIFICATIONS CONTAINED IN THE AGREEMENT FORM, OR QUESTIONS ABOUT COMPLIANCE WITH APPLICABLE PURCHASING AND CONTRACT REQUIREMENTS SET FORTH BY YOUR GOVERNMENTAL UNIT, CONTACT YOUR GOVERNMENTAL UNIT'S LEGAL COUNSEL.](#)

Please complete the form below **by close of business April 07, 2026**. This submission date is firm and if you do not respond by this date, you will not be included in the new solicitation for Rock Salt for the CY2026-CY2027 season.

<<Participation Agreement Form Link>>

<https://forms.gle/26oAoD63tztQzzC97>

If you are not the person in your entity who should be receiving this Participation Agreement Form, please forward this to the correct person, if known. You may respond to this email if you have any questions regarding the State of Illinois' Rock Salt Purchase.

NOTE 1: The attached Blank Certificate of Authority is for your entity to download, complete and upload to question #20 of the Participation Agreement Form Link. The attached word document has three (3) pages ("Certificate of Authority by Vote", "Certificate of Authority Bylaws" and "Certificate of Authority"). We just need one of the three pages that is applicable to your entity completed.

Note 2: If there were no changes in names and authority from last year, you may attach and upload the Certificate from last year with your initials and this year's date at the bottom of the form. If there were changes, you will need to complete a new Certificate with the two-party signature.

NOTE 3: A saved copy of your Participation Agreement Form submission will be sent to your inbox and will be from "Google Forms".

Thank you,



Jack Eck | Buyer

Bureau of Strategic Sourcing

Illinois Department of Central Management Services

300 W. Jefferson St., Springfield, IL 62702

Office Phone: 217-785-1659

jack.eck2@illinois.gov



AGENDA ITEM REPORT

Village Board of Trustees

April 6, 2026

ITEM 5F

- REQUEST:** Approval of a Resolution authorizing an agreement for 2026, 2027, and 2028 Landscape Maintenance Services to V. Cardenas Landscaping, East Dundee, Illinois, in a cumulative amount not to exceed \$250,000.
- FROM:** Joseph Nebel, Public Works Director
Kevin McGraw, Superintendent of Streets
- ITEM TYPE:** Resolution - Village Board
-

REQUEST SUMMARY

The scope of services under this contract includes weekly and bi-weekly mowing of Village-maintained retention and detention areas, center medians and cul-de-sac islands, select secondary street rights-of-way, and Village facilities (collectively referred to as “C, D, and E mowing sites”). In addition, alternate per-acre pricing was requested for the existing mowing categories in the event additional sites need to be incorporated into the contract, along with separate pricing for center median weed removal.

The proposed agreement is for an initial one-year term, with optional one-year extensions for calendar years 2027 and 2028.

In March 2026, the Village solicited and received bids for this program. After reviewing the bids received, staff determined that V. Cardenas Landscaping is the lowest responsible bidder. V. Cardenas Landscaping has previously performed similar work for the Village in a satisfactory manner, most recently from 2016 through 2025. A tabulation of bids is attached for reference.

FINANCIAL IMPACT

The 2026 General Fund Forestry – Professional Services account includes a total budget appropriation of \$800,500 for a variety of programs, including Silver Maple Program tree removals, tree trimming and maintenance, contracted mowing, and brush pick-up program assistance, among other items. Staff recommends authorization in a cumulative amount not to exceed \$250,000 for this three-year program, consisting of a base bid of \$234,220.86 and a contingency of \$15,779.14 to accommodate any additional sites or services that may be required during the contract term.

Based on the historical needs associated with this service and other Forestry professional services, staff anticipates that expenditures will remain within budget.

However, if unforeseen needs arise, sufficient General Fund reserves are available to support this contract.

RECOMMENDATION

Approval of a Resolution authorizing an agreement for 2026, 2027, and 2028 Landscape Maintenance Services to V. Cardenas Landscaping, East Dundee, Illinois, in a cumulative amount not to exceed \$250,000.

ATTACHMENTS

- 1. RESOLUTION 2026-2027-2028 C,D,E Contracted Mowing
- 2. 2026 Landscape Maintenance Services C.D.E sites bid tab
- 3. V Cardenas Contract and Required Documents

RESOLUTION NO. ____-2026

VILLAGE OF HOFFMAN ESTATES

A RESOLUTION AUTHORIZING AN AGREEMENT FOR 2026, 2027, AND 2028 LANDSCAPE MAINTENANCE SERVICES TO V. CARDENAS LANDSCAPING, EAST DUNDEE, IL. IN A CUMULATIVE AMOUNT NOT TO EXCEED \$250,000

WHEREAS, the Village of Hoffman Estates (“Village”) is a home-rule municipality located in Cook County, Illinois; and

WHEREAS, the Village’s landscape maintenance program includes weekly and bi-weekly mowing of Village-maintained retention and detention areas, center medians and cul-de-sac islands, select secondary street rights-of-way, and Village facilities; and

WHEREAS, the contract also includes alternate per-acre pricing for additional mowing sites, if needed, together with separate pricing for center median weed removal; and

WHEREAS, the project was advertised for competitive bidding on February 23, 2026, and bids were publicly opened on March 10, 2026; and

WHEREAS, staff determined that V. Cardenas Landscaping of East Dundee, Illinois, is the lowest responsible bidder and best able to meet the needs of the Village; and

WHEREAS, the Corporate Authorities find and determine that it is in the best interests of the Village to approve an agreement with V. Cardenas Landscaping of East Dundee, Illinois, for 2026 landscape maintenance services, with optional extensions for 2027 and 2028, in an amount not to exceed \$250,000.

NOW, THEREFORE, BE IT RESOLVED, by the President and Board of Trustees of the Village of Hoffman Estates, as follows:

Section 1: RECITALS. The facts and statements contained in the preambles of this Resolution are found to be true and correct and are hereby adopted as part of this Resolution.

Section 2: APPROVAL OF AGREEMENT. The President and Board of Trustees hereby approve an agreement with V. Cardenas Landscaping of East Dundee, Illinois, for 2026 landscape maintenance services, with optional extensions for 2027 and 2028, in an amount not to exceed \$250,000.

Section 3: AUTHORIZATION TO EXECUTE AGREEMENT. The President or Village Manager is hereby authorized to execute the contract, and to execute any other documents in furtherance of this Resolution in accordance with the Village Code and state and federal law.

Section 4: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

RESOLVED THIS _____ day of _____, 2026

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Trustee Patrick Kinnane	_____	_____	_____	_____
President William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2026

Village President

ATTEST:

Village Clerk

VILLAGE OF HOFFMAN ESTATES
DEPARTMENT OF PUBLIC WORKS
TABULATION OF BIDS FOR
LANDSCAPE MAINTENANCE

Bid Opening Date: March 10, 2026
Time: 11:00am
Attended by: Nick Lackowski

Firm:		V. Cardenas Landscaping	Mark 1 Landscape Inc.	R. Guzman Landscaping	Langton Group	Brightview Landscape	Milieu Design LLC	M3 Landscape Inc.
C & D Locations per bid specifications		East Dundee, IL	Bartlett, IL	Plainfield, IL	Woodstock, IL	Elmhurst, IL	Lake Zurich, IL	Streamwood, IL
Bid Deposit:		\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00	\$1,000.00
Amount of Deposit Received:		Check	Bond	Unsecured check	Bond	Bond	Bond	Unsecured check
Attended Required Pre-bid Meeting		Yes	Yes	Yes	Yes	Yes	Yes	Yes
Items								
2026 Season	(C) Cycles 17	\$37,131.57	\$38,386.00	\$28,288.00	\$45,492.00	\$64,804.00	\$61,370.00	\$120,530.00
	(D) Cycles 17	\$17,680.00	\$13,260.00	\$26,520.00	\$11,492.00	\$7,072.00	\$29,631.00	\$54,825.00
Alternate sites	(E) Cycles 34	\$21,982.00	\$34,000.00	\$40,460.00	\$58,140.00	\$49,912.00	\$53,892.00	\$26,690.00
	Total	\$76,793.57	\$85,646.00	\$95,268.00	\$115,124.00	\$121,788.00	\$144,893.00	\$202,045.00
Alternate bid item	Per cul de sac	\$30.00	\$45.00	\$32.00	\$13.00	\$30.00	\$25.00	\$55.00
Alternate bid item	Per Acre	\$35.79	\$80.00	\$80.00	\$44.00	\$60.00	\$65.00	\$55.00
Alternate bid item	Per 1,000 Sq Ft	\$85.50	\$80.00	\$4.50	\$60.00	\$60.00	\$30.00	\$55.00
2027 Season	(C) Cycles 17	\$37,131.57	\$38,386.00	\$28,288.00	\$47,124.00	\$66,317.00	\$67,303.00	\$127,211.00
	(D) Cycles 17	\$17,680.00	\$13,260.00	\$26,520.00	\$12,376.00	\$7,514.00	\$35,224.00	\$57,902.00
Alternate sites	(E) Cycles 34	\$21,982.36	\$34,000.00	\$40,460.00	\$59,874.00	\$51,476.00	\$55,930.00	\$27,744.00
	Total	\$76,793.93	\$85,646.00	\$95,268.00	\$119,374.00	\$125,307.00	\$158,457.00	\$212,857.00
Alternate bid item	Per cul de sac	\$20.00	\$45.00	\$32.00	\$14.00	\$30.00	\$28.00	\$60.00
Alternate bid item	Per Acre	\$35.79	\$80.00	\$80.00	\$45.32	\$60.00	\$70.00	\$60.00
Alternate bid item	Per 1,000 Sq Ft	\$85.50	\$80.00	\$4.50	\$61.80	\$60.00	\$35.00	\$60.00
2028 Season	(C) Cycles 17	\$38,988.14	\$38,386.00	\$28,288.00	\$48,790.00	\$67,898.00	\$71,825.00	\$133,892.00
	(D) Cycles 17	\$18,564.00	\$13,260.00	\$26,520.00	\$13,260.00	\$7,956.00	\$36,584.00	\$60,945.00
Alternate sites	(E) Cycles 34	\$23,081.58	\$34,000.00	\$40,460.00	\$61,676.00	\$53,040.00	\$57,970.00	\$29,138.00
	Total	\$80,633.72	\$85,646.00	\$95,268.00	\$123,726.00	\$128,894.00	\$166,379.00	\$223,975.00
Alternate bid item	Per cul de sac	\$20.00	\$45.00	\$32.00	\$15.00	\$30.00	\$30.00	\$65.00
Alternate bid item	Per Acre	\$35.79	\$80.00	\$80.00	\$46.68	\$60.00	\$75.00	\$65.00
Alternate bid item	Per 1,000 Sq Ft	\$85.50	\$80.00	\$4.50	\$63.65	\$60.00	\$40.00	\$65.00
C,D & E sites	2026 Total Bid	\$76,793.57	\$85,646.00	\$95,268.00	\$115,124.00	\$121,788.00	\$144,893.00	\$202,045.00
C,D & E sites	2027 Total Bid	\$76,793.57	\$85,646.00	\$95,268.00	\$119,374.00	\$125,307.00	\$158,457.00	\$212,857.00
C,D & E sites	2028 Total Bid	\$80,633.72	\$85,646.00	\$95,268.00	\$123,726.00	\$128,894.00	\$166,379.00	\$223,975.00
	Total Bid	\$234,220.86	\$256,938.00	\$285,804.00	\$358,224.00	\$375,989.00	\$469,729.00	\$638,877.00
Notes		Corrected totals		Corrected totals	Corrected totals			Corrected totals

2026 – 2028 LANDSCAPE MAINTENANCE C|D|E SITES
PROPOSAL FORM

The undersigned, having examined all documents related to this proposal and having become familiar with the extent, nature, and local conditions affecting the cost and performance or the proposed work, hereby proposes to furnish all supervision, labor, equipment, and materials and to perform the work herein described at the proposal prices as included in this document. It is understood that the Village reserves the right to reject any and all proposals (including alternate proposals) and to waive any technicalities.

Name of Bid: 2026-2028 Landscape Maintenance C|D|E Sites

Company Name: V. Cardenas Landscaping Inc.

Bidder Name (print): Virjilio Cardenas

Title: Owner

Business Address: 19 Lincoln Ave.
East Dundee, IL 60118

Email Address: info@vcardenaslandscaping.com

Telephone 630-973-7556

Signature  Date 3/9/24


Prospective bidders, please note:

- *All bid prices for landscape maintenance services shall remain firm for the entirety of said season.*
- *The Primary Bid is for the 2026 landscape maintenance season. Alternate bids have been requested for the 2027 and 2028 landscape maintenance seasons.*
- *The Village reserves the right to add, remove, or alter sites listed within these bid documents in the best interest of the Village. Any change to the scope of work shall be made in writing.*

VILLAGE OF HOFFMAN ESTATES
BID CERTIFICATION FORM


RE: Certification of bidder, compliance with the Illinois Criminal Code

I/We hereby certify that, V. Cardenas Landscaping Inc. (name of bidding firm) by bidding on this contract, no action has occurred that would result in a violation of 720 ILCS 5/33E, Public Contracts of the Illinois Criminal Code.

Signed: 

Name/Title: Virjilio Cardenas, Owner (please print)

Date: 3-9-26

Attest:  (Notary Public)

Commission Expiry: April 25th 2027

Date: March 9th 2026



(SEAL)

**THIS FORM IS MANDATORY AND MUST BE NOTORIZED.
PLEASE INCLUDE THREE COPIES OF THIS FORM WITH YOUR BID DOCUMENTS.**

VILLAGE OF HOFFMAN ESTATES
SUBSTANCE ABUSE PREVENTION PROGRAM CERTIFICATE

The undersigned, upon being first duly sworn, hereby certifies to the Village of Hoffman Estates that the undersigned has in place a written Substance Abuse Prevention Program that meets or exceeds the requirements of the State of Illinois P.A. 095-0635, or has a collective bargaining agreement in effect dealing with the subject matter of P.A. 095-0635. The Contractor and Subcontractors will file a copy of the Substance Abuse Prevention Program, or collective bargaining agreement, with the Client prior to any work being conducted on the project.

V. Cardenas Landscaping Inc.

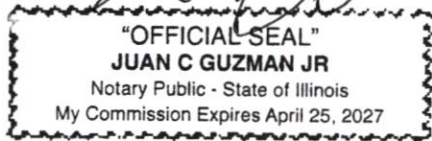
(Name of Contractor)

Owner *V. Cardenas*
(Title)

Subscribed and sworn to before me this 9th day of March, 2026.

My Commission expires: April 25th, 2027

Juan C Guzman Jr
(Notary Public)



(SEAL)

**THIS FORM IS MANDATORY AND MUST BE NOTORIZED.
PLEASE INCLUDE THREE COPIES OF THIS FORM WITH YOUR BID DOCUMENTS.**



HOFFMAN ESTATES

DEPARTMENT OF PUBLIC WORKS

CONTRACT

1. THIS AGREEMENT, made and concluded the ____ day of _____ (month, year) between the Village of Hoffman Estates, acting by and through its Mayor and Board of Trustees, known as the party of the first part, and V. Cardenas Landscaping Inc. (name of firm), their executors, administrators, successors, or assigns, known as the party of the second part.
2. Witnesseth: That for and in consideration of the payments and agreements mentioned in the Bid/Proposal Documents hereto attached, to be made and performed by the party of the first part, and according to the terms expressed in the Bond referring to these presents, the party of the second part agrees with said party of the first part at his/their own proper cost and expense to do all the work, furnish all materials and all labor necessary to complete the work in accordance with the plans and specifications hereinafter described, and in full compliance with all of the terms of this agreement and the requirements of the Village Representative under it.
3. The party of the second part agrees to abide by all OSHA, IDOL, and MUTCD safety requirements and all laws and statutes of the State of Illinois including but not limited to the Prevailing Wage Act (if applicable). Prevailing rates of wages are revised by the Illinois Department of Labor and are available on the Department's official website.
4. And it is also understood and agreed that the Instructions to Bidders, General Conditions, Specifications, Scope of Services, Site Maps, and Contract Proposal hereto attached are essential documents of this contract and are a part hereof.
5. IN WITNESS WHEREOF, the said parties have executed these presents on the date above mentioned.

Attest:

 Clerk
 (Seal Below)

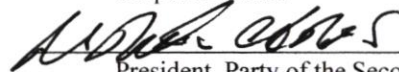
The Village of Hoffman Estates

By: _____
 Party of the First Part

(If a corporation)

V. Cardenas Landscaping Inc.

Corporate Name



President, Party of the Second Part

(If a Co-Partnership)

Attest:

 Secretary

Co-Partner

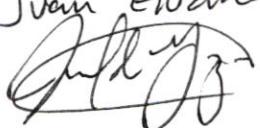
Co-Partner

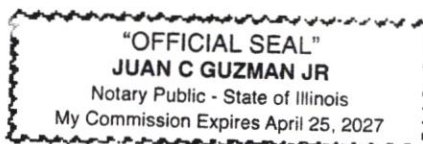
 Doing business under the firm name,
 Party of the Second Part

(If an individual)

Party of the Second Part

THIS CONTRACT FORM IS MANDATORY.
PLEASE INCLUDE THREE SIGNED COPIES WITH YOUR BID DOCUMENTS.

Juan Guzman

 March 9th, 2026



VILLAGE-OWNED PROPERTIES – SOUTH (Cost for one complete bi-weekly maintenance cycle)

Site #	Location Description	2026 (per biweekly service)	2027 (per biweekly service)	2028 (per biweekly service)
C1	Moon Lake Blvd Center Medians	\$26.25	\$26.25	\$27.56
C2	Volid Drive Center Medians	\$17.60	\$17.60	\$18.48
C3	Hassell Road Bridges ROWs	\$15.00	\$15.00	\$15.75
C4	SITE REMOVED FROM PREVIOUS SCOPE			
C5	SITE REMOVED FROM PREVIOUS SCOPE			
C6	Hassell Road Ditch Line (adjacent to Rosedale Lane)	\$15.00	\$15.00	\$15.75
C7	SITE REMOVED FROM PREVIOUS SCOPE			
C8	Rosedale Lane ROW	\$28.35	\$28.35	\$29.77
C9	SITE REMOVED FROM PREVIOUS SCOPE			
C10	SITE REMOVED FROM PREVIOUS SCOPE			
C11	2380 Golf Road (Lift Station #17)	\$15.00	\$15.00	\$15.75
C12	Almond Lane Ditch Line	\$15.00	\$15.00	\$15.75
C13	SITE REMOVED FROM PREVIOUS SCOPE			
C14	SITE REMOVED FROM PREVIOUS SCOPE			
C15	Aspen Street Ditch Line	\$15.00	\$15.00	\$15.75
C16	Roselle Road ROW (Route 72 to Bradley Lane)	\$39.46	\$39.46	\$41.43
C17	Evanston Street ROW at Bode Road	\$15.00	\$15.00	\$15.75
C18	Bode Road and Grand Canyon (NE C/O)	\$15.00	\$15.00	\$15.75
C19	Spring Mill Drive ROW (W. Berkley Lane to Alcoa Lane)	\$15.00	\$15.00	\$15.75
C20	Grand Canyon Retention	\$15.25	\$15.25	\$16.01

C21	Bode Road "S"-Curve ROW	\$ 146.83	\$146.83	\$ 154.17
C22	SITE REMOVED FROM PREVIOUS SCOPE			
C23	Golf Road ROW (adjacent to shopping center)	\$ 15.00	\$ 15.00	\$ 15.75
C24	Bode Road ROW (Western Street to Bode Circle)	\$ 15.00	\$15.00	\$ 15.75
C25	Jones Road and Hassell Road ROWs	\$224.20	\$224.20	\$235.41
C26	Pembroke Avenue ROW	\$68.72	\$68.72	\$72.16
C27	75 – 85 Golf Road Parking Lot	\$20.00	\$ 20.00	\$ 21.00
C28	Barrington Road ROWs	\$29.69	\$ 29.69	\$31.17
C29	SITE REMOVED FROM PREVIOUS SCOPE			

VILLAGE-OWNED PROPERTIES – NORTH (Cost for one complete bi-weekly maintenance cycle)

Site #	Location Description	2026 (per biweekly service)	2027 (per biweekly service)	2028 (per biweekly service)
C30	Route 62 and Ela Road (NE C/O)	\$ 15.00	\$ 15.00	\$15.75
C31	SITE REMOVED FROM PREVIOUS SCOPE			
C32	SITE REMOVED FROM PREVIOUS SCOPE			
C33	SITE REMOVED FROM PREVIOUS SCOPE			
C34	SITE REMOVED FROM PREVIOUS SCOPE			
C35	Westbury Drive (Lift Station #9)	\$15.00	\$ 15.00	\$15.75
C36	SITE REMOVED FROM PREVIOUS SCOPE			
C37	Westbury Field	\$90.36	\$ 90.36	\$94.88
C38	SITE REMOVED FROM PREVIOUS SCOPE			
C39	SITE REMOVED FROM PREVIOUS SCOPE			

C40	SITE REMOVED FROM PREVIOUS SCOPE			
C41	Olmstead Drive ROW	\$ 15.00	\$15.00	\$15.75
C42	Castaway Detention #1	\$86.38	\$ 86.38	\$90.70
C43	Huntington Boulevard ROW at Palatine Road	\$ 19.97	\$ 19.97	\$ 20.97
C44	Castaway Retention #2	\$ 19.91	\$ 19.91	\$20.91
C45	Essington Retention	\$ 72.10	\$72.10	\$ 75.71
C46	Palatine Road ROW North (Thornbark to Olmstead)	\$ 56.05	\$ 56.05	\$ 58.85
C47	Palatine Road ROW North (Thornbark to Boulder)	\$15.00	\$ 15.00	\$15.75
C48	Palatine Road ROW South (Castaway to property line)	\$15.00	\$15.00	\$ 15.75
C49	Palatine Road ROW North (Castaway to Chambers)	\$ 32.27	\$ 32.27	\$33.88
C50	Huntington Blvd ROW (Central to N. of Mundhank)	\$ 110.11	\$ 110.11	\$ 115.62

VILLAGE-OWNED PROPERTIES – WEST (Cost for one complete bi-weekly maintenance cycle)

Site #	Location Description	2026 (per biweekly service)	2027 (per biweekly service)	2028 (per biweekly service)
C60	Beverly Road (west side of Route 72 to Adesa property)	\$ 76.29	\$76.29	\$ 80.10
C61	Beverly Road Center Medians and ROW	\$15.00	\$ 15.00	\$ 15.75
C62	SITE REMOVED FROM PREVIOUS SCOPE			
C63	Beacon Pointe Drive Center Medians and ROWs	\$ 100.66	\$ 100.66	\$ 105.69
C64	SITE REMOVED FROM PREVIOUS SCOPE			
C65	Beacon Pointe Drive Roundabout (weeding)	\$15.00	\$ 15.00	\$ 15.75
C66	Essex Drive Center Medians (north of Shoe Factory Road)	\$15.00	\$15.00	\$15.75
C67	Rohrsen Road ROW (Golf Road to Shoe Factory Road)	\$267.85	\$267.85	\$ 281.24

C68	5400 West Golf Road (Lift Station #20) – site and path	\$40.00	\$40.00	\$42.00
C69	Hunters Ridge ROW	\$15.00	\$15.00	\$15.75
C70	Pheasant Trail ROW	\$15.00	\$15.00	\$15.75
C71	McDonough Road ROW	\$15.00	\$15.00	\$15.75
C72	McDonough Road ROW at Rohrssen Road	\$15.00	\$15.00	\$15.75
C73	University Place (Lift Station #21) – inside fence	\$15.00	\$15.00	\$15.75
C74	Route 59 and Route 72 NW C/O (gateway sign)	\$15.00	\$15.00	\$15.75
C75	4785 Higgins Road SW C/O (pumping station)	\$22.82	\$22.82	\$23.96
C76	2364 Higgins Road (Lift Station #11)	\$15.00	\$15.00	\$15.75
C77	Essex Drive Center Medians (south of Shoe Factory Road)	\$15.00	\$15.00	\$15.75
C78	Prairie Stone Parkway Sign Board (landscape only)	\$15.00	\$15.00	\$15.75
C79	Hoffman Boulevard Sign Board (landscape only)	\$33.44	\$33.44	\$35.11
C80	Beverly Rd Former Sign Site (NW C/O Beverly and Shoe Factory Rd)	\$45.37	\$45.37	\$47.64
C81	Shoe Factory Center Medians (between Essex and Maureen)	\$89.28	\$89.28	\$93.74
Subtotal Cost for “C” Sites (one complete biweekly maintenance cycle)		\$2,184.21	\$2,184.21	\$2,277.66

VILLAGE-MAINTAINED CUL-DE-SACS AND DEAD-ENDS – SOUTH
 (one complete biweekly maintenance cycle)

Site #	Location Description	2026 (per biweekly service)	2027 (per biweekly service)	2028 (per biweekly service)
D1	Orange Lane at Westview Street (dead-end)	\$ 20.00	\$ 20.00	\$ 21.00
D2	Flagstaff Lane (dead-end)	\$ 20.00	\$ 20.00	\$ 21.00
D3	Audubon Street (665 – 685)	\$ 20.00	\$ 20.00	\$ 21.00
D4	Warwick Circle North Court (1030 – 1046)	\$ 20.00	\$ 20.00	\$ 21.00
D5	Warwick Circle North Court (1130 – 1140)	\$ 20.00	\$ 20.00	\$ 21.00
D6	Warwick Circle South Court (1037 – 1049)	\$ 20.00	\$ 20.00	\$ 21.00
D7	Worthington Court (1066 – 1080)	\$ 20.00	\$ 20.00	\$ 21.00
D8	John Drive Court (1020)	\$ 20.00	\$ 20.00	\$ 21.00
D9	Gannon Court	\$ 20.00	\$ 20.00	\$ 21.00
D10	Wilmington Lane (1074 – 1078)	\$ 20.00	\$ 20.00	\$ 21.00
D11	Dexter Lane North (930 – 948)	\$ 20.00	\$ 20.00	\$ 21.00
D12	Darlington Court (1145 – 1230)	\$ 20.00	\$ 20.00	\$ 21.00
D13	Dovington Court at Chatsworth Lane	\$ 20.00	\$ 20.00	\$ 21.00
D14	Brookside ROW	\$ 20.00	\$ 20.00	\$ 21.00
D15	Brookside Court (1474 – 1500)	\$ 20.00	\$ 20.00	\$ 21.00
D16	Brookside Drive Court (1510 – 1530)	\$ 20.00	\$ 20.00	\$ 21.00
D17	Brookside Drive Court (1583 – 1593)	\$ 20.00	\$ 20.00	\$ 21.00
D18	Brookside Lane Court (1911 – 1921)	\$ 20.00	\$ 20.00	\$ 21.00
D19	Greens Court (2019 – 2070)	\$ 20.00	\$ 20.00	\$ 21.00

D20	Crescent Court (1950 – 1972)	\$ 20.00	\$ 20.00	\$ 21.00
D21	Huttner Court (2021 – 2030)	\$ 20.00	\$ 20.00	\$ 21.00
D22	Glen Lake Road Court (1701 – 1709)	\$ 20.00	\$ 20.00	\$ 21.00
D23	Dovington Drive North (873 – 885)	\$ 20.00	\$ 20.00	\$ 21.00
D24	Warwick Circle North (1061 – 1101)	\$ 20.00	\$ 20.00	\$ 21.00
D25	Brookside Lane (1572 – 1578)	\$ 20.00	\$ 20.00	\$ 21.00
D26	Audubon Street (705 – 755)	\$ 20.00	\$ 20.00	\$ 21.00
D27	Audubon Street (700 – 750)	\$ 20.00	\$ 20.00	\$ 21.00

VILLAGE-MAINTAINED CUL-DE-SACS AND DEAD-ENDS – NORTH
(one complete biweekly maintenance cycle)

Site #	Location Description	2026 (per biweekly service)	2027 (per biweekly service)	2028 (per biweekly service)
D30	Port Arthur Court (1465 – 1470)	\$ 20.00	\$ 20.00	\$ 21.00
D31	Stone Harbor Court (1460 – 1475)	\$ 20.00	\$ 20.00	\$ 21.00
D32	Gloucester Court (1390 – 1395)	\$ 20.00	\$ 20.00	\$ 21.00
D33	Rock Cove Court (1350)	\$ 20.00	\$ 20.00	\$ 21.00
D34	Burning Bush Lane (1588 – 1594)	\$ 20.00	\$ 20.00	\$ 21.00
D35	Forest Glen Drive (4330 – 4334)	\$ 20.00	\$ 20.00	\$ 21.00
D36	Huntington Boulevard (4611 – 4636)	\$ 20.00	\$ 20.00	\$ 21.00
D37	Tarrington Court (4853 – 4859)	\$ 20.00	\$ 20.00	\$ 21.00
D38	Trailside Court (4436 – 4461)	\$ 20.00	\$ 20.00	\$ 21.00
D39	Somerton Court (4977 – 5005)	\$ 20.00	\$ 20.00	\$ 21.00
D40	Whispering Trails Court (3993 – 4011)	\$ 20.00	\$ 20.00	\$ 21.00

D41	Firestone Court (4170 – 4190)	\$ 20.00	\$ 20.00	\$ 21.00
D42	Dogwood Court (1779 – 1805)	\$ 20.00	\$ 20.00	\$ 21.00
D43	Chambers Drive (5125 – 5153)	\$ 20.00	\$ 20.00	\$ 21.00
D44	Cherry Court (4390 – 4395)	\$ 20.00	\$ 20.00	\$ 21.00
D45	Alder Court (3762 – 3768)	\$ 20.00	\$ 20.00	\$ 21.00
D46	Dukesberry Lane (5011 – 5035)	\$ 20.00	\$ 20.00	\$ 21.00
D47	Portshire Court (3390 – 3405)	\$ 20.00	\$ 20.00	\$ 21.00
D48	Fir Court Center Island	\$ 20.00	\$ 20.00	\$ 21.00
D49	Moulin Lane (3864 – 3850)	\$ 20.00	\$ 20.00	\$ 21.00
D50	New Britton (4035-4065)	\$ 20.00	\$ 20.00	\$ 21.00
D51	Ludington Court	\$ 20.00	\$ 20.00	\$ 21.00
D52	Eisenhower Court South	\$ 20.00	\$ 20.00	\$ 21.00
D53	Paisley Court	\$ 20.00	\$ 20.00	\$ 21.00
D60	Mallard Lane Center Island	\$ 20.00	\$ 20.00	\$ 21.00
Subtotal Cost for “D” Sites (one complete biweekly maintenance cycle)		\$ 1,040.00	\$ 1,040.00	\$ 1,092.00

ALTERNATE SITES (to be performed weekly)

NOTE: alternate sites ("E") may be added, removed, or altered from the scope of this contract based on the Village's needs.

Site #	Location Description	2026 (per biweekly service)	2027 (per biweekly service)	2028 (per biweekly service)
E1	Village Hall (1900 Hassell Road)	\$464.72	\$464.72	\$ 487.96
E2	Fire Station 21 (225 Flagstaff Lane)	\$41.51	\$41.51	\$43.59
E3	Fire Station 22 (1700 Moon Lake Boulevard)	\$ 30.67	\$30.67	\$32.20
E4	Fire Station 23 (1300 Westbury Drive)	\$26.61	\$26.61	\$27.94
E5	Fire Station 24 (5775 Beacon Pointe Drive)	\$83.03	\$83.03	\$87.18
Subtotal Cost for "E" Sites (one complete weekly maintenance cycle)		\$646.54	\$646.54	\$678.87

2026 – 2028 LANDSCAPE MAINTENANCE C|D|E SITES
PROPOSAL FORM

V. Cardenas Landscaping Inc.
[print firm name here]

2026 SEASON (PRIMARY BID)

Cost of completing one bi-weekly maintenance cycle (C Sites):	\$ <u>2,184.21</u>
Cost to complete 17 cycles (C sites):	\$ <u>37,131.57</u>
Cost of completing one bi-weekly maintenance cycle (D Sites):	\$ <u>1,040.00</u>
Cost to complete 17 cycles (D sites):	\$ <u>17,680.00</u>
Cost of completing one weekly maintenance cycle (alternate E sites):	\$ <u>646.54</u>
Cost to complete 34 cycles (alternate E sites):	\$ <u>21,982.36</u>
TOTAL COST FOR 2026 SEASON:	\$ <u>76,793.93</u>

2027 SEASON (ALTERNATE BID – CONTRACT EXTENSION)

Cost of completing one bi-weekly maintenance cycle (C Sites):	\$ <u>2,184.21</u>
Cost to complete 17 cycles (C sites):	\$ <u>37,131.57</u>
Cost of completing one bi-weekly maintenance cycle (D Sites):	\$ <u>1,040.00</u>
Cost to complete 17 cycles (D sites):	\$ <u>17,680.00</u>
Cost of completing one weekly maintenance cycle (alternate E sites):	\$ <u>646.54</u>
Cost to complete 34 cycles (alternate E sites):	\$ <u>21,982.36</u>
TOTAL COST FOR 2027 SEASON:	\$ <u>76,793.93</u>

(see the following page for the 2028 season and alternate service bid form)

2028 SEASON (ALTERNATE BID – CONTRACT EXTENSION)

Cost of completing one bi-weekly maintenance cycle (C Sites):	\$ <u>2,277.66</u>
Cost to complete 17 cycles (C sites):	\$ <u>38,720.22</u>
Cost of completing one bi-weekly maintenance cycle (D Sites):	\$ <u>1,092.00</u>
Cost to complete 17 cycles (D sites):	\$ <u>18,564.00</u>
Cost of completing one weekly maintenance cycle (alternate E sites):	\$ <u>678.87</u>
Cost to complete 34 cycles (alternate E sites):	\$ <u>23,081.58</u>
TOTAL COST FOR 2028 SEASON:	\$ <u>80,365.80</u>

ADDITIONAL SITE MAINTENANCE AND WEED REMOVAL (ALTERNATE BID)

The Contractor shall provide unit pricing for additional landscape maintenance services that may be incorporated into the contract at the direction/discretion of the Village. Such services may include, but are not limited to, additional cul-de-sac islands, Village-owned facilities, park-type areas, and weed removal within State route center medians.

The Village reserves the right to add or remove sites and to determine the scope, frequency, and extent of services for any such additional locations.

2026 CONTRACT SEASON

Cost per bi-weekly cycle for cul-de-sac sites added to the primary site list (per cul-de-sac):	\$ <u>20.00</u>
Cost per bi-weekly cycle for additional sites added (as needed, per acre):	\$ <u>35.79</u>
Cost per site visit for weed removal within State Route median spaces (as needed, per 1,000 square feet):	\$ <u>85.50</u>

2027 CONTRACT SEASON

Cost per bi-weekly cycle for cul-de-sac sites added to the primary site list (per cul-de-sac):

\$ 20.00

Cost per bi-weekly cycle for additional sites added (as needed, per acre):

\$ 35.79

Cost per site visit for weed removal within State Route median spaces (as needed, per 1,000 square feet):

\$ 85.50

2028 CONTRACT SEASON

Cost per bi-weekly cycle for cul-de-sac sites added to the primary site list (per cul-de-sac):

\$ 21.00

Cost per bi-weekly cycle for additional sites added (as needed, per acre):

\$ 37.58

Cost per site visit for weed removal within State Route median spaces (as needed, per 1,000 square feet):

\$ 89.78

2026 – 2028 LANDSCAPE MAINTENANCE C|D|E SITES

REFERENCES

BIDDER NOTE: List five (5) references where like services have been performed in comparable scope. Like-services would include other municipalities, park districts, county and state agencies, large companies, etc. References are mandatory.

BUSINESS NAME: Housing Authority of Elgin
ADDRESS: 130 S State St., Elgin, IL 60123
CONTACT PERSON: Michelle Detert
PHONE NUMBER: 847-608-4408
APPROX. DATE: 2014 - Current

BUSINESS NAME: Previously HARTING, Inc of North America, Current Residential Customer
ADDRESS: 1370 Bowes Rd., Elgin, IL 60123
CONTACT PERSON: David Moore
PHONE NUMBER: 630-842-5054
APPROX. DATE: 2010 - Current

BUSINESS NAME: Riversedge - Fox River Townhomes (ACC Management)
ADDRESS: 2 Clifford Ct #D, Elgin, IL 60123
CONTACT PERSON: Monica Ruiz
PHONE NUMBER: 224-760-7900
APPROX. DATE: 2014 - Current

BUSINESS NAME: Heatherstone Homeowner's Group
ADDRESS: P.O. Box 365, Palatine, IL
CONTACT PERSON: Tom Wackerfuss
PHONE NUMBER: 847-571-4580
APPROX. DATE: 2009 - 2023

BUSINESS NAME: Village of Bartlett
ADDRESS: 1150 Bittersweet Dr., Bartlett, IL 60103
CONTACT PERSON: Beth Uργο
PHONE NUMBER: 630-540-5410
APPROX. DATE: 2005 - Current

HOLD DOCUMENT UP TO THE LIGHT TO VIEW TRUE WATERMARK

CASHIER'S CHECK

HOLD DOCUMENT UP TO THE LIGHT TO VIEW TRUE WATERMARK



71383251

2-28/710

PAY One Thousand and 00/100*****

TO THE ORDER OF VILLAGE OF HOFFMAN ESTATES

DATE AMOUNT 03/09/2026 \$1,000.00

REMITTER MEMO V. CARDENAS LANDSC

Authorized Signature Michelle Mantua



Drawer: BMO Bank N.A. 29(04672)

BMO Bank N.A., Chicago, IL





Office of the Mayor
PROCLAMATION

WHEREAS, Autism Awareness Month was developed to increase public awareness of Autism Spectrum Disorder (ASD), to provide treatment resources, psychoeducation about the disorder and the effectiveness of early intervention, and to empower families and individuals with ASD to get access to resources and increase their knowledge about the disorder; and

WHEREAS, Autism spectrum disorder (ASD) is a complex developmental disability; signs typically appear during early childhood and affect a person's ability to communicate and interact with others. ASD is defined by a certain set of behaviors and is a "spectrum condition" that affects individuals differently and to varying degrees; and

WHEREAS, about 1 in 44 children has been identified with autism spectrum disorder (ASD) according to estimates from CDC's Autism and Developmental Disabilities Monitoring (ADDM) Network; and

WHEREAS, Autism is treatable. Children do not "outgrow" autism, but studies show that early diagnosis and intervention lead to significantly improved outcomes; and

WHEREAS, public awareness, education, and advocacy can aid in increasing the ability that a child with ASD will meet his/her maximum potential.

BE IT THEREFORE RESOLVED THAT I, William D. McLeod, acting under and by virtue of the authority vested in me by the Constitution of the State of Illinois and Laws of the Village of Hoffman Estates, hereby proclaim the month of **April 2026** as

NATIONAL AUTISM AWARENESS MONTH

in the Village of Hoffman Estates and urge all Hoffman Estates citizens, government agencies, business leaders, hospitals, schools, and public and private institutions in the Village to promote awareness of Autism Spectrum Disorder, to support programs and policies that increase the opportunity of providing resources to all individuals affected by the disorder, and to provide opportunities for all to participate in the awareness of autism.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the great seal of the Village of Hoffman Estates at my office on this **6th day of April 2026**.

William D. McLeod, Mayor



Office of the Mayor
PROCLAMATION

WHEREAS, National Child Abuse Prevention Month has been observed each April since its first presidential proclamation in 1983; and

WHEREAS, since that time, millions of Americans have participated in this national campaign. Individuals, organizations and communities across the United States plant pinwheels, tie ribbons, organize trainings, host fundraisers, and support a multitude of other activities celebrating healthy, happy childhoods and raising awareness that all children deserve to grow up in nurturing, safe homes; and

WHEREAS, the National Children's Alliance indicates the following statistics on types of abuse: Neglect: ~79% of victims, Physical Abuse: ~19% of victims, Sexual Abuse: ~9% of victims, and Sex Trafficking: ~0.3% of victims. Perpetrators: The most significant risk to children comes from parents, family members and close friends, not strangers; and

WHEREAS, the Children's Advocacy Center of North and Northwest Cook County and the Safe from the Start Program are devoted to addressing this concern; such groups seek to provide preventative solutions and possible exit strategies to at-risk youth and victimized children; and

WHEREAS, National Child Abuse Prevention Month promotes the social and emotional well-being of children and families and thus serves to acknowledge the importance of community cooperation throughout the nation with respect to the prevention of child abuse and neglect.

Be It Therefore Resolved That I, William D. McLeod acting under and by virtue of the authority vested in me by the Constitution of the State of Illinois and Laws of this Village of Hoffman Estates, hereby proclaim **April 2026** as

NATIONAL CHILD ABUSE PREVENTION MONTH

in the Village of Hoffman Estates and urge all Hoffman Estates citizens, government agencies, business leaders, hospitals, schools, and public and private institutions in the Village to promote awareness of child abuse, to support programs and policies that reduce the incidence of child abuse, and to provide opportunities for all to participate in the awareness and prevention of child abuse. We also encourage everyone to wear blue during the month to acknowledge this critical issue.

In Witness Whereof, I have hereunto set my hand and affixed the great seal of the Village of Hoffman Estates at my office on this **6th day of April 2026**.

William D. McLeod, Mayor



AGENDA
General Administration & Personnel Committee
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

April 13, 2026

Council Chambers

7:00 PM

1. CALL TO ORDER/ROLL CALL

2. APPROVAL OF MINUTES

A. General Administration & Personnel Committee 03-09-2026

3. PUBLIC COMMENT

4. OLD BUSINESS

5. NEW BUSINESS

A. Approval of an ordinance authorizing the sale of personal property owned by the Village of Hoffman Estates (auction items).

6. REPORTS

A. Cable TV Monthly Report

B. Human Resources Management Monthly Report

C. Legislative Operations & Outreach Monthly Report

7. PRESIDENT'S REPORT

8. ITEMS IN REVIEW

9. OTHER

10. ADJOURNMENT

Further details and information can be found in the agenda packet attached hereto and incorporated herein and

can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

DRAFT



AGENDA
Transportation & Road Improvement Committee
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

April 13, 2026	Council Chambers	Immediately Following General Administration & Personnel Committee
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1. **CALL TO ORDER/ROLL CALL**

2. **APPROVAL OF MINUTES**
 - A. Transportation & Road Improvement Committee 03-09-2026
3. **PUBLIC COMMENT**

4. **OLD BUSINESS**

5. **NEW BUSINESS**
 - A. Approval of a Resolution authorizing the purchase of five portable message signs from RoadSafe, Woodridge, Illinois, in the amount of \$88,090.
6. **REPORTS**
 - A. Transportation Division Monthly Report
7. **PRESIDENT'S REPORT**

8. **ITEMS IN REVIEW**

9. **OTHER**

10. **ADJOURNMENT**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the

ADA Coordinator at 847/882-9100.

DRAFT



AGENDA
Planning, Building & Zoning Committee
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

April 13, 2026

Council Chambers

**Immediately Following
Transportation & Road
Improvement Committee**

1. CALL TO ORDER/ROLL CALL

2. APPROVAL OF MINUTES

A. Planning, Building & Zoning Committee 03-09-2026

3. PUBLIC COMMENT

4. OLD BUSINESS

5. NEW BUSINESS

6. REPORTS

A. Planning Division Monthly Report

B. Code Enforcement Division Monthly Report

C. Economic Development and Tourism Monthly Report

7. PRESIDENT'S REPORT

8. ITEMS IN REVIEW

9. OTHER

10. ADJOURNMENT

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of

Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

DRAFT



AGENDA ITEM REPORT

Village Board of Trustees

April 6, 2026

ITEM 7A

REQUEST: Approval of an Ordinance granting a Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road.

FROM: Kevin Anderson, Planner II

ITEM TYPE: Ordinance - PC Item

REQUEST SUMMARY

Double K & A Inc. dba Rookie's Sports Bar and Grill is seeking a Master Sign Plan Amendment to allow additional wall signs which exceed the allowances of the approved Master Sign Plan.

Location: 4585-4613 W. Higgins Rd.

Property Owner / Applicant: LBX Poplar Creek LLC / DOUBLE K & A INC/ROOKIES 4

Property Size: 27.7 ac.

Zoning / Land Use: CMU - Commercial Mixed Use

Adjacent Properties: North: CMU
West: B-4 Business
South: CMU
East - B-2 Business

FINANCIAL IMPACT

N/A

RECOMMENDATION

The Plan Commission held a public hearing on March 18, 2026, and adopted findings and **recommended approval** as summarized below and included in Exhibit B - Findings & Recommendations Summary:

1. Adopted the Findings of Fact for a Master Sign Plan Amendment.
2. Recommended to the Village Board approval of a Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road, subject to the following conditions:
 - a. A building permit is required.
 - b. All window signs must be removed and reinstalled in accordance with the Zoning Code.

Voting: 8 Ayes, 0 Nays, 1 Absent

Motions Passed.

ATTACHMENTS

1. Ordinance - Poplar Creek Crossing MSP Amendment
2. Exhibit A - Location Map - Poplar Creek Crossing
3. Exhibit B - PC Findings and Recommendations Summary
4. Exhibit C - Poplar Creek Crossing Master Sign Plan
5. PC Staff Report
6. Supporting Documents - Poplar Creek Crossing MSP Amendment

ORDINANCE NO. _____ - 2026

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE GRANTING A MASTER SIGN PLAN AMENDMENT FOR THE POPLAR CREEK CROSSING SHOPPING CENTER LOCATED AT 4585 - 4613 W. HIGGINS ROAD

WHEREAS, the Plan Commission, at a public hearing duly called and held according to law on March 18, 2026, considered a request by Double K & A Inc/Rookies 4 for a Master Sign Plan Amendment for Poplar Creek Crossing Shopping Center located at 4585-4613 W. Higgins Rd., and shown on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Plan Commission adopted certain Finding of Fact and recommended approval of the Master Sign Plan Amendment as outlined in the Findings and Recommendations Summary attached hereto and made a part hereof as Exhibit "B"; and

WHEREAS, the proposed Master Sign Plan Amendment attached hereto and made a part hereof as Exhibit "C" has met the standards set forth in the Municipal Code; and

WHEREAS, the Village Board has received and considered said Findings of Fact and recommendation; and

NOW, THEREFORE, BE IT ORDAINED by the Village Board of the Village of Hoffman Estates, Cook County, Illinois, as follows:

Section 1: The Village Board hereby finds that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A Master Sign Plan Amendment is hereby granted to the Poplar Creek Crossing Shopping Center located at 4585-4613 W. Higgins Rd., subject to the following conditions:

- a. A building permit is required.
b. All window signs must be removed and reinstalled in accordance with the Zoning Code.

Section 3: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2026

Table with 5 columns: VOTE, AYE, NAY, ABSENT, ABSTAIN. Rows list Village Board members: Trustee Karen V. Mills, Trustee Anna Newell, Trustee Gary J. Pilafas, Trustee Gary G. Stanton, Trustee Karen Arnet, Trustee Patrick Kinnane, and President William D. McLeod.

APPROVED THIS _____ DAY OF _____, 2026

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2026.





4585 - 4613 W HIGGINS RD
PIN: 01-33-301-005-0000



Poplar Creek Prairie Stone Crossing
Shopping Center

4585 - 4613

Legend

-  Subject Property
-  Parcels





**PLAN COMMISSION
FINDINGS & RECOMMENDATION SUMMARY**

Meeting Date: 3/18/2026
Prepared By: Kevin Anderson
PLN2602-0005

**Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at
4585 - 4613 W. Higgins Road.**

Findings of Fact – Master Sign Plan

Sec. 9-3-8-13: The Village Board of Trustees is authorized to approve the Master Sign Plan if it is determined that implementation of the Master Sign Plan will:

- (a) Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area.
This request would not result in more signage than would be allowed if the space was occupied by multiple tenants. The signs proposed are in compliance with the size restrictions of the original MSP and would be within the approved MSP sign bands. The proposal will be consistent with the remainder of the development.
- (b) Provide signage consistent with the site plan and architecture of the project;
The signs proposed are in compliance with the size restrictions of the original MSP and would be within the approved MSP sign bands. The proposal will be consistent with the remainder of the development.
- (c) Avoid visual clutter;
The location of the sign will be within the originally approved sign bands.
- (d) Allow visitors, employees and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
The signs would direct customers to the appropriate retail entrance. Signs are consistent with the design requirements of the original MSP.
- (e) Result in a unified theme of signage for the project.
This request would not result in more signage than would be allowed if the space was occupied by multiple tenants. The signs proposed are in compliance with the size restrictions of the original MSP and would be within the approved MSP sign bands. The proposal will be consistent with the remainder of the development.

Recommendations

The Plan Commission held a public hearing on March 18, 2026, and adopted findings and **recommended approval** as summarized below and included in Exhibit B - Findings & Recommendations Summary:

1. Adopted the Findings of Fact for Master Sign Plan Amendment.

2. Recommended to the Village Board approval of a Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road, subject to the following conditions:
 - a. A building permit is required.
 - b. All window signs must be removed and reinstalled in accordance with the Zoning Code.

Roll call vote:

Aye: 8 (Alexander, Bauske, Chhatwani, Harner, Henderson, Milford, Trieb, Wise)

Nay: 0

Absent: 1 (Lee)

Motion Passed

MASTER SIGN PLAN

**POPLAR CREEK
CROSSING**

**STATE RT. 59 & STATE RT. 72
HOFFMAN ESTATES, ILLINOIS**

**A DEVELOPMENT OF:
ARCHON GROUP – RETAIL**

April 20, 2005
(Ord. No. 3723-2005)

Revised 4/06 – Ord. No. 3818-2006 (Tenant Outbuildings Signage)
Revised 6/06 – Ord. No. 3841-2006 (Tenant Outbuilding Supplemental Wall Signs)
Revised 7/06 – Ord. No. 3841-2006 (Placement of Wall Signs)
Revised 4/08 – Ord. No. 4012-2008 (Freestanding Sign “E” Joint PCC/PSC Sign)
Revised 3/26 – Ord. No. ----- (Site “N” Wall Signs § II.C.5)

MASTER SIGN PLAN

Poplar Creek Crossing Hoffman Estates, Illinois

I. INTRODUCTION

- A. General Provisions**
- B. Permit Requirements**
- C. Sign Locations and Other Design Details**
- D. Prohibited Signs**
- E. Maintenance/Sign Removal**

II. WALL SIGNS

- A. Target Site – Wall Signs**
- B. In-Line Sites – Wall Signs**
- C. Retail Sites and Future Development Sites – Wall Signs**

III. FREESTANDING GROUND SIGNS

- A. Free Standing “A” Major Entrance - Anchor**
 - B. Free Standing “B” Major Entrance - Retail Sites**
 - C. Free Standing “C” Minor Entrance – Anchor**
 - D. Free Standing “D” Future Development Sites or Freestanding/
Single-Tenant Buildings**
 - E. Free Standing “E” for Minor Entrance – Center**
-

IV. LEASING SIGNS

I. INTRODUCTION

A. GENERAL PROVISIONS

1. This Master Sign Plan has been prepared and approved pursuant to Section 9-8-3-B-11 of the Village of Hoffman Estates ("VHE") Zoning Code and applies to Lots 1 and 2 of the Poplar Creek Crossing Subdivision (the "Property").
2. This Master Sign Plan regulates (i) freestanding ground signs and wall signs that relate to the names of the owners and tenants occupying the buildings within the Property or to the uses within such buildings ("Tenant Signs"); and (ii) leasing signs for the Property ("Leasing Signs"). Specifically, this Master Sign Plan provides for (i) the number, location, type, and placement of Tenant Signs on the Property; (ii) the materials and methods of illumination for the Tenant Signs ; (iii) the height and sizes of certain Tenant Signs and the height and sizes of sign band areas for certain Tenant Signs; (iv) the colors and letter/graphic styles of the Tenant Signs and Leasing Signs; and (v) the applicable regulations governing Leasing Signs.
3. Tenant Signs include Tenant Signs placed on the walls of buildings on the Property ("Wall Signs") and Tenant Signs placed on the ground of the Property ("Freestanding Ground Signs"). Wall Signs include Wall Signs (i) placed on the front and side façades of the building located on the site identified as "Target" (the "Target Site") on page 5 of this Master Sign Plan; (ii) placed on the front facades of the buildings located at the sites depicted on page 9 of this Master Sign Plan as Majors B through H (the "In-Line Sites"); and (iii) placed on any façade of the buildings located at the sites depicted on page 18 of this Master Sign Plan as Retails I through N2, Future Development # 1 and #2, and Claim Jumper (collectively, "Tenant Wall Signs"). Wall Signs also include signs that (i) provide service, direction, or courtesy information intended to serve the public; (ii) are located on the rear façades of buildings on the Target and In-Line Sites; (iii) are designed to be visible only from the service areas behind such buildings and generally not visible from Old Sutton Road; (iv) include a Sign Surface Area of not greater than 25 square feet; and (v) may include the name and logo of the tenants or occupants of the buildings located on the Target and In-Line Site ("Rear Information Signs").
4. The specific regulations applicable to Wall Signs are set forth in Sections II.A through II.C of this Master Sign Plan. The specific regulations applicable to Freestanding Ground Signs are set forth in Sections III.A through III.F of this Master Sign Plan. The specific regulations applicable to Leasing Signs are set forth in Section IV of this Master Sign Plan.

5. The owners and tenants of the Property shall have the right to install, maintain, and replace the Tenant Signs on the Property in accordance with this Master Sign Plan. The owners of the Property shall have the right to install, maintain, and replace the Leasing Signs on the Property in accordance with this Master Sign Plan.
6. Any sign that is not a Tenant Sign or a Leasing Sign ("Other Signs") shall be permitted on the Property only if it complies with the general sign standards applicable to the B-2 zoning district under Section 9-3-8 of the VHE Zoning Code and the specific Business District sign standards applicable to the B-2 zoning district under such Section 9-3-8, all subject to the September 27, 2004, annexation agreement applicable to the Property (the "Annexation Agreement"). Other Signs shall include, without limitation, directions or instructional signs as provided in the Village Code.
7. By approving this Master Sign Plan, the VHE Board of Trustees hereby finds that implementation of this Master Sign Plan will: (i) result in architecture and graphics of a scale appropriate for the proposed Poplar Creek Crossing development and the surrounding area; (ii) provide signage consistent with the site plan and architecture that has been approved for the Property; (iii) avoid visual clutter; (iv) allow consumers to readily identify establishments offering goods and services to meet their needs, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and (v) result in a unified theme of signage for the Property.

B. PERMIT REQUIREMENTS

1. No Tenant Sign, Leasing Sign, or Other Sign shall be installed on the Property unless a permit for such sign has been issued by the Village, pursuant to the procedure provided for in the VHE Zoning Code, subject to the Annexation Agreement.
2. All applications for permits for signs must first be approved by the owner of that portion of the Property upon which the sign will be placed.

C. SIGN LOCATIONS AND OTHER DESIGN DETAILS

1. The term "Sign Surface Area" as used in this Master Sign Plan shall have the same meaning as "Sign, Surface Area of" as defined in the VHE Zoning Code; provided, however, that the Sign Surface Area for Freestanding Ground Signs shall include only the words, text, letters, copy and logos of the Freestanding Ground Signs as depicted on the sample plans at pages 32 through 36 of this Master Sign Plan. The words, symbols, copy, and logos of Tenant Signs shall be located within the Maximum Sign Surface Areas that have been designated for such Tenant Signs by this Master Sign Plan.
2. Multiple words, symbols, copy, and logos shall be permitted within the designated Sign Surface Areas for Tenant Signs, provided that such words, symbols, copy, and logos are related to the names of the owners or tenants occupying the buildings within the Property or to the uses within such buildings
3. Each Wall Sign must relate to (i) the tenant that leases and occupies the portion of the building that includes such portion of the wall upon which the Wall Sign is located; (ii) the owner that owns and occupies the portion of the building that includes such portion of the wall upon which the Wall Sign is located; or (iii) the use or uses within the portion of

the building that includes such portion of the wall upon which the Wall Sign is located.

4. The colors and letter/graphic styles of the Tenant Signs to be located on Tenant Signs and Leasing Signs shall be determined by the owners and tenants of the buildings on the Property, provided that the Tenant Signs otherwise comply with this Master Sign Plan.
5. Additional regulations concerning the location and design details of Tenant Signs are included in Sections II and III of this Master Sign Plan. The regulations concerning the location and design details for Leasing Signs are included in Section IV of this Master Sign Plan.

D. PROHIBITED SIGNS

The following signs are prohibited on the Property, except to the extent they are permitted by this Master Sign Plan:

1. signs prohibited by Section 9-3-8-C of the VHE Zoning Code;
2. any Tenant Sign on a wall of a building that includes letters that are not individually mounted but instead are depicted on a single removable or replaceable panel made of Plexiglas or other similar material (a "Box Sign"); and
3. any Tenant Sign upon which the name of the company that designed, built, or installed the Tenant Sign is visible on the external surface of the Tenant Sign.

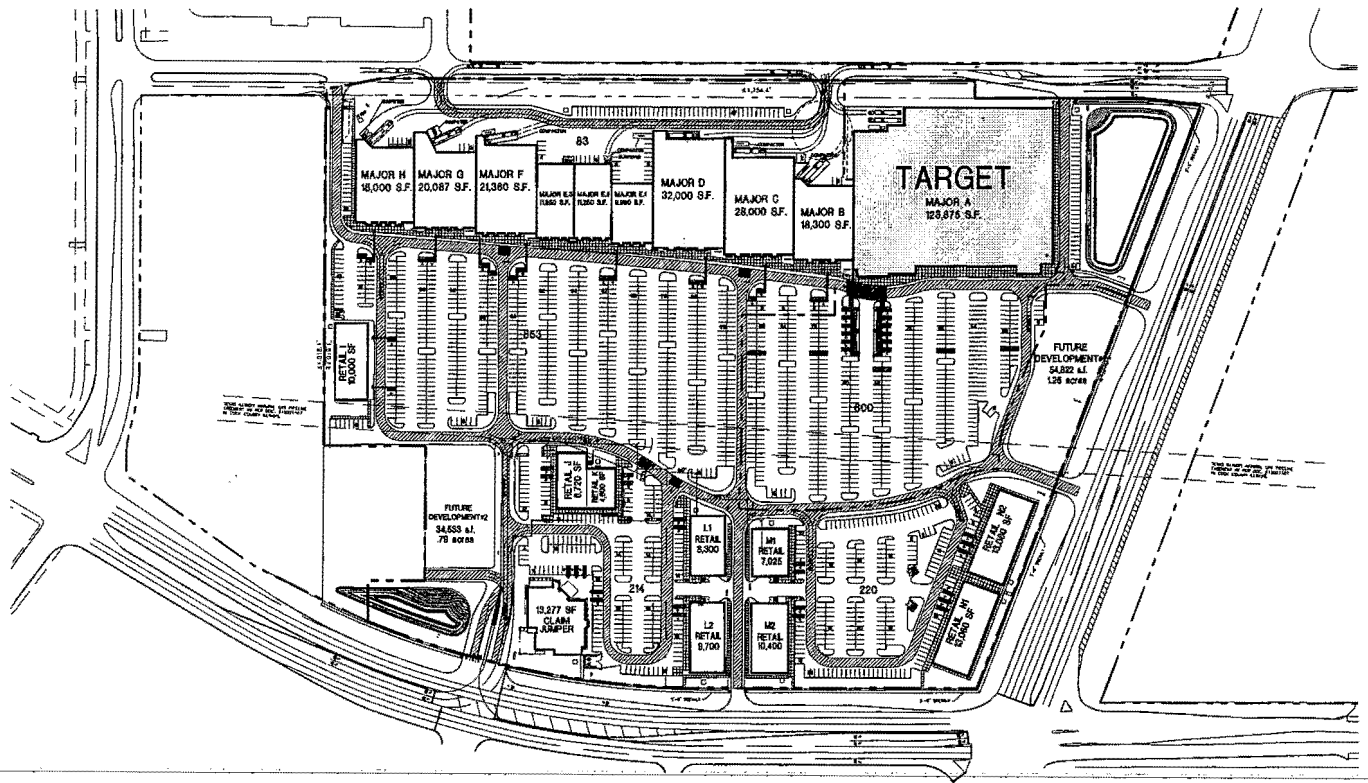
E. MAINTENANCE/SIGN REMOVAL

If a tenant or owner of a building vacates space within the building, (i) the vacating tenant and the owner of the building shall be jointly responsible for removing the Wall Signs attached to that portion of the building leased to the tenant or occupied by the owner, including all electrical services, wires, and conduits; and (ii) the vacating tenant or vacating owner, and the owner of any Freestanding Ground Sign upon which the sign text and logos for the vacated space are located, shall be jointly responsible for removing such sign text and logos from such Freestanding Ground Sign. Each penetration of a wall caused by the installation or removal of a removed Wall Sign shall be sealed to a water-tight condition and shall be restored so that it matches attached to that portion of the building leased to the tenant the finish and surface of the wall.

II. WALL SIGNS

A. Target Site – Wall Signs

1. **Description:** For occupant(s) and tenants of the building or buildings located on the site designated as “Target” on page 5 of this Master Sign Plan that occupy more than 60,000 SF.
2. **Type:** Tenant Wall Signs shall be individually mounted, internally lighted aluminum channel letters or logos with Plexiglas fronts directly mounted to the building wall surface.
3. **Number:** Each occupant or tenant shall be allowed a maximum of 2 Tenant Wall Signs per each facade facing north or east. Each occupant or tenant on the Target Site shall be allowed a maximum of 1 Rear Information Sign.
4. **Sign Surface Area:** One Tenant Wall Sign on each façade shall have a maximum Sign Surface Area of 200 square feet. One Tenant Wall Sign on each façade shall have a maximum Sign Surface Area of 250 square feet
5. **Sample plans for the Tenant Wall Signs for the Target Site are depicted on pages 6 and 7 of this Master Sign Plan.**



01 MASTER SIGN PLAN

SCALE: N.T.S.



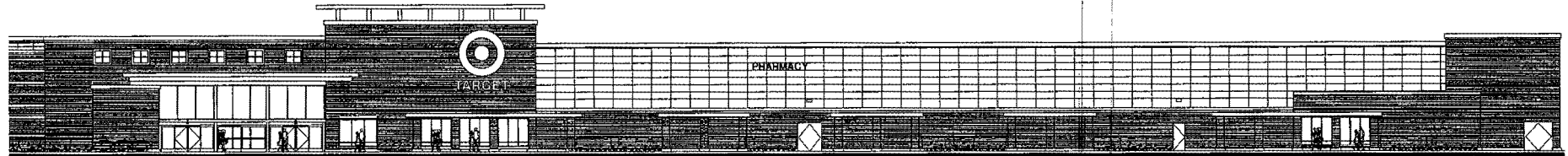
NORTH

TARGET SITE

POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

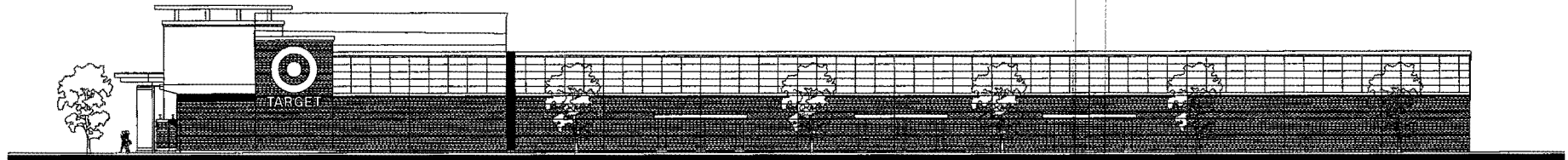
A DEVELOPMENT OF:
 ARCHON RETAIL

5 of 37



01 EAST ELEVATION - TARGET - FRONT

SCALE: N.T.S.

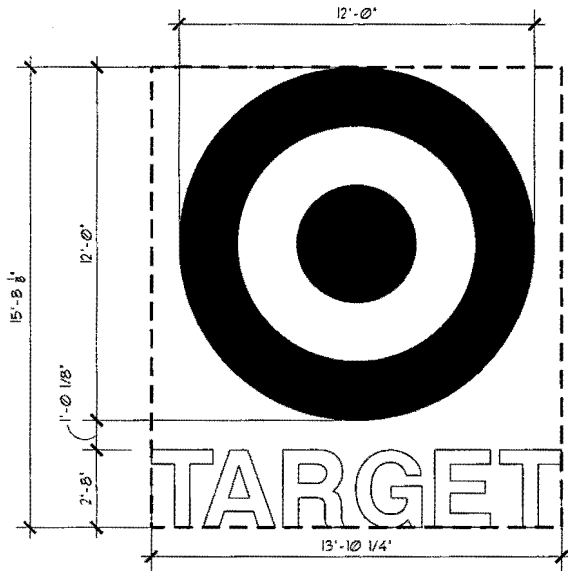


02 NORTH ELEVATION - TARGET - SIDE

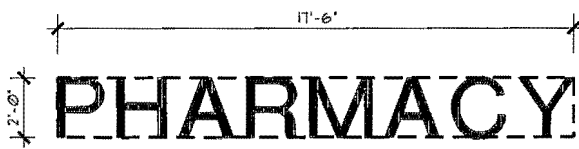
SCALE: N.T.S.

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



SIGN AREA - 217 S.F.



SIGN AREA - 35 S.F.

TARGET PROPOSED
 01 BUILDING WALL SIGN

SCALE: N.T.S.

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL

7 of 37

II. WALL SIGNS

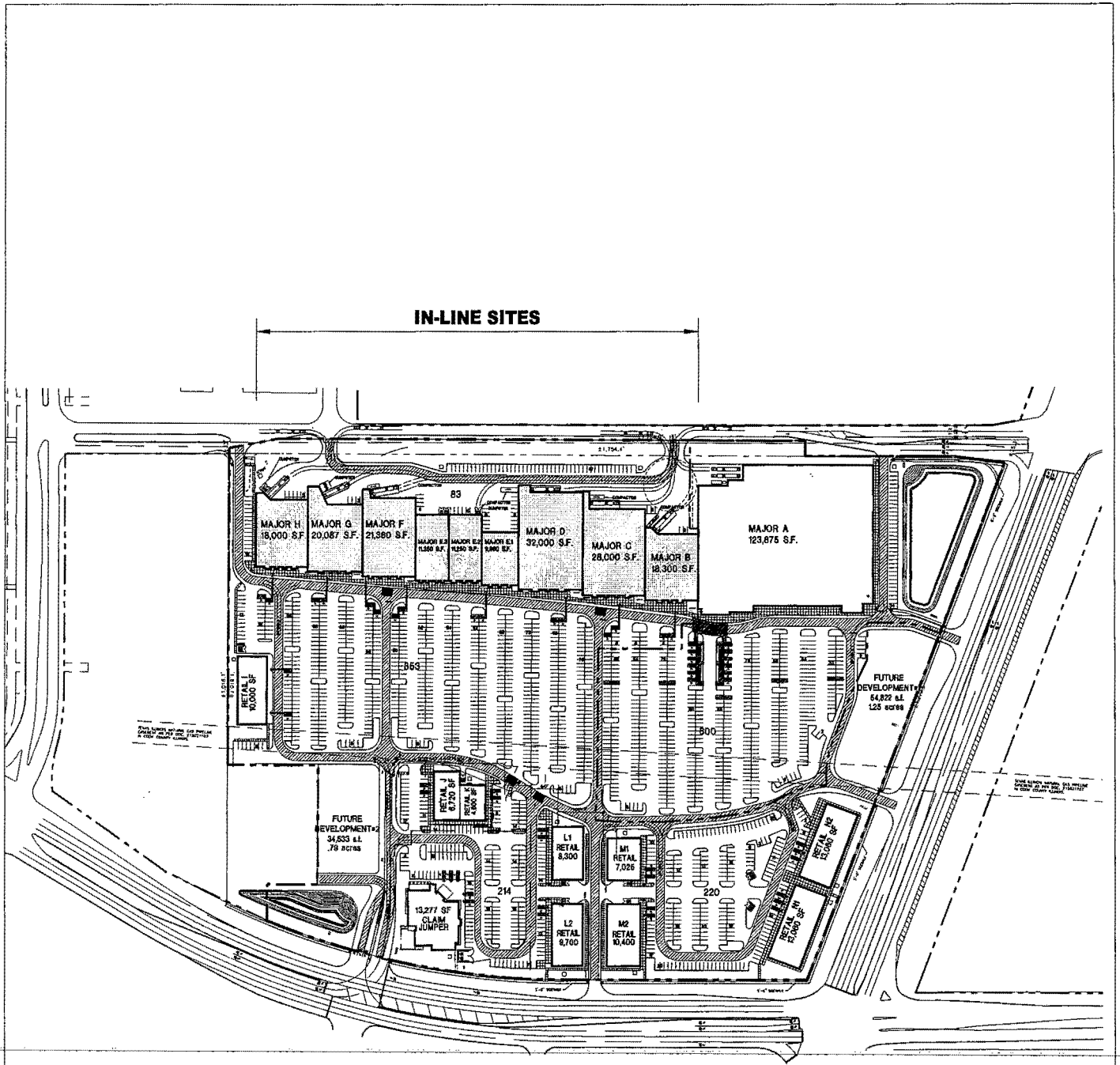
B. In-Line Sites – Wall Signs

1. Description: For tenants of buildings on In-Line Sites.
2. Type: Tenant Wall Signs shall be individually mounted, internally lighted aluminum channel letters or logos with Plexiglas fronts mounted direct to building wall surface. (See design details on page 10 of this Master Sign Plan.)

- 3 Size:

	Tenants < 15,000 sf	Tenants > 15,000 sf
Maximum Sign Surface Area Per Sign	200 sf	300 sf
Maximum Letter Height	4' 0"	7' 0"
Maximum Letter Depth	12"	16"
Minimum Distance Between Sign and Demising Wall	1 foot from demising wall of space leased by tenant	2 feet from demising wall of space leased by tenant

4. Location:
 - a. Tenant Wall Signs shall be located within the maximum Sign Surface Areas as shown on the sample elevation plans at pages 11-16 of this Master Site Plan.
 - b. Each Tenant Wall Sign shall be centered horizontally (i) within the front facade of the portion of the building leased by the tenant; or (ii) over an architectural entry feature of such front facade.
5. Maximum Number:
 - a. Each Tenant shall be allowed a maximum of one Tenant Wall Sign.
 - b. Each Tenant shall be allowed a maximum of one Rear Information Sign.



01 MASTER SIGN PLAN



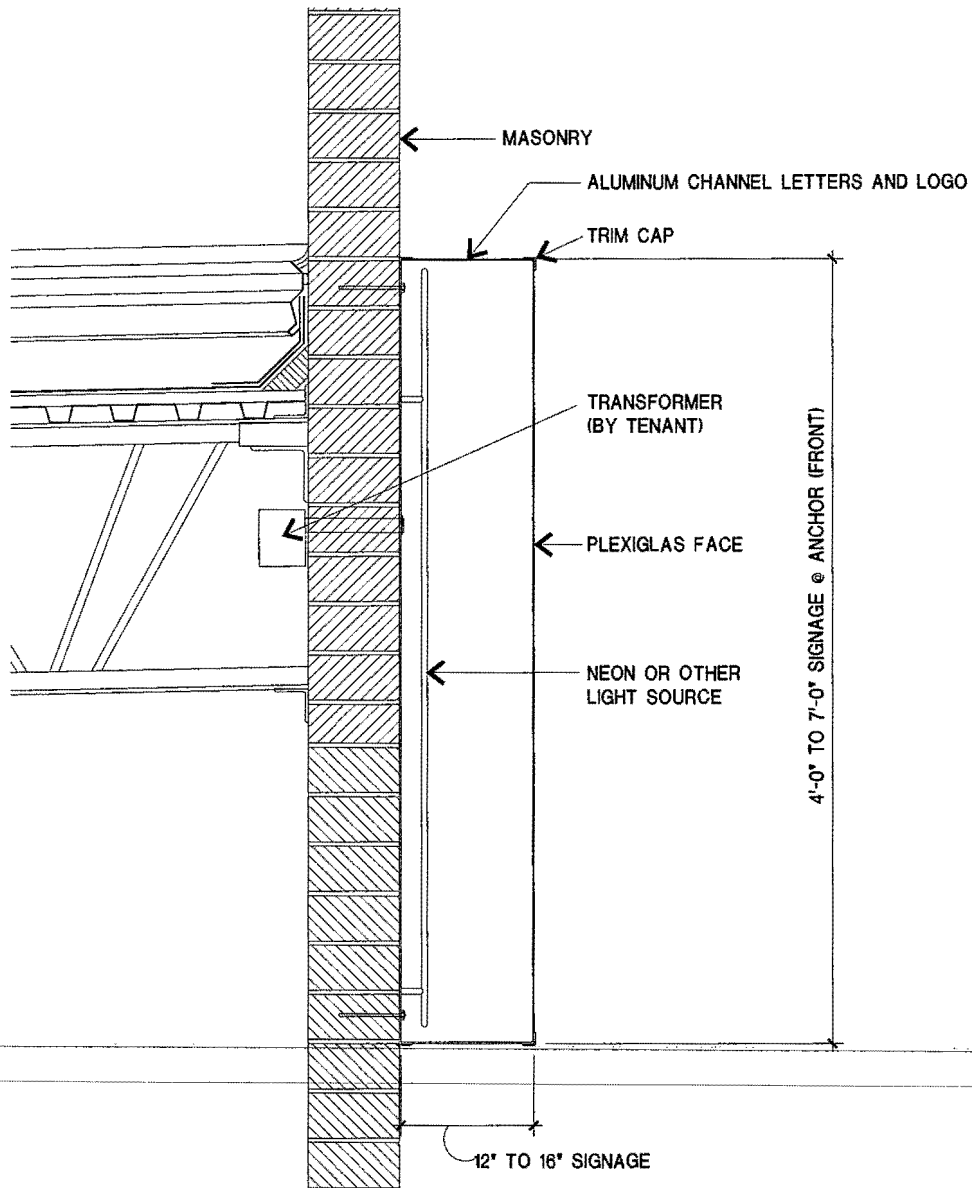
NORTH

SCALE: N.T.S.

IN-LINE SITES

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



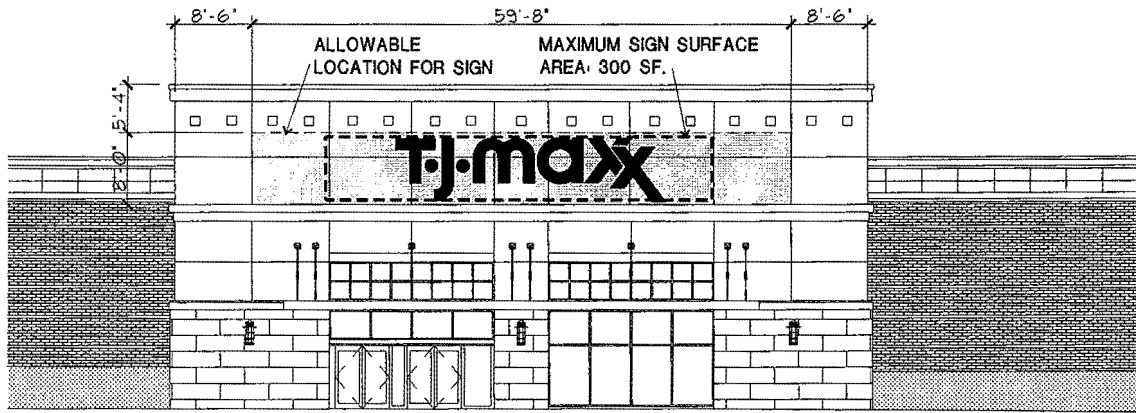
01 SIGN DETAIL AT MAJOR ANCHORS

SCALE: N.T.S.

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

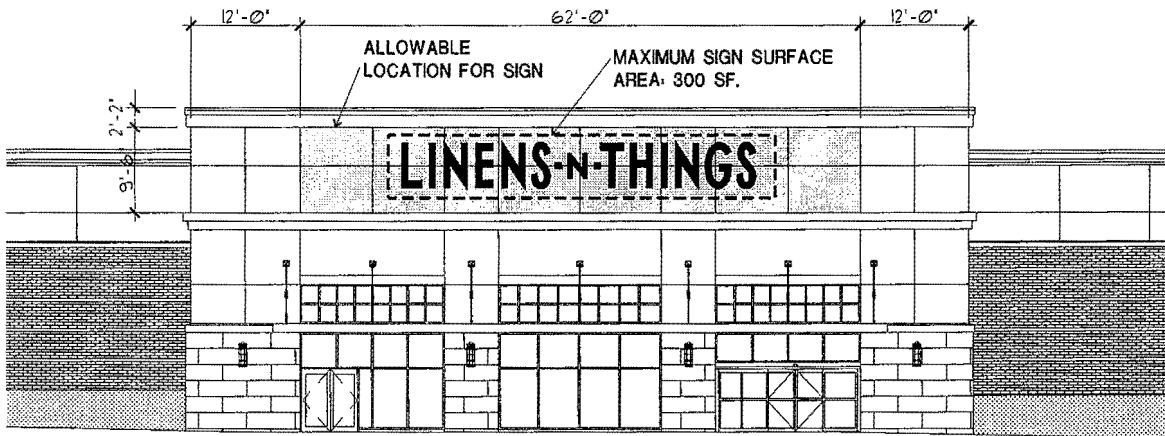
A DEVELOPMENT OF:
ARCHON RETAIL

10 of 37



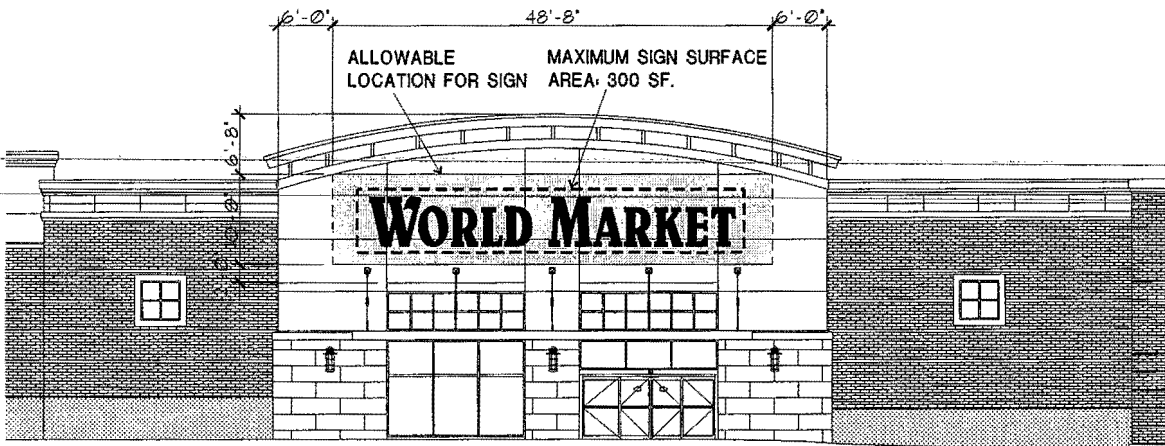
03 EAST ELEVATION - IN-LINE SITE D

SCALE: 1" = 20'-0"



02 EAST ELEVATION - IN-LINE SITE C

SCALE: 1" = 20'-0"



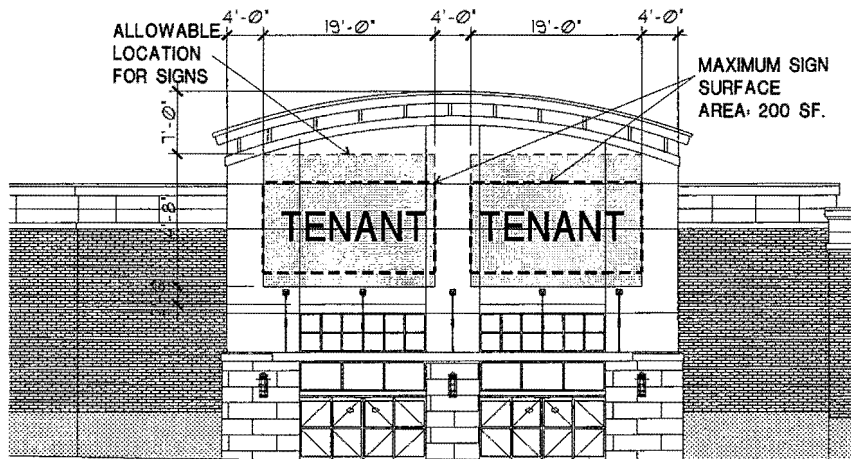
01 EAST ELEVATION - IN-LINE SITE B

SCALE: 1" = 20'-0"

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

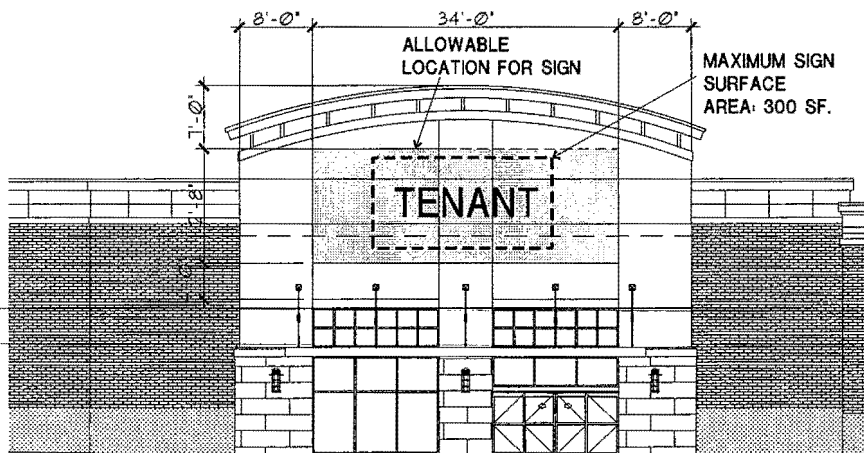
A DEVELOPMENT OF:
ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE E1

SCALE: 1" = 20'-0"

2 TENANTS



01 EAST ELEVATION - IN-LINE SITE E1

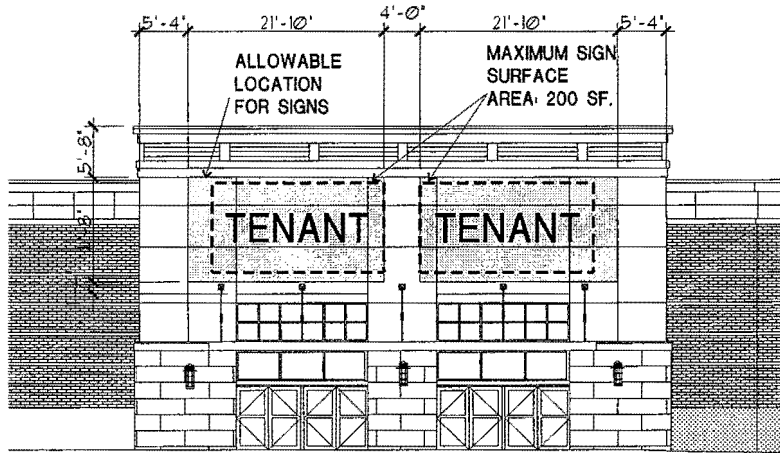
SCALE: 1" = 20'-0"

1 TENANT

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

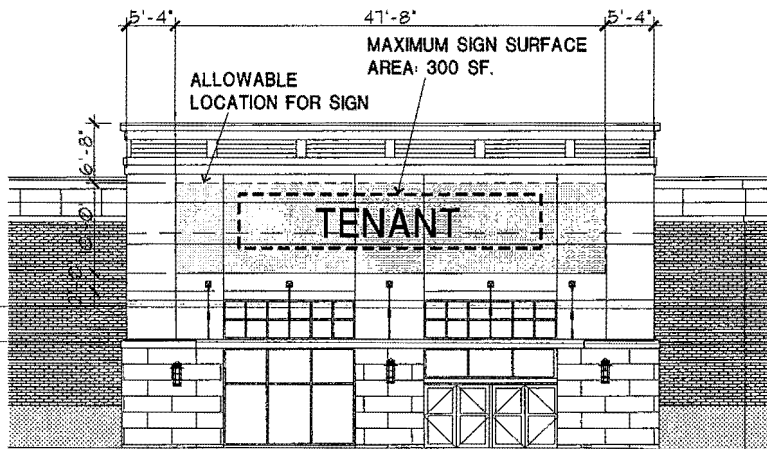
A DEVELOPMENT OF:
ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE E2

SCALE: 1" = 20'-0"

2 TENANTS



01 EAST ELEVATION - IN-LINE SITE E2

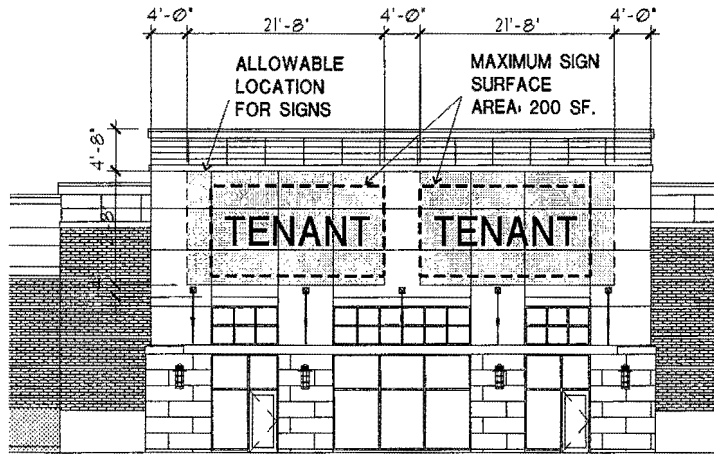
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1 TENANT

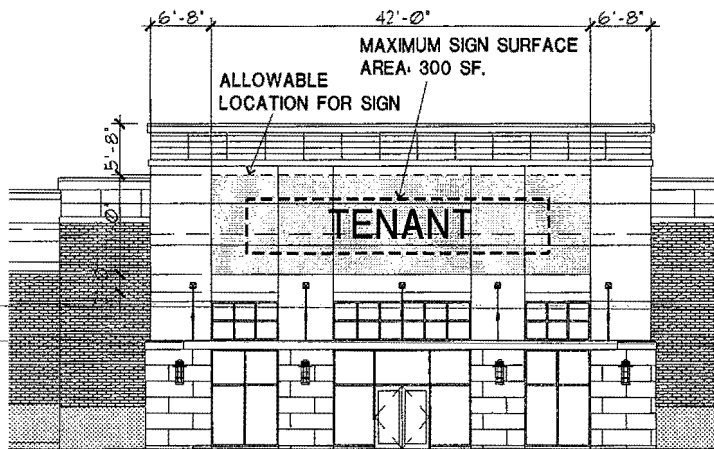
TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE E3
 SCALE: 1" = 20'-0"
 2 TENANTS

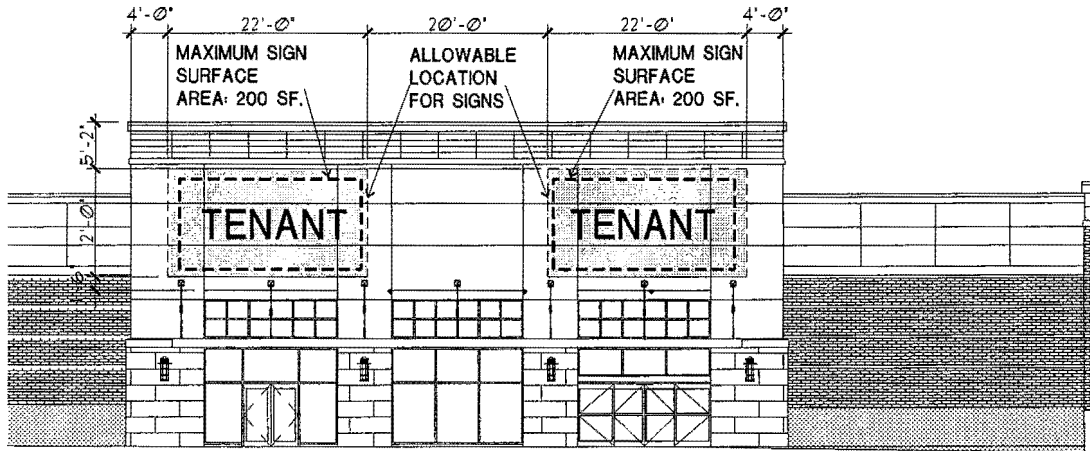


01 EAST ELEVATION - IN-LINE SITE E3
 SCALE: 1" = 20'-0"
 1 TENANT

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

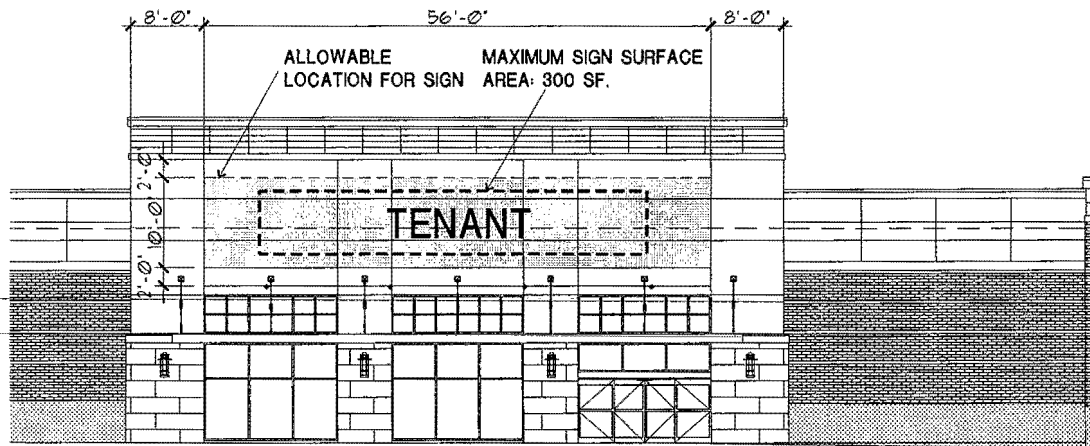
A DEVELOPMENT OF:
 ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE F

SCALE: 1" = 20'-0"

2 TENANTS



01 EAST ELEVATION - IN-LINE SITE F

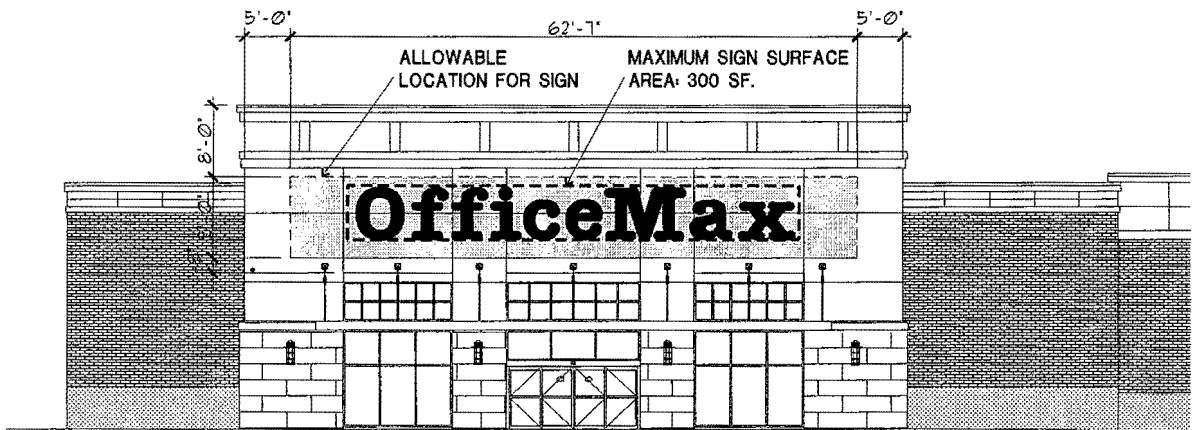
SCALE: 1" = 20'-0"

1 TENANT

TEXT FOR ILLUSTRATION ONLY

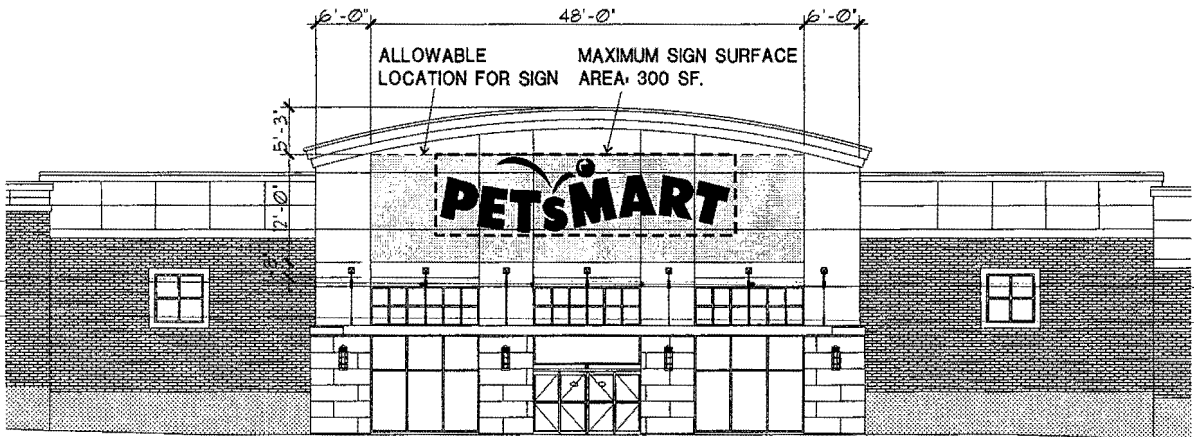
POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
 ARCHON RETAIL



02 EAST ELEVATION - IN-LINE SITE H

SCALE: 1" = 20'-0"



01 EAST ELEVATION - IN-LINE SITE G

SCALE: 1" = 20'-0"

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
 ARCHON RETAIL

II. WALL SIGNS

C. Retail Sites and Future Development Sites – Wall Signs

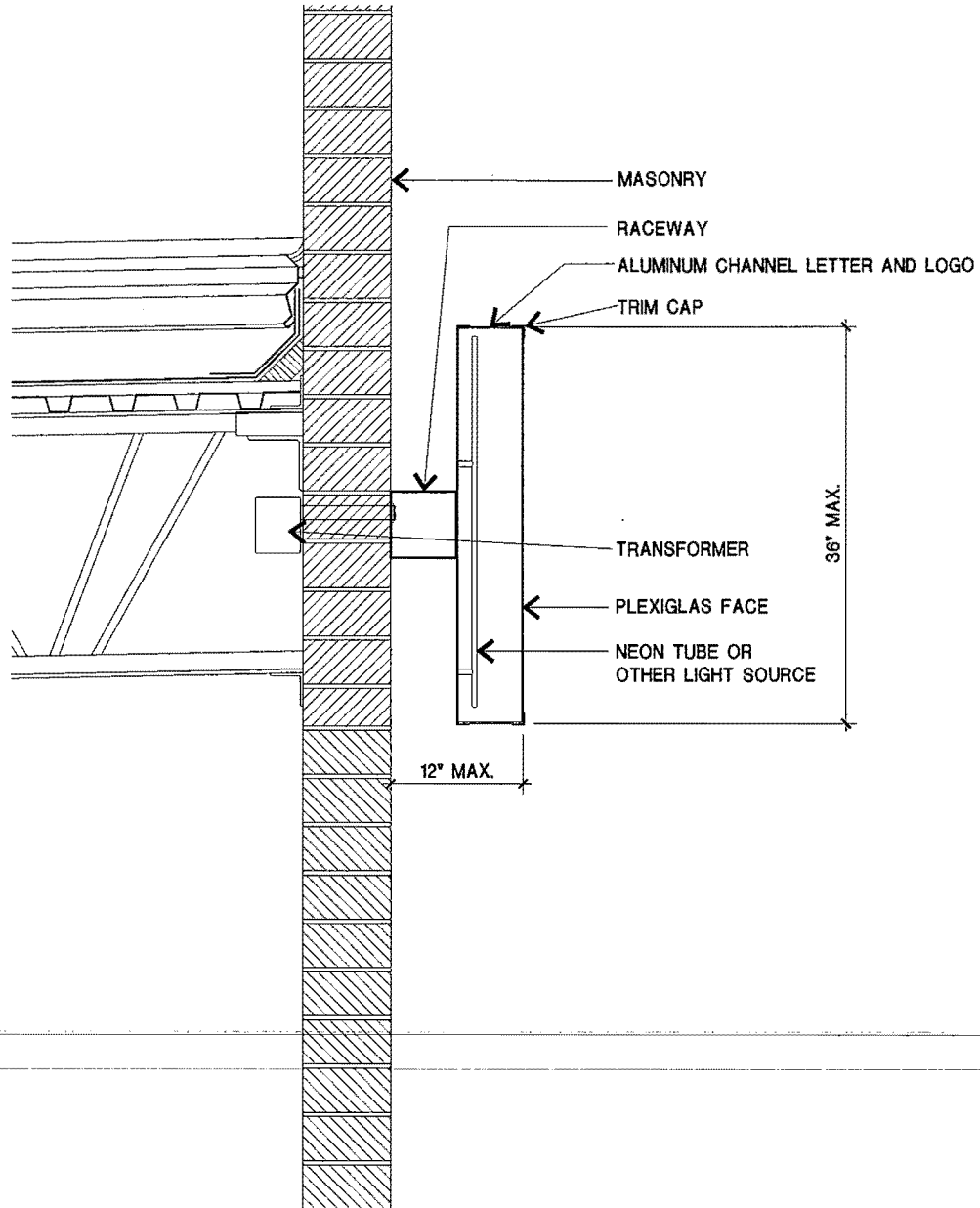
1. Description: For tenants of buildings on retail sites, future development sites, and the Claim Jumper site.
2. Type: Tenant Wall Signs shall be individually mounted, internally illuminated channel letters or logos with Plexiglas front over raceway mounted to the wall. (See design details on page 19 of this Master Site Plan.)

In the event a building on a retail site, future development site or the Claim Jumper site is occupied by one single tenant the tenant will have the option of (a) individually mounted, internally illuminated channel letters or logos with Plexiglas front over raceway mounted to the wall, or (b) individually mounted, internally lighted aluminum channel letters or logos with Plexiglas fronts mounted direct to building wall surface.

3. Size:

Sign Dimensions Per Sign	All Tenants
Maximum Sign Surface Area Per Sign	3 square feet x width (in feet) of portion of storefront leased by tenant; provided, however, that the Maximum Sign Surface Area Per Sign shall not exceed 200 square feet.
Maximum Letter Height	3'0"
Maximum Letter Depth	12"

4. Location:
 - a. The Sign Surface Areas for Tenant Wall Signs on the buildings on the Retail Sites and the Future Development Sites shall be within the sign bands identified for such buildings on the sample elevation plans depicted at pages 20-27 of this Master Sign Plan. The size of a Tenant Wall Sign shall not exceed the designated maximum Sign Surface Area of such Wall Sign, even though the sign band within which such Tenant Wall Sign will be placed is larger than the designated maximum Sign Surface Area.
 - b. Each Tenant Wall Sign shall be centered horizontally (i) within the front façade of the portion of the building leased by the tenant; or (ii) over an architectural entry feature of such front façade.
5. Maximum Number: Each tenant shall install a maximum of (i) 1 Tenant Wall Sign on the front facade of the portion of the building leased by the tenant (the "Leased Space"); (ii) 1 Tenant Wall Sign on the rear facade of the Leased Space; provided, however, that a tenant of a building on the Retail Site identified as "Building I" may, but shall not be obligated to install a Tenant Wall Sign on the rear facade of its Leased Space. In addition, each tenant shall be allowed to install 1 Tenant Wall Sign on each side facade of the Leased Space, but only if the side facade is an exterior wall; **and (iii) A tenant of a building on Retail Site "N", which contains a leased space of 70 linear feet of frontage or greater, shall be permitted to have 1 additional wall sign on the front facade and 1 additional wall sign on the rear facade of the Leased Space."**



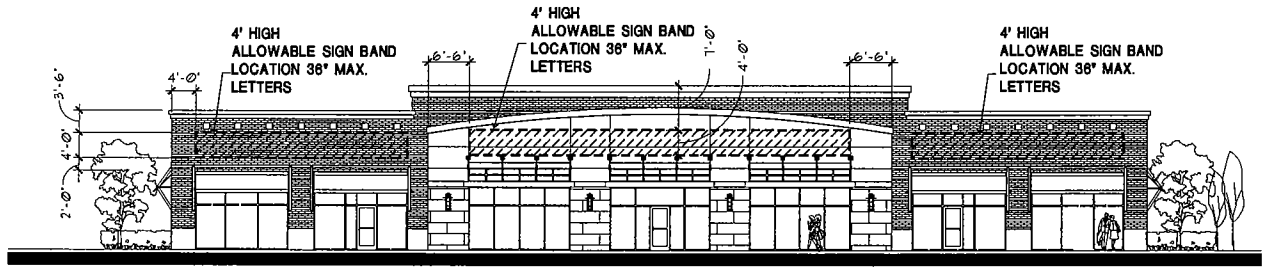
01 SIGN DETAIL AT RETAIL SHOPS & FUTURE DEVELOPMENT SITE TENANTS

SCALE: N.T.S.

POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

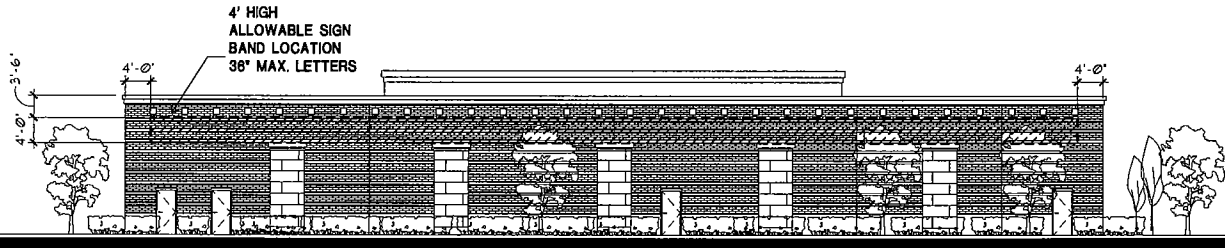
A DEVELOPMENT OF:
 ARCHON RETAIL

19 of 37



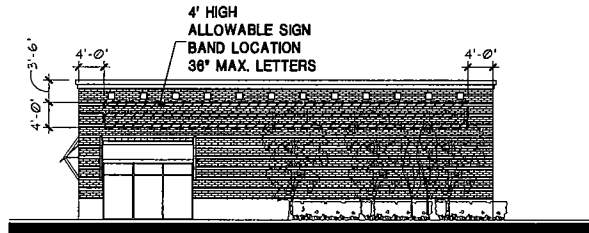
01 NORTH ELEVATION - I

SCALE: N.T.S.



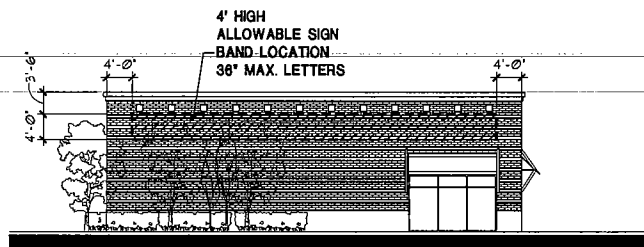
02 SOUTH ELEVATION - I

SCALE: N.T.S.



03 WEST ELEVATION - I

SCALE: N.T.S.



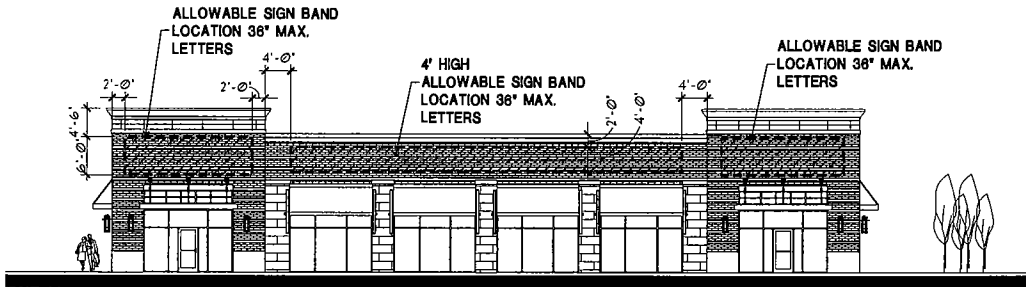
04 EAST ELEVATION - I

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

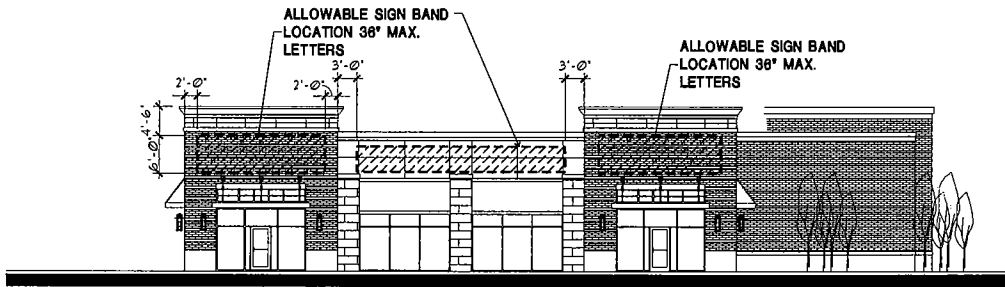
**POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS**

A DEVELOPMENT OF:
ARCHON RETAIL



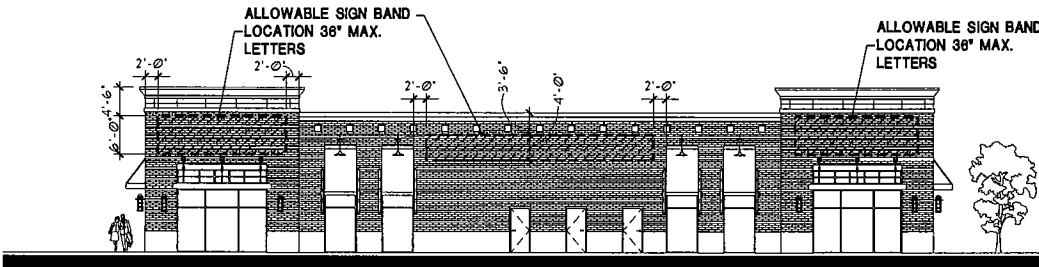
01 SOUTH ELEVATION - J & K

SCALE: N.T.S.



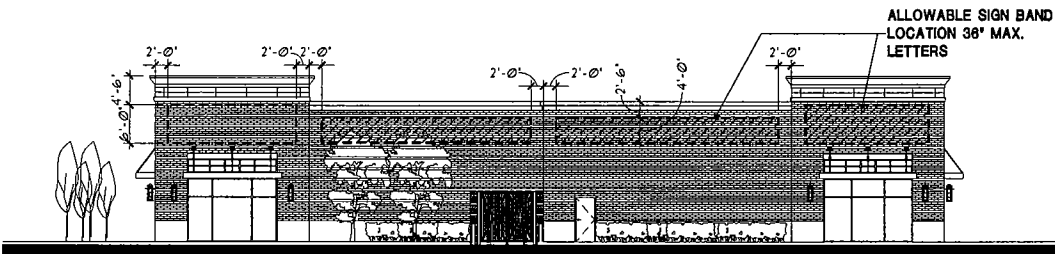
02 NORTH ELEVATION - J & K

SCALE: N.T.S.



03 EAST ELEVATION - J & K

SCALE: N.T.S.



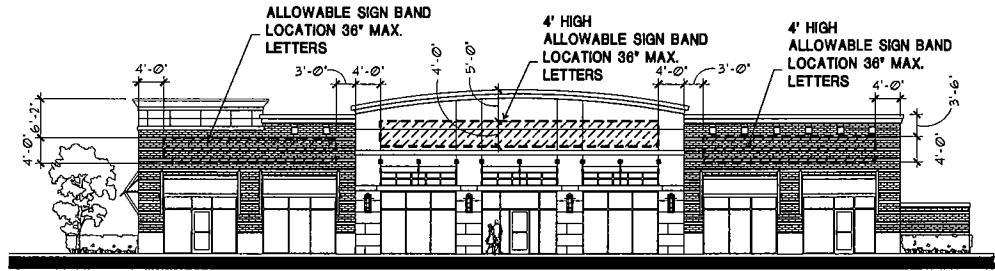
04 EAST ELEVATION - J & K

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

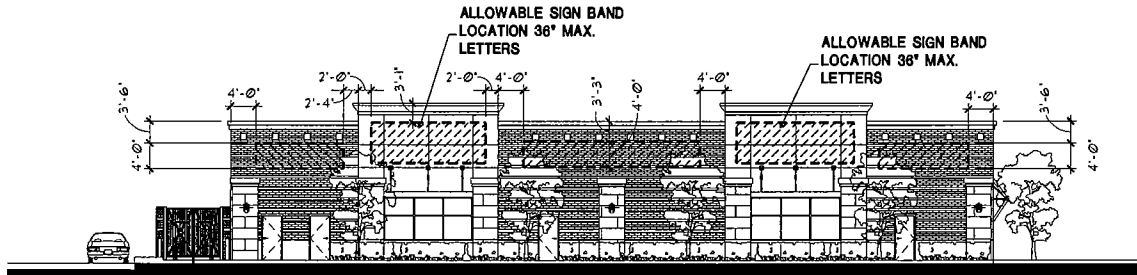
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



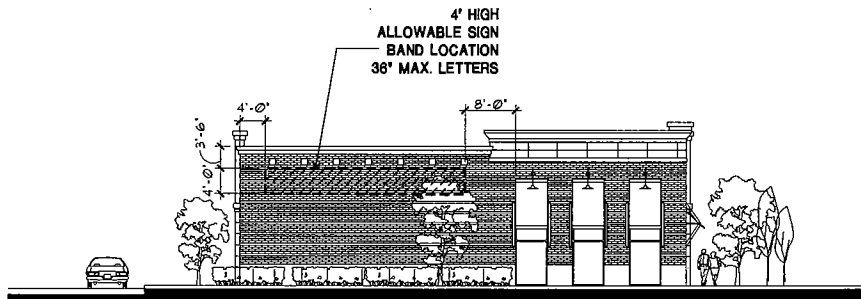
01 SOUTH ELEVATION L-1

SCALE: N.T.S.



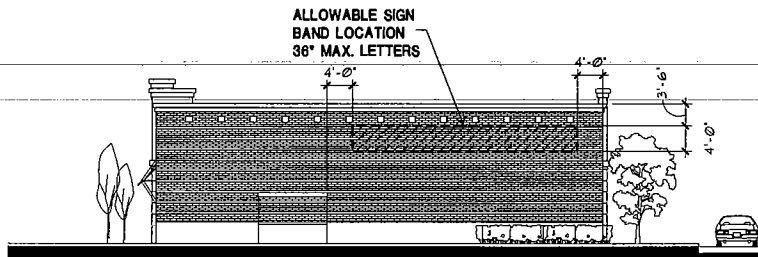
02 NORTH ELEVATION L-1

SCALE: N.T.S.



03 WEST ELEVATION L-1

SCALE: N.T.S.



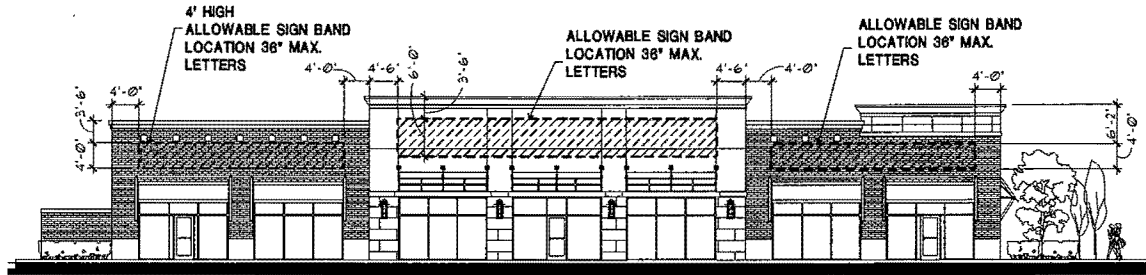
04 EAST ELEVATION L-1

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

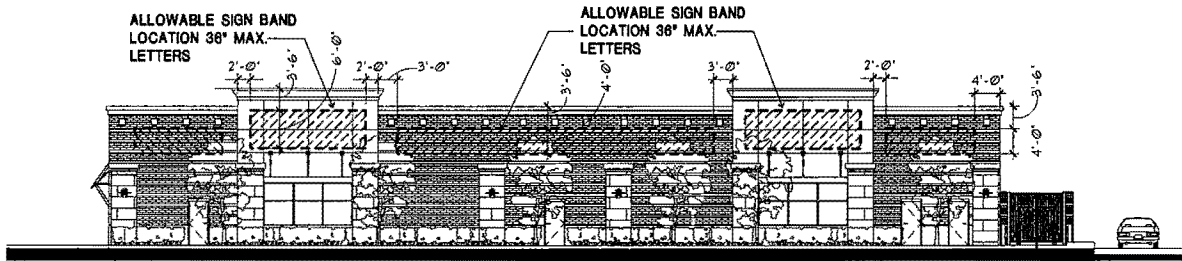
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



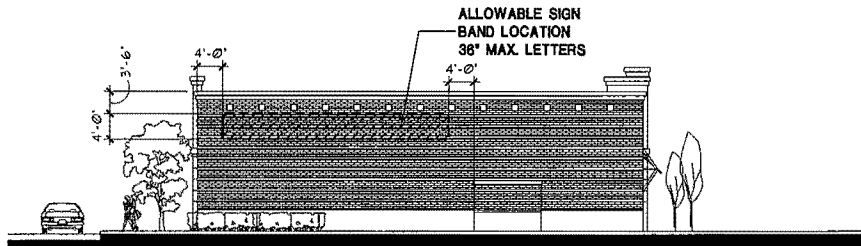
01 SOUTH ELEVATION L-2

SCALE: N.T.S.



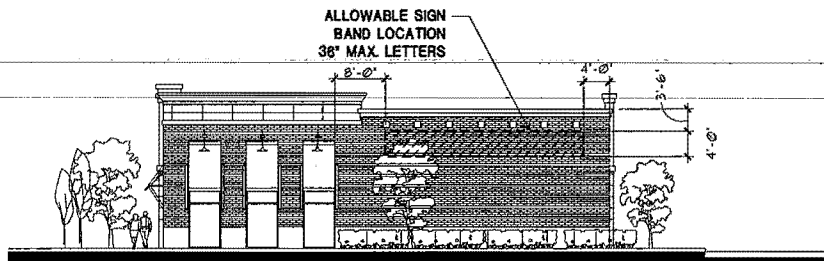
02 NORTH ELEVATION L-2

SCALE: N.T.S.



03 WEST ELEVATION L-2

SCALE: N.T.S.



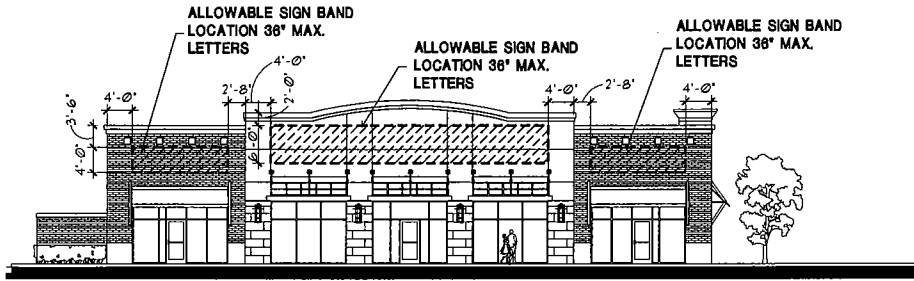
04 EAST ELEVATION L-2

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

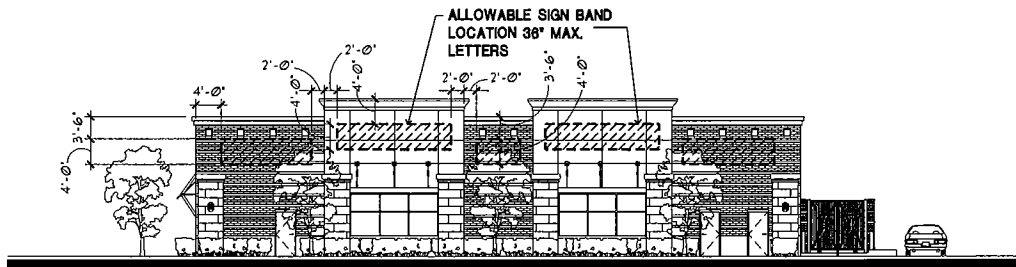
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



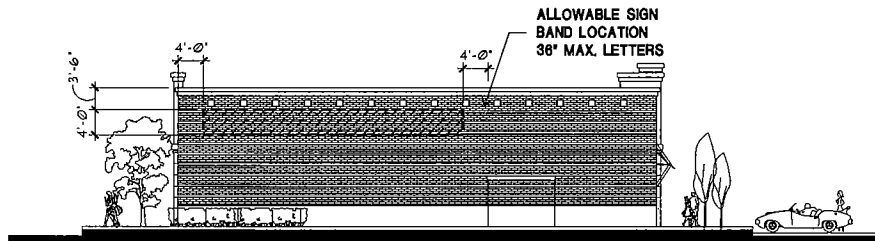
01 NORTH ELEVATION M-1

SCALE: N.T.S.



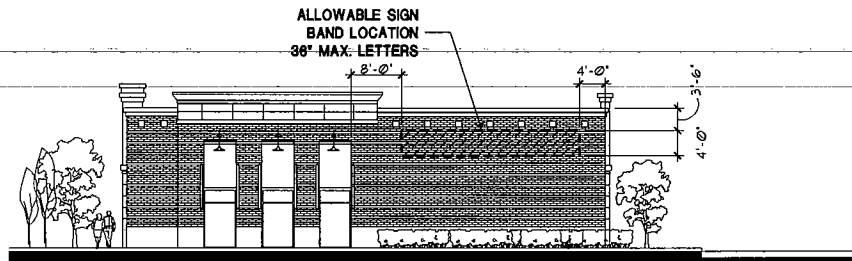
02 SOUTH ELEVATION M-1

SCALE: N.T.S.



03 EAST ELEVATION M-1

SCALE: N.T.S.



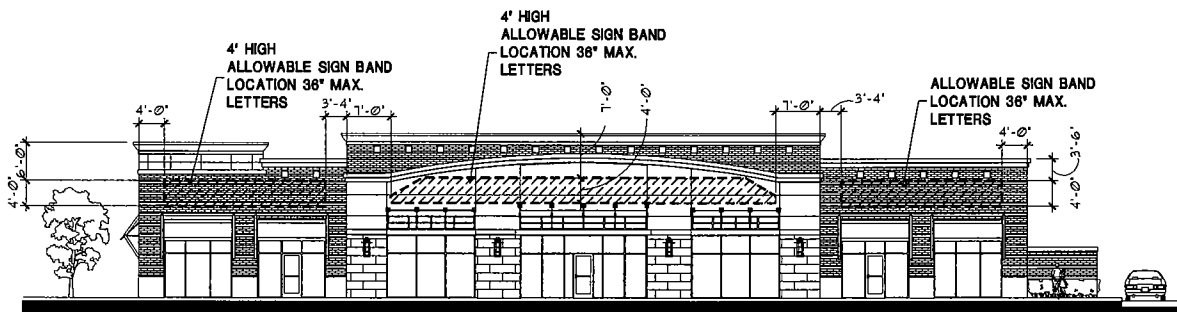
04 WEST ELEVATION M-1

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

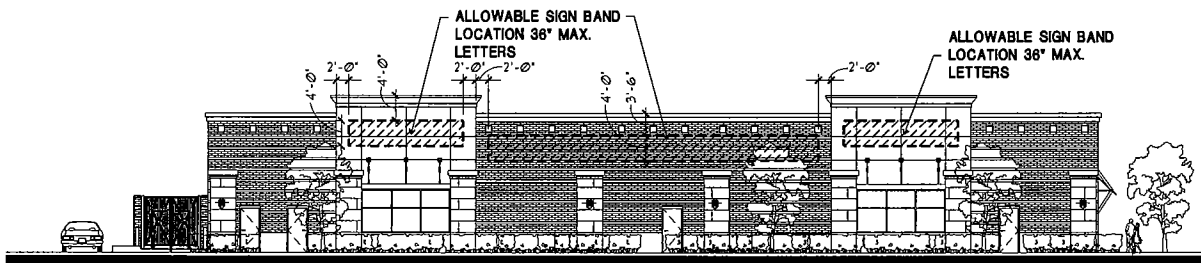
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



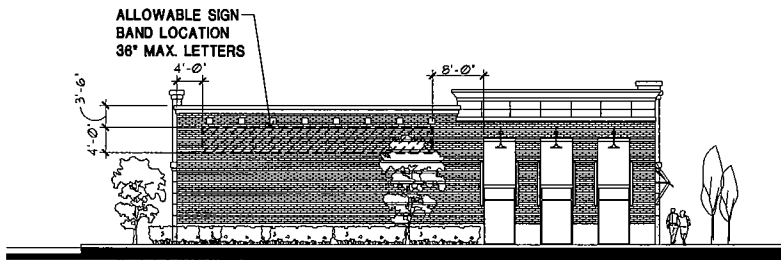
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SCALE: N.T.S.



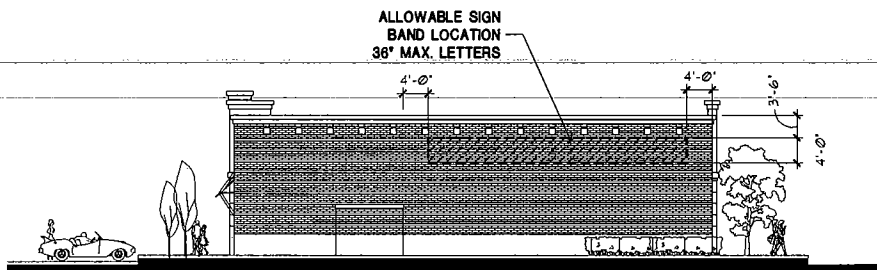
02 SOUTH ELEVATION M-2

SCALE: N.T.S.



03 EAST ELEVATION M-2

SCALE: N.T.S.



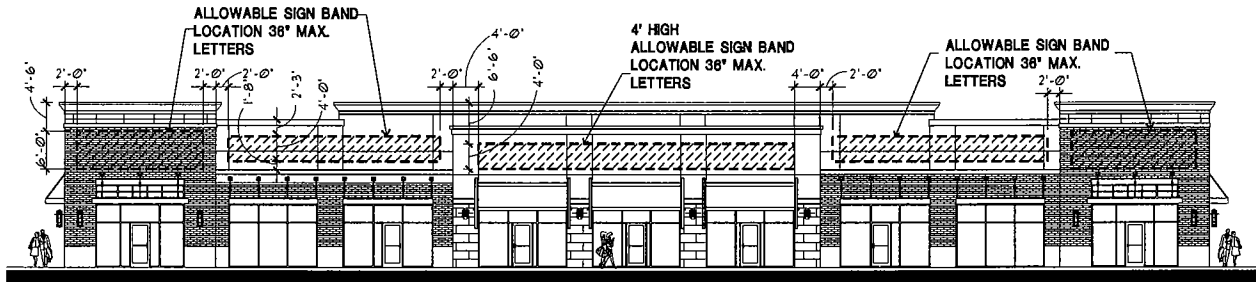
04 WEST ELEVATION M-2

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

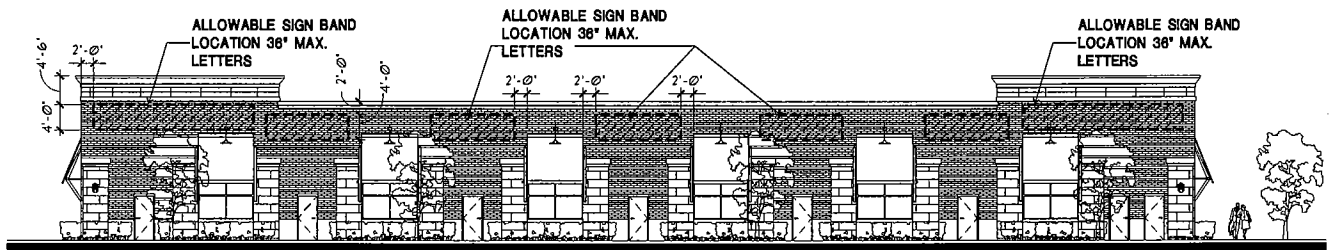
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL



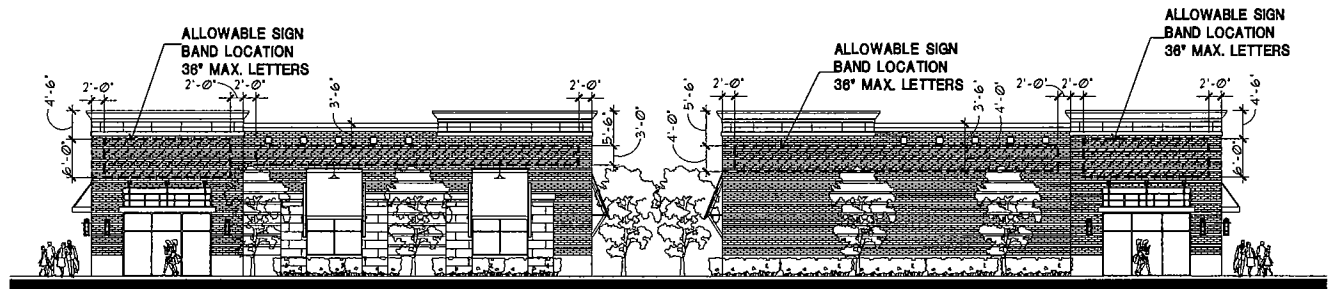
01 SOUTH ELEVATION N-1

SCALE: N.T.S.



02 NORTH ELEVATION N-1

SCALE: N.T.S.



03 EAST ELEVATION N-1

SCALE: N.T.S.

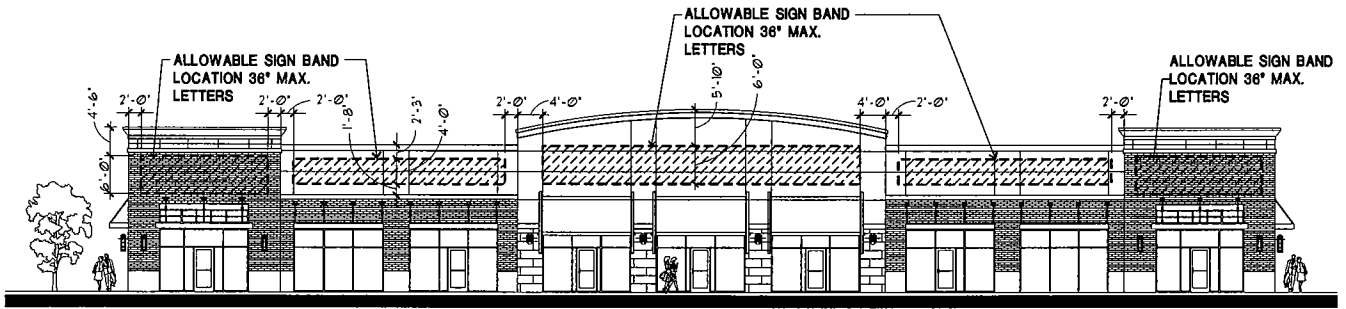
04 WEST ELEVATION N-1

SCALE: N.T.S.

TEXT FOR ILLUSTRATION ONLY

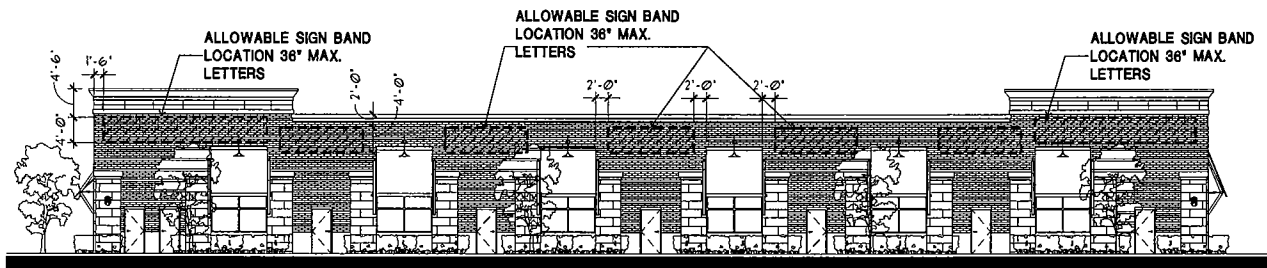
POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
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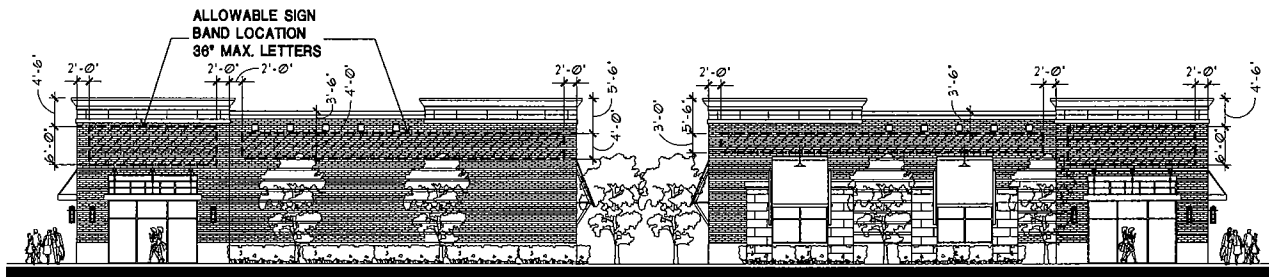
01 SOUTH ELEVATION N-2

SCALE: NT.5.



02 NORTH ELEVATION N-2

SCALE: NT.5.



03 EAST ELEVATION N-2

SCALE: NT.5.

04 WEST ELEVATION N-2

SCALE: NT.5.

TEXT FOR ILLUSTRATION ONLY

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL

III. FREESTANDING GROUND SIGNS

A. Freestanding Ground “A” Major Entrance – Anchor

1. Description: Freestanding Ground signs on state highway frontage.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure.
3. Size:
 - a. Maximum height 30’-0”
 - b. Maximum width 15’-0”
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 32 of this Master Site Plan.
 - d. Maximum depth 8’0”
4. Number: No more than two (2)

B. Freestanding Ground “B” Major Entrance – Retail Sites

1. Description: Freestanding Ground signs for Retail Sites on state highway frontage.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure.
3. Size:
 - a. Maximum height 25’-0”
 - b. Maximum width 16’-0”
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 33 of this Master Site Plan
 - d. Maximum Depth 6’0”
4. Number: No more than two (2)

C. Freestanding Ground “C” Minor Entrance – Anchor

1. Description: Freestanding Ground sign on Old Sutton Road.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure
3. Size:
 - a. Maximum height 10’-0”
 - b. Maximum width 10’-0”
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 34 of this Master Site Plan
 - d. Maximum Depth 4’0”
4. Number: No More than one (1)

D. Freestanding Ground “D” Future Development Sites or Freestanding/Single-tenant Buildings

1. Description: Freestanding Ground signs on state highway frontage.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure
3. Size:
 - a. Maximum height 6’-0”
 - b. Maximum width 8’-4”
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 35 of this Master Site Plan
 - d. Maximum Depth 3’6”
4. Number: No more than three (3)

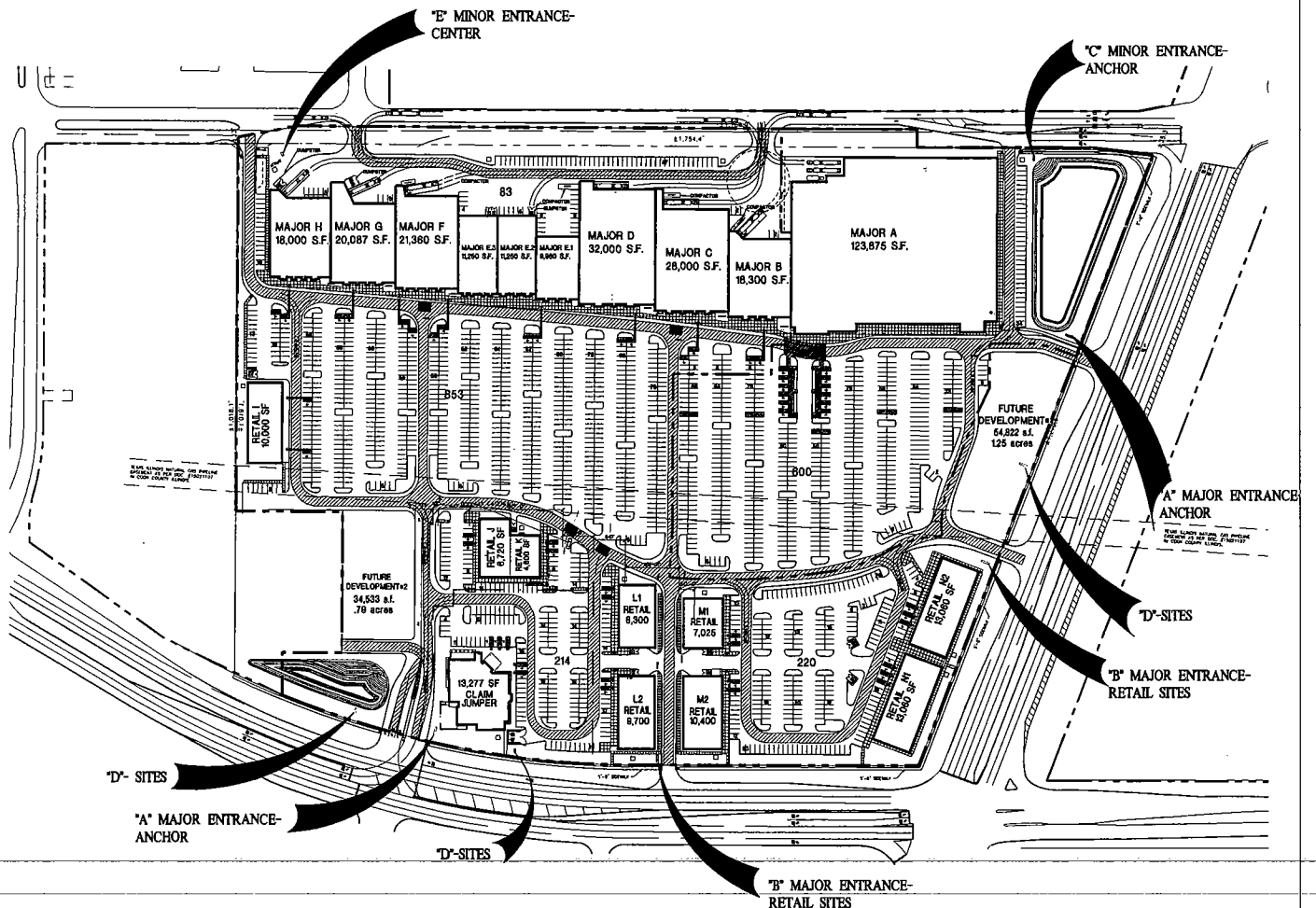
E. Freestanding Ground “E” Minor Entrance - Center

1. Description: Freestanding Ground sign on Old Sutton Road.
2. Type: Double sided, internally illuminated Plexiglas sign panels contained within masonry structure
3. Size:
 - a. Maximum height 6’-0”

- b. Maximum width 8'-4"
 - c. Maximum Sign Surface Areas Depicted on sample plan at page 36 of this Master Site Plan
 - d. Maximum Depth 4'0"
4. Number: No more than one (1)

F. General Location Requirements

- 1. All Freestanding Ground Signs shall be set back a minimum of 10'-0" from the property line and 5'-0" from pavement. The measurement is to be taken from the portion of the sign structure that is closest to the property line or pavement as the case may be.
- 2. Locations shall be as depicted on page 31 of this Master Sign Plan.



01 MASTER SIGN PLAN

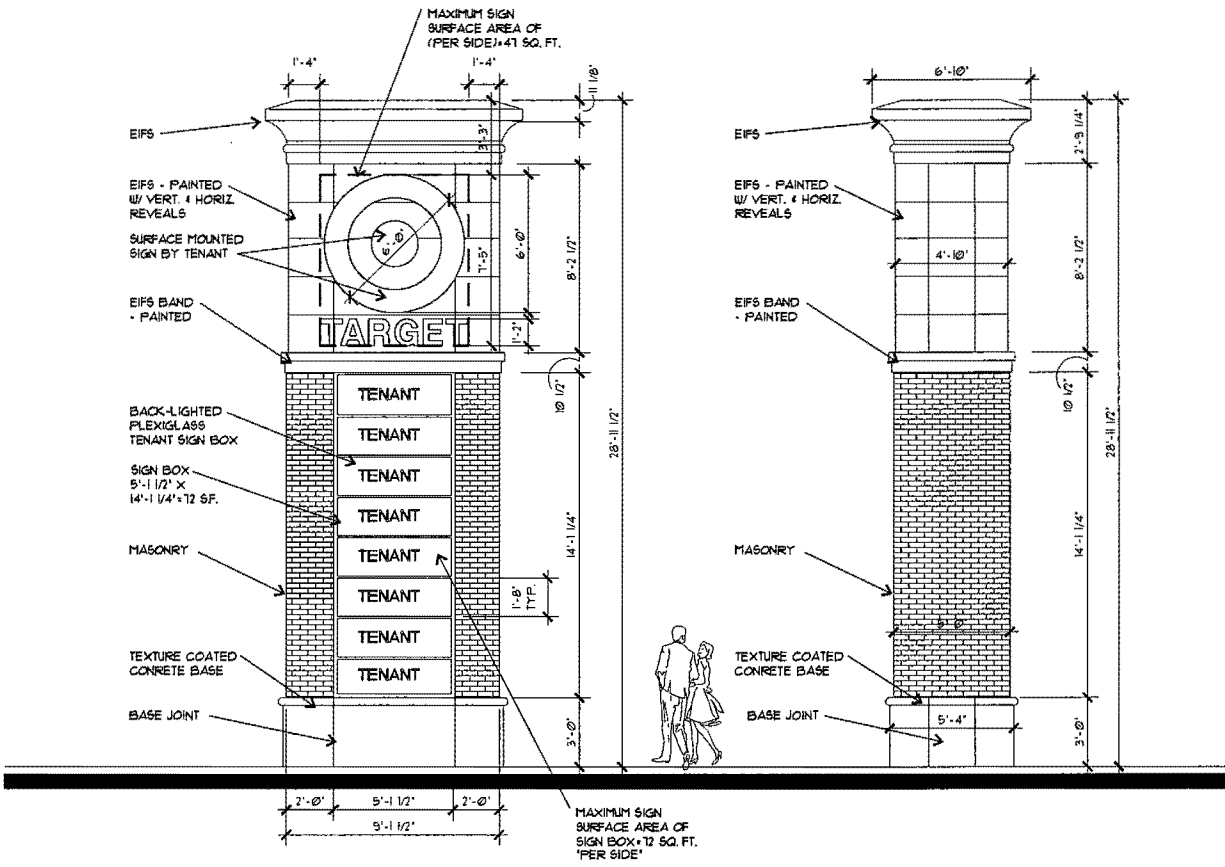
SCALE: N.T.S.



FREESTANDING GROUND SIGNS

POPLAR CREEK CROSSING
 HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
 ARCHON RETAIL

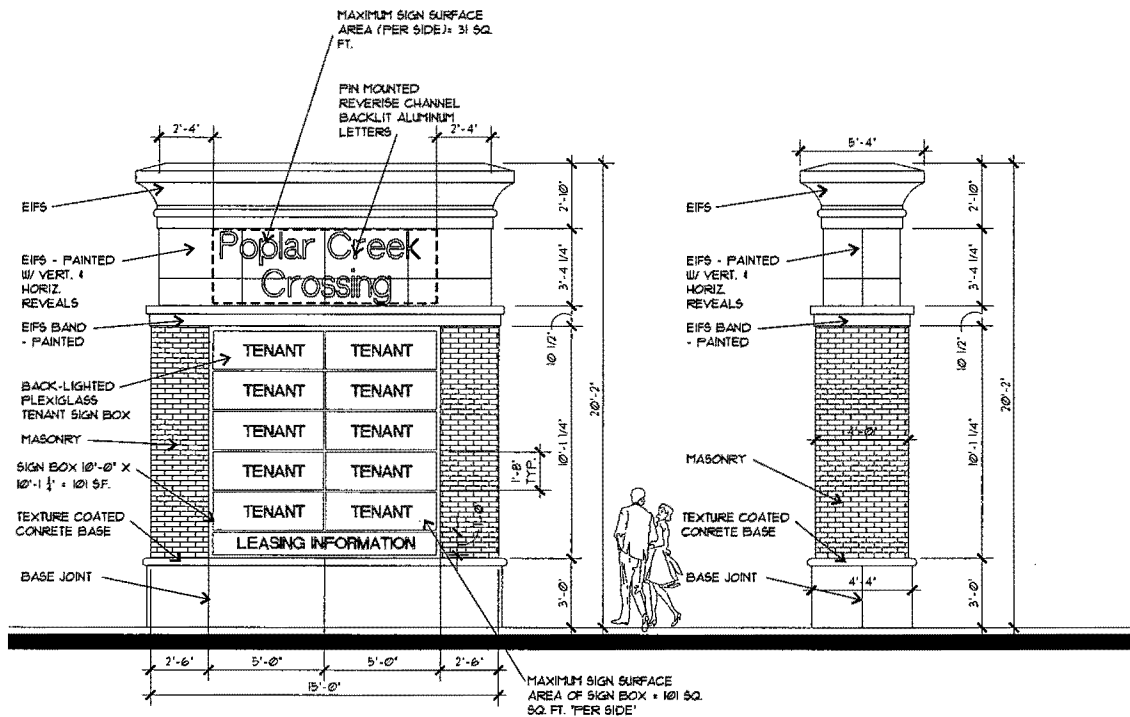


**FREESTANDING MAJOR ENTRY GROUND SIGN
01 TYPE "A" FOR MAJOR ANCHOR TENANTS**

SCALE: 1/8"=1'-0"

**POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS**

A DEVELOPMENT OF:
ARCHON RETAIL



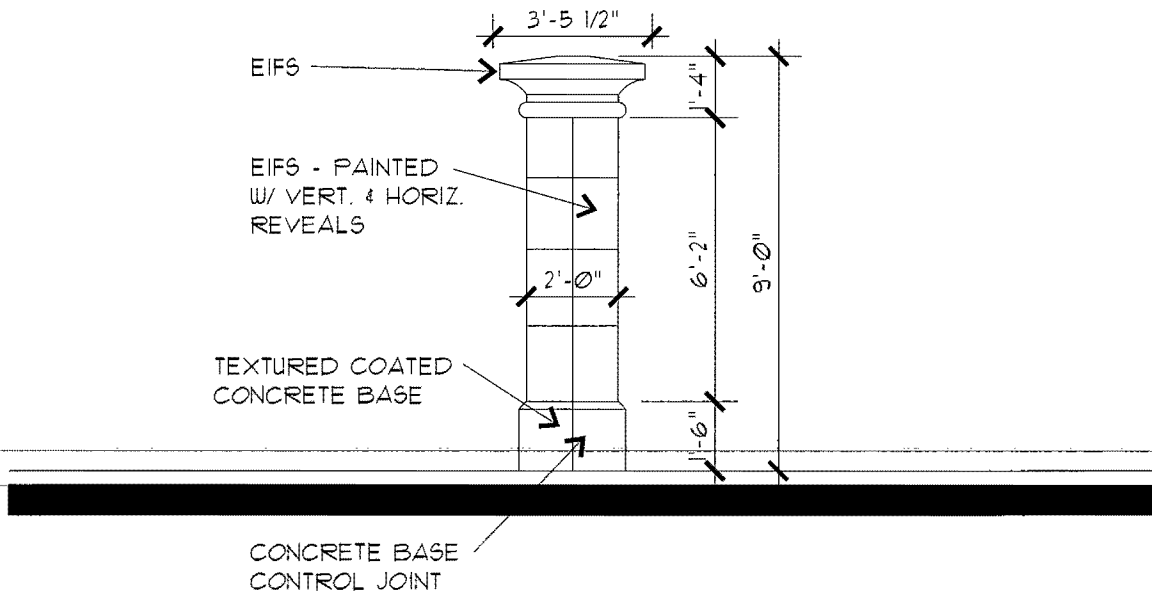
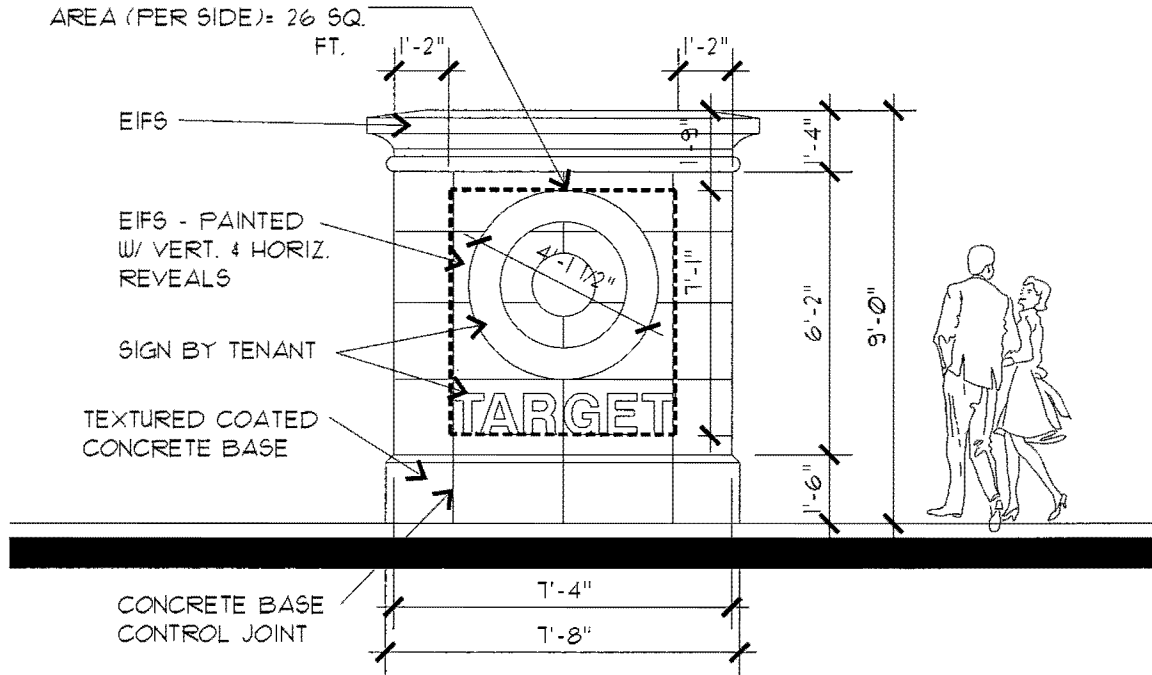
**FREESTANDING MAJOR ENTRY GROUND SIGN
01 TYPE "B" FOR SMALLER ANCHOR TENANTS**

SCALE: 1/8" = 1'-0"

**POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS**

A DEVELOPMENT OF:
ARCHON RETAIL

MAXIMUM SIGN SURFACE
AREA (PER SIDE) = 26 SQ.
FT.

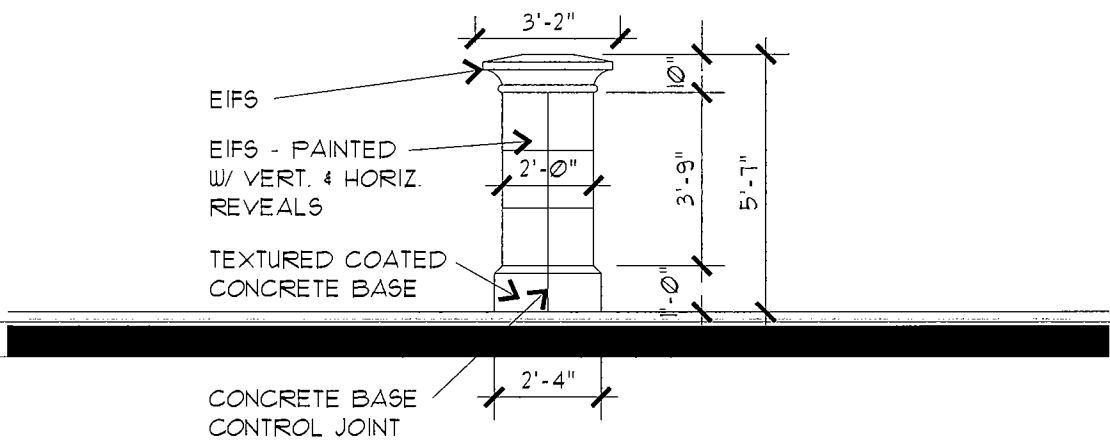
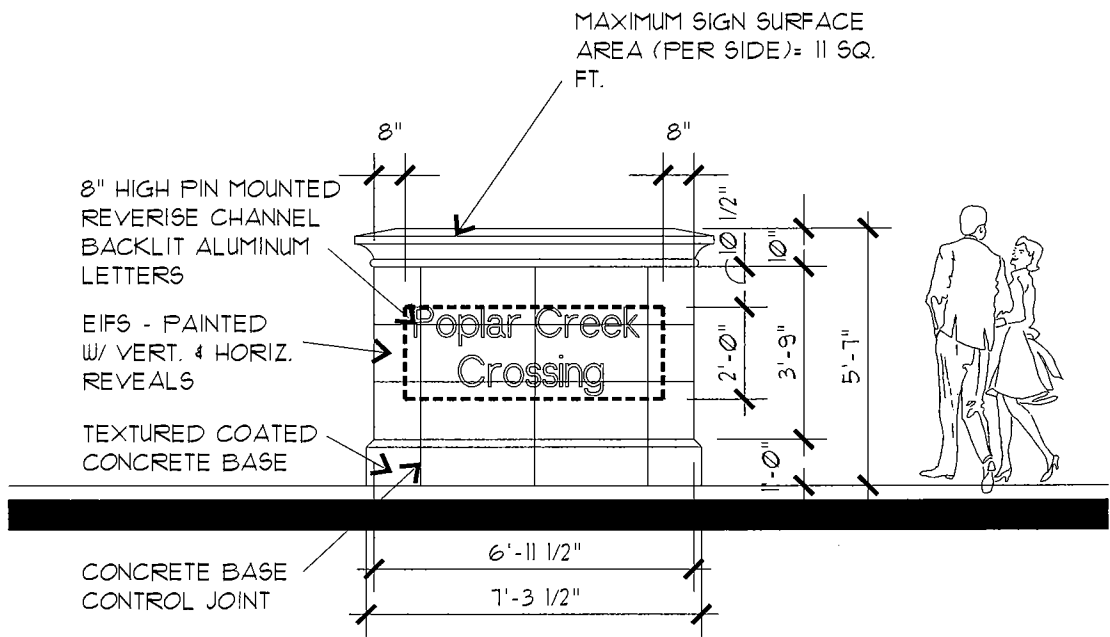


01 FREESTANDING MINOR ENTRY GROUND SIGN TYPE "C"

SCALE: 1/4" = 1'-0"

**POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS**

A DEVELOPMENT OF:
ARCHON RETAIL



**FREESTANDING SINGLE BUSINESS GROUND SIGN TYPE "E"
01 FOR SINGLE USE FREESTANDING BUILDINGS**

SCALE: 1/4"=1'-0"

POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS

A DEVELOPMENT OF:
ARCHON RETAIL

IV LEASING SIGNS

- F. Leasing Signs (i) may be installed within the Sign Surface Areas of the "Freestanding Ground 'B' Major Entrance-Retail Sites" signs as depicted on the sample elevation plan on page 33 of this Master Sign Plan; or (ii) shall comply with Section 9-3-8-K of the Village Code; provided, however, that within 60 days after issuance of the initial certificate of occupancy for the final building to be built on the Property, any Leasing Sign installed pursuant to Section 9-3-8-K shall be removed. After such removal, the Village Code shall no longer govern Leasing Signs on the Property. Instead, Leasing Signs may be installed only within the Sign Surface Areas of the "Freestanding Ground 'B' Major Entrance-Retail Sites" signs as depicted on the sample elevation plan on page 33 of this Master Sign Plan.

Sign permits for Leasing Signs, which comply with this Section IV, may be applied for and shall be issued at any time before all the buildings on the Property are constructed.

2769636_v2



PLAN COMMISSION STAFF REPORT

Meeting Date: 3/18/2026

From: Kevin Anderson, Planner II

PLN2602-0005

Public Hearing

Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road

REQUEST SUMMARY

Double K & A Inc. dba Rookie's Sports Bar and Grill is seeking a Master Sign Plan Amendment to allow additional wall signs which exceed the allowances of the approved Master Sign Plan.

Location: 4585-4613 W. Higgins Rd.
Property Owner / Applicant: LBX Poplar Creek LLC / DOUBLE K & A INC/ROOKIES 4
Property Size: 27.7 ac.
Zoning / Land Use: CMU - Commercial Mixed Use
Adjacent Properties: North: CMU
West: B-4 Business
South: CMU
East - B-2 Business

BACKGROUND / ANALYSIS

Poplar Creek Crossing shopping center was approved in April 2005. The approval included a Master Sign Plan (Ord. 3723-2005). Pursuant to the approved MSP Section II.C.5, interior tenants within buildings N1 and N2 are restricted to a maximum of 2 wall signs.

In 2025, Rookie's Sports Bar and Grill received permits and expanded into an adjacent tenant space to provide an additional dining and party room. The expanded floor plan provides a separate entrance for private events but is connected internally to the existing restaurant. The expansion creates one tenant space with approximately 90 linear feet of frontage which is restricted by the current Master Sign Plan to one sign on the south (front) facade and one sign on the north (rear) facade of the building. During the building permit review for the expansion, Rookie's considered relocating the existing sign to be centered over the new combined space. However, architectural elements of the building's facade make this option unsuitable. The Petitioner is seeking an amendment to allow a single tenant to have more than one wall sign.



The proposed amendment would only apply to wall sign guidelines for buildings N1 and N2 (4585-4613 W. Higgins Rd). The remainder of the Master Sign Plan requirements and conditions would remain in effect.

The Petitioner proposes to update the MSP language to include the following addition to Section II.C.5:

"Each tenant shall install a maximum of (i) 1 Tenant Wall Sign on the front facade of the portion of the building leased by the tenant (the "Leased Space"); (ii) 1 Tenant Wall Sign on the rear facade of the Leased Space; provided, however, that a tenant of a building on the Retail Site identified as "Building I" may, but shall not be obligated to install a Tenant Wall Sign on the rear facade of its Leased Space. In addition, each tenant shall be allowed to install 1 Tenant Wall Sign on each side facade of the Leased Space, but only if the side facade is an exterior wall; **and (iii) A tenant of a building on Retail Site "N", which contains a leased space of 70 linear feet of frontage or greater, shall be permitted to have 1 additional wall sign on the front facade and 1 additional wall sign on the rear facade of the Leased Space.**"

The Petitioner has submitted plans for the two additional wall signs that would be permitted by the proposed change to the Master Sign Plan. Each sign would be approximately 50 square feet and would meet all other MSP requirements. This request will result in fewer total signs on the building since the applicant occupies more than two tenant spaces.

Public Notice

Public notice was posted in the Daily Herald and mailings were sent to all properties within 300'. No objections have been received.

MOTIONS

The Plan Commission shall make the following motions (a total of 2 motions are required):

1. Adopt the Findings of Fact for a Master Sign Plan as outlined in Exhibit B - Findings & Recommendations Summary.
2. Recommend to the Village Board approval of a Master Sign Plan Amendment for the Poplar Creek Crossing Shopping Center located at 4585 - 4613 W. Higgins Road subject to the conditions outlined in Exhibit B - Findings & Recommendations Summary.

ATTACHMENTS

1. PC Findings and Recommendations Summary - 4585-4613 W. Higgins Rd - PLN2602-0005
2. Location Map - Poplar Creek Crossing
3. Supporting Documents - Rookie's MSP Amendment
4. Poplar Creek Crossing Master Sign Plan



VILLAGE OF HOFFMAN ESTATES PLANNING & ZONING APPLICATION SUMMARY

APPLICATION INFORMATION

Project Number:	PLN2602-0005
Project Name:	Poplar Creek Crossing Shopping Center MSP Amendment
Project Application Date:	02/20/2026
Project Manager:	Kevin Anderson

PROJECT TYPE

Master Sign Plan Amendment

SITE INFORMATION

Property Address:	4585 – 4613 W HIGGINS RD
All Included PINs:	01333010050000

PROJECT CONTACTS

Relationship to Project	Name / Firm	Address
APPLICANT	DOUBLE K & A INC / ROOKIES 4	4607 W HIGGINS RD HOFFMAN ESTATES, IL 60192
OWNER	LBX POPLAR CREEK LLC	1427 MAYSON ST NE ATLANTA, GA 30324

STANDARDS OF A MASTER SIGN PLAN

Zoning Code Section 9-3-9-M-13 requires that the Planning and Zoning Commission shall, in making its determination, find that adequate evidence is provided to meet the Standards of a Master Sign Plan. All standards must be answered in full.

1. The Master Sign Plan shall result in architecture and graphics of a scale appropriate for the subject development and the surrounding area. Please provide an explanation.

Existing tenant has also leased adjacent tenant space and expanded to occupy both units. Wants to be afforded the same sign allowance as would be allowed for that secondary tenant. Property ownership has agreed to extend this allowance, pending municipal agreement.

2. The Master Sign Plan shall provide signage consistent with the site plan and architecture of the project. Please provide an explanation.

No overarching changes to the present MSP, only to allow a variation to permit additional signage to tenant who now occupies more than one tenant space.

3. The Master Sign Plan will avoid visual clutter. Please provide an explanation.

The requested adjustment to the MSP will not impact the aesthetic of the plaza and is in keeping with the same allowances for other tenants.

4. The Master Sign Plan shall allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobstructed architecture and commercial graphics. Please provide an explanation.

The MSP adjustment requested is commensurate with the current allowances. Will not adversely impact either surrounding businesses or community at large.

5. The Master Sign Plan shall result in a unified theme of signage for this project. Please provide an explanation.

The MSP adjustment will be kept to the same unified theme as the present MSP document. We are only allowing for permission for the tenant who is expanding into the next unit to be afforded his additional identifying signage.

PROJECT:



4607 W Higgins Road
Hoffman Estates, IL 60192

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Lee Gotfried / MF

DRAWN BY

Bill Goodwyn

DATE

8.22.25

SCALE

N.T.S.

SHEET NO.

1 of 3

ESTIMATE / JOB NUMBER

17925

FILE NAME

KRG17925

REVISIONS:

1 9.09.25 (bm)

2 9.17.25

3 9.19.25

4 10.07.25 (bm)

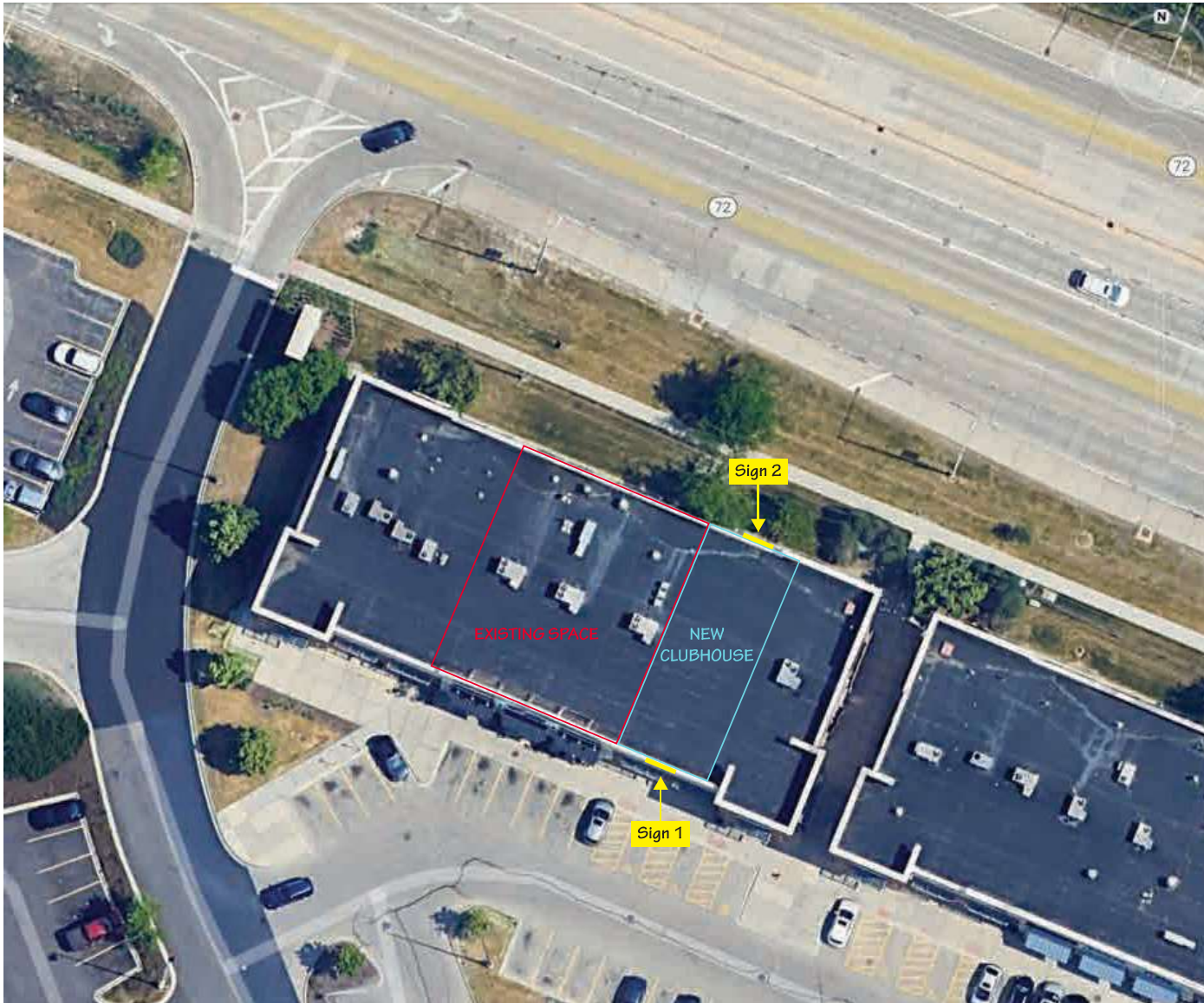
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6

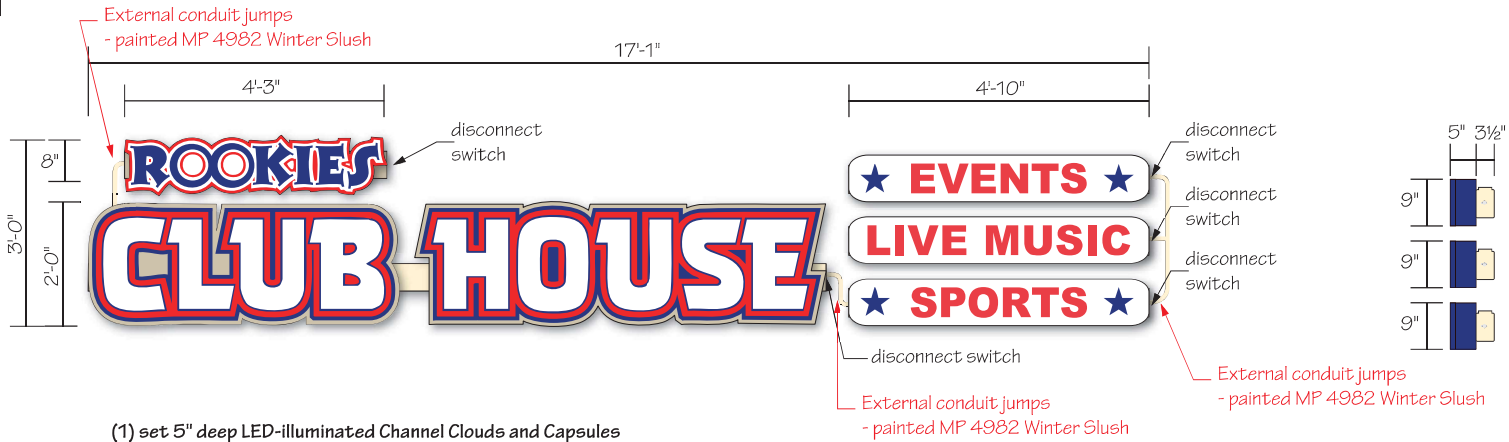
7

8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



SIGN 1



(1) set 5" deep LED-illuminated Channel Clouds and Capsules

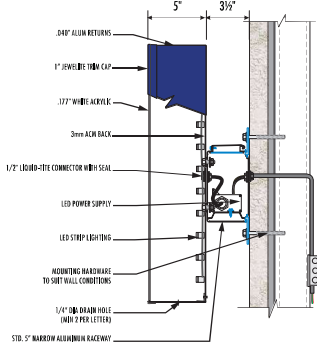
Club & House Channel Cloud:

- Return:** .040" aluminum coil painted PMS 288 Blue
- Faces:** 3/16" thick White acrylic w/ 1" PMS 288 trim cap
- Graphics:** 3M 3630-163 Scarlet and 3630-167 Bright Blue translucent vinyl, and blockout vinyl painted to match MP 4982 Winter Slush applied

(1) Capsules:

- Return:** .040" aluminum coil painted PMS 288 Blue
- Faces:** 3/16" thick White acrylic w/ 1" PMS 1797 Red trim cap
- Graphics:** 3M 3630-163 Scarlet and 3630-167 Bright Blue translucent vinyl

- Illumination:** White LED modules w/ low-voltage power supplies
- Power:** 20Amp @ 120Volt electrical circuit(s) run to site by others (TBD)
- Raceways:** standard 5" x 3 1/2" extruded aluminum painted MP 4982 Winter Slush
- Mounting:** on exterior wall, will need to run power in conduit from capsule to raceway (may need to bring extra conduit to pipe over from exterior box to capsule)
Paint conduit jumps MP 4982 Winter Slush



Nighttime simulation

Parvin-Clauss SIGN COMPANY

Design • Fabrication • Installation • Maintenance
 165 Tubeway Drive • Carol Stream • Illinois 60188
 Tel/630-510-2020 • Fax/630-510-2074
 e-mail/signs@parvinclauss.com
 www.parvinclauss.com

PROJECT:

KARAS
 Restaurant Group
 4607 W Higgins Road
 Hoffman Estates, IL 60192

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
 Lee Gotfried / MF

DRAWN BY
 Bill Goodwyn

DATE
 8.22.25

SCALE
 1/2" = 1'

SHEET NO.
 2 of 3

ESTIMATE / JOB NUMBER
 17925

FILE NAME
 KRG17925

REVISIONS:

- 9.09.25 (bm)
- 9.17.25
- 9.19.25
- 10.07.25 (bm)
-
-
-
-

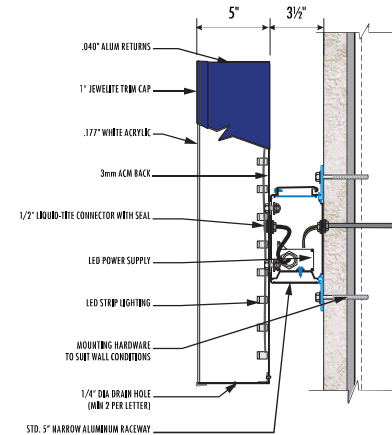
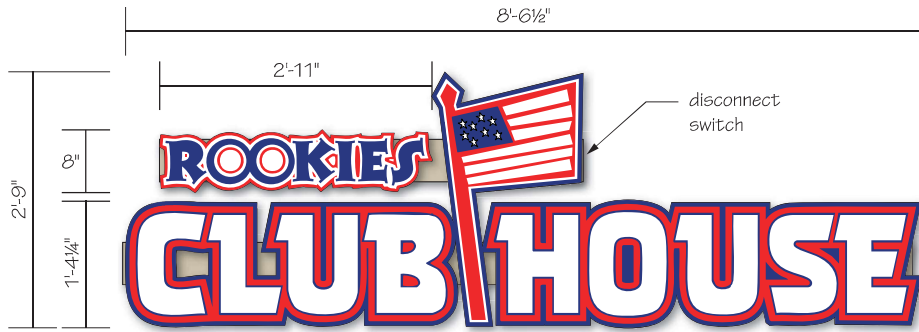
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

This sign is built to UL Standards for operation in North America.

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SIGN 2



(1) set 5" deep LED-illuminated Channel Clouds

Rookies Channel Cloud:

- Return:** .040" aluminum coil painted PMS 1797 Red
- Faces:** 3/16" thick White acrylic w/ 1" PMS 1797 Red trim cap
- Graphics:** 3M 3630-163 Scarlet and 3630-167 Bright Blue translucent vinyl

Club, Flag & House Channel Cloud:

- Return:** .040" aluminum coil painted PMS 288 Blue
- Faces:** 3/16" thick White acrylic w/ 1" PMS 288 trim cap
- Graphics:** 3M 3630-163 Scarlet and 3630-167 Bright Blue translucent vinyl, and blockout vinyl painted to match building (color TBD) applied

- Illumination:** White LED modules w/ low-voltage power supplies
- Power:** 20Amp @ 120Volt electrical circuit(s) run to site by others (TBD)
- Raceways:** standard 5" x 3 1/2" extruded aluminum painted MP 4982 Winter Slush
- Mounting:** on exterior wall, will need to run power in conduit from capsule to raceway



Nighttime simulation

Parvin-Clauss
SIGN COMPANY

Design • Fabrication • Installation • Maintenance
165 Tubeway Drive • Carol Stream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



4607 W Higgins Road
Hoffman Estates, IL 60192

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
Lee Gotfried / MF

DRAWN BY
Bill Goodwyn

DATE
8.22.25

SCALE
3/4" = 1'

SHEET NO.
3 of 3

ESTIMATE / JOB NUMBER
17925

FILE NAME
KRG17925

REVISIONS:

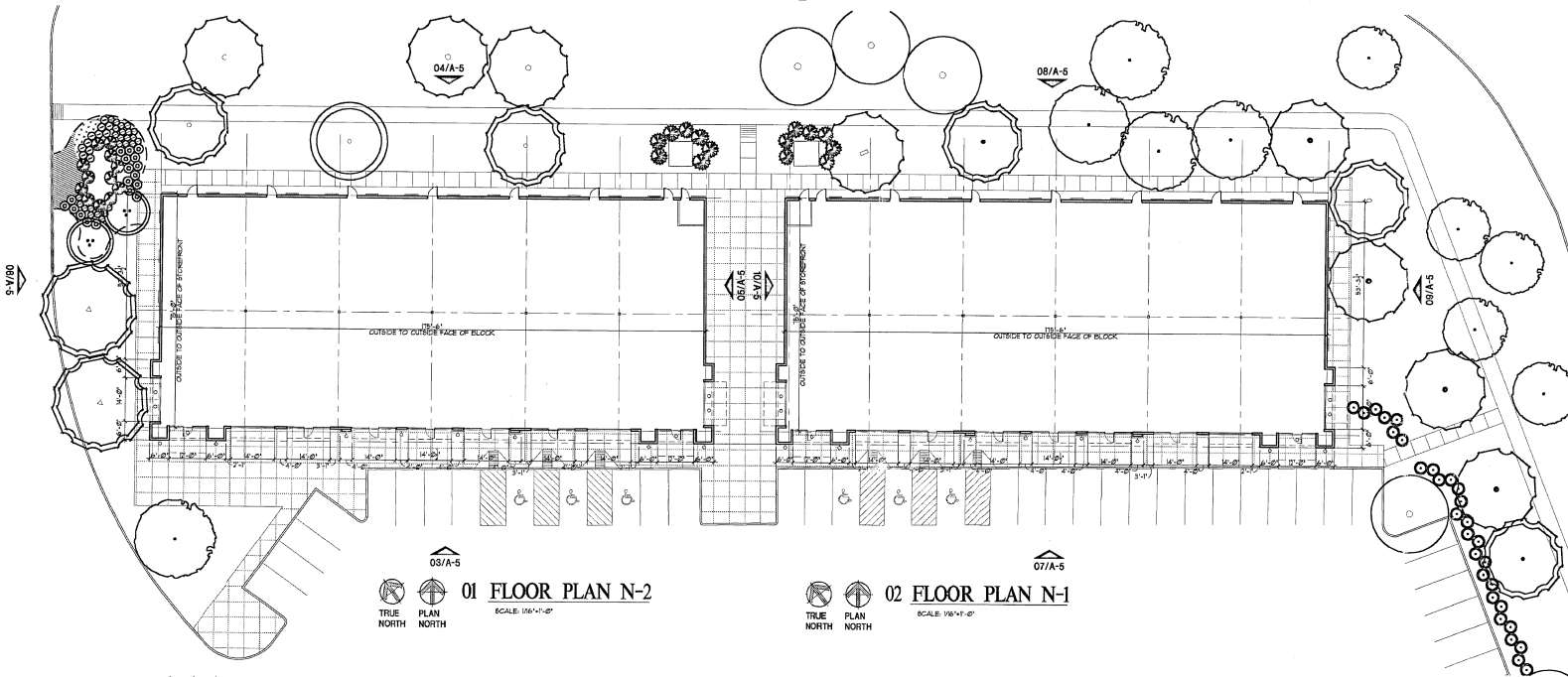
- 1 9.09.25 (bm)
- 2 9.17.25
- 3 9.19.25
- 4 10.07.25 (bm)
- 5
- 6
- 7
- 8

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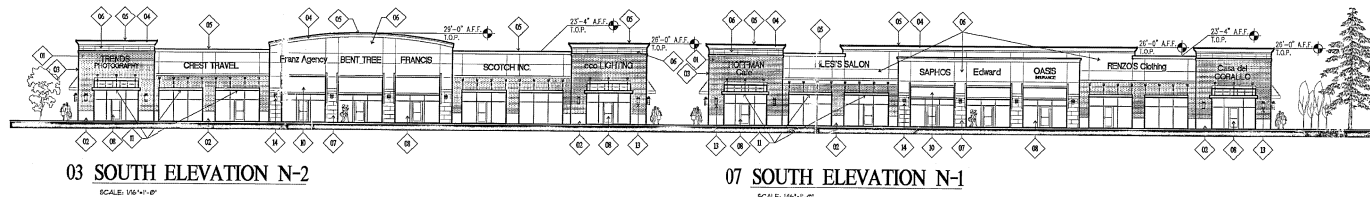


KEYNOTES

- 01 4" X 8" X 8" MASONRY UNITS COLOR #1 (WALLS)
- 02 4" X 8" X 8" MASONRY UNITS COLOR #2 (BASES)
- 03 4" X 12" X 8" MASONRY UNITS COLOR #3 (ACCENTS)
- 04 EPS CORNICE
- 05 METAL CAP OVER EPS
- 06 1-1/2" DITS WITH 3/4" REVEALS OVER MASONRY UNITS
- 07 FRAMED STONE VENEER OVER MASONRY UNITS
- 08 STAINLESS ALUMINUM & GLASS SCHEDULEFRONT & COOKS
- 09 SPANNED GLASS & ALUMINUM FRAME OVER CMU
- 10 CANVAS AWNING OVER METAL FRAME
- 11 PAINTED STEEL CANOPY
- 12 PAINTED HOLLOW METAL DOORS
- 13 WALL LANTERN (TYPE - A)
- 14 WALL LANTERN (TYPE - B)
- 15 LIGHT FIXTURE (TYPE - A)
- 16 LIGHT FIXTURE (TYPE - B)
- 17 RECESSED METALLON OVER MASONRY UNITS

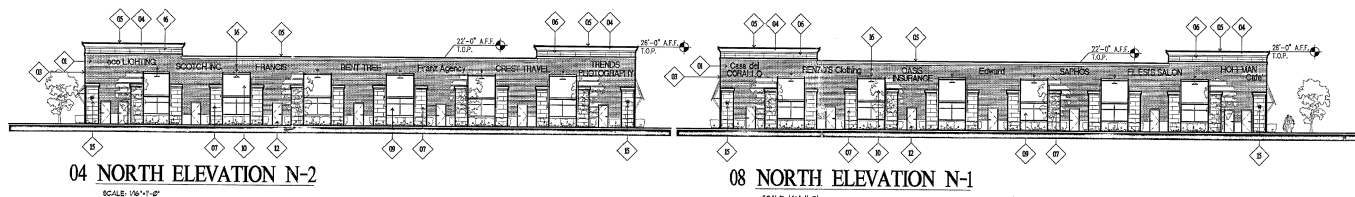
01 FLOOR PLAN N-2
SCALE: 1/8"=1'-0"
TRUE PLAN NORTH

02 FLOOR PLAN N-1
SCALE: 1/8"=1'-0"
TRUE PLAN NORTH



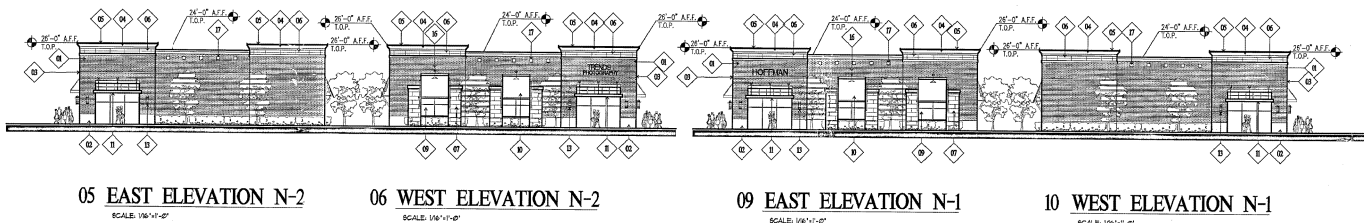
03 SOUTH ELEVATION N-2
SCALE: 1/8"=1'-0"

07 SOUTH ELEVATION N-1
SCALE: 1/8"=1'-0"



04 NORTH ELEVATION N-2
SCALE: 1/8"=1'-0"

08 NORTH ELEVATION N-1
SCALE: 1/8"=1'-0"



05 EAST ELEVATION N-2
SCALE: 1/8"=1'-0"

06 WEST ELEVATION N-2
SCALE: 1/8"=1'-0"

09 EAST ELEVATION N-1
SCALE: 1/8"=1'-0"

10 WEST ELEVATION N-1
SCALE: 1/8"=1'-0"

TENANT SIGNS ON BUILDINGS ARE FOR PROPOSED REPRESENTATIVE SIGNAGE. FINAL TENANT SIGN LOCATIONS, SIZES AND TYPE WILL BE APPROVED WITH THE MASTER SIGN AGREEMENT.

ELEVATIONS AND MATERIALS ARE SHOWN AS THE OVERALL ARCHITECTURAL DESIGN THEME OF THE PROJECT. TENANTS MAY REQUEST MINOR TWEAKS TO THE ELEVATIONS AND MATERIALS OF THEIR ENTRANCES, WHICH WOULD BE REVIEWED WITH THE VILLAGE.



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POPLAR CREEK CROSSING
HOFFMAN ESTATES, ILLINOIS
ARCHON RETAIL

A-5

SCALE: AS NOTED JOB#: 23280 ■ ISSUE DATE: 03-17-05
APPROVED BY: _____ DATE: _____

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