



AGENDA
Plan Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

July 15, 2026	Council Chambers	6:30 PM
1. CALL TO ORDER/ROLL CALL		
2. PLEDGE OF ALLEGIANCE TO THE FLAG		
3. APPROVAL OF MINUTES		
A. Plan Commission 06-03-2026		
4. CHAIRPERSON'S REPORT		
5. NEW BUSINESS		
A. Public Hearings		
1. Master Sign Plan Amendment for the property located at 675 W. Golf Road.		
6. STAFF DISCUSSION		
7. PUBLIC COMMENT		
8. ADJOURNMENT		

The next regular Plan Commission meeting is scheduled for **Wednesday, August 05, 2026 at 6:30 p.m.**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



MINUTES
Plan Commission
Regular Meeting
Village Hall

1900 Hassell Road, Hoffman Estates, IL 60169

June 3, 2026	Council Chambers	6:30 PM
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1. CALL TO ORDER/ROLL CALL

Chairperson Chhatwani called the meeting to order at 06:30 PM.

Commissioners Present: Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Minerva Milford, Nancy Trieb, John Wise

Commissioners Absent: Excused: Kendra Alexander, Adam Bauske | Unexcused: Daniel Lee

A quorum was present.

Administrative Personnel Present: Jenny Horn, Director of Planning & Transportation; James Donahue, Senior Planner; Daisy Dose-Adamzadeh, Planner II; Jana Dickson, Assistant Corporation Counsel

2. PLEDGE OF ALLEGIANCE TO THE FLAG

3. APPROVAL OF MINUTES

A. Plan Commission 05-20-2026

Motion by Commissioner Harner, seconded by Commissioner Henderson, to approve the May 20, 2026, regular meeting minutes. Voice vote taken. Ayes - 6 | Nays - 0 | (Abstain: None). Motion Passed.

4. CHAIRPERSON'S REPORT

Chairperson Chhatwani stated the Special Use to KAAM Spa # 13 LLC for a massage establishment at 2510 N Sutton Road was approved by the Village Board on June 01, 2026.

Chairperson Chhatwani introduced the appointed counsel in attendance for the meeting.

5. NEW BUSINESS

A.

Rezoning from the C-MU (Commercial Mixed Use) and TN (Traditional Neighborhood) districts to the M-2 (Manufacturing) district for the property located north of Higgins Road between the Canadian National Railway and New Sutton Road (Plum Farms)

Motion by Commissioner Harner, seconded by Commissioner Henderson, to open Public Hearing. Voice vote taken. Ayes - 6 | Nays - 0 | (Abstain: None). Motion Passed.

Chairperson Chhatwani swore in the petitioners.

Matt Norton (Burke, Warren, MacKay & Serritella)

Mike Noonan (Burke, Warren, MacKay & Serritella)

The petitioners presented an overview of the project.

James Donahue presented an overview of the staff report.

Commissioner Trieb had no questions.

Commissioner Henderson asked the petitioners whether there were wetlands located on the property. Mr. Norton responded that there are wetlands on site.

Commissioner Henderson asked if the petitioners were aware of any endangered species / studies occurring on the property. Mr. Norton stated they were unaware of any endangered species and believed a study had already been completed for the property by the prior owner.

Commissioner Milford had no questions.

Commissioner Wise had no questions. He commented on the rumor of a possible data center which he suspected brought the crowd to the meeting. He commented about living near the data center currently being built on the former Sears property, and also acknowledged the Commission would likely be hearing many comments about data centers despite there being no proposal for one up for discussion at this meeting.

Commissioner Harner commented that the petitioners had mentioned two properties that in their mind were "new"; he asked how these two properties are zoned. Mr. Norton stated the first was the Compass Data Center, which is zoned O-5, and the second was the Advocate property, which staff clarified to be zoned B-4.

Commissioner Harner asked how many M-2 zones are located in Hoffman Estates. James Donahue did not have an exact number without checking the zoning map. Commissioner Harner stated he had looked the information up and that there are three M-2 zones which include the Microsoft Data Centers on Lakewood Boulevard, the Tollway Building off Stonington Avenue, and Adesa.

Commissioner Harner commented that the Commission was not here to discuss a data center, but asked if a data center were to be proposed, would the proposal come back to be presented to the Plan Commission? Mr. Norton stated yes, it would be required to be presented to the Plan Commission for site plan review and plat of subdivision review. Commissioner Harner asked staff to confirm whether this was correct, and to explain why. Mr. Donahue stated that any new commercial construction and new single-family subdivisions are required to be presented to the Plan Commission for these approvals.

Commissioner Harner asked that if a data center was proposed for the site in the future, would all the people in the audience today be invited to attend that meeting. Mr. Norton and Mr. Donahue both stated yes.

Commissioner Harner asked if an Amazon distribution facility, with all its delivery trucks, could be located in an M-2 zone. Mr. Norton stated yes, assuming it passed all the required site plan and plat of subdivision approvals.

Chairperson Chhatwani had no questions.

Chairperson Chhatwani acknowledged and thanked the audience for attending the meeting, for being willing to share their feedback, and for their patience moving forward with the process. She asked if your comments have already been expressed by another member of the audience, or if your questions were already asked and/or addressed by the petitioners, staff, or Commissioners, that you allow others to share their viewpoints so that everyone has an opportunity to speak.

Chairperson Chhatwani asked the appointed counsel for the Village to share their thoughts before opening Public Comment for the hearing.

Attorney Brandi Quance, Village Appointed Counsel, asked staff to clarify whether the objection letters received by the Village were going to be made part of the public hearing record. Mr. Donahue stated they would. He stated the Planning Division had received letters from the following recipients: Abhilash Dev, Amisha Patel, Arshia Legittino, Kimberly Saunders with BACOG, Abigail Derby Lewis with Citizens for Conservation, Derek Shelton, Karen Daulton Lange with Flint & Spring Creek Watersheds Partnership, James Koenig, Kimberlee Koenig, Linnea Koenig, Kristin Johnson, Laura & Brian Seifert, Laurence Cohen, Kate Tracy, Mayank Srivastava, Meena Shah, Michael & Christine Irizarry, Minal Makim, Naomi Laws, Niraj Rami, Ashish Patel, Amanda Pollard, Reshma Shah, Satya Kandimalla, Srey Waghray, Tegan Waltmire, and Brian Cecola - Barrington Hills Village President.

Attorney Quance provided some general guidelines for the Public Comment portion of the hearing and stated comments will be heard in the order guests signed in on the sign-in sheet. If someone did not have an opportunity to sign in when they arrived, they will still have an opportunity to speak. Those providing testimony will need to provide their name and address and be sworn in prior to speaking.

Chairperson Chhatwani swore in Bridget Jordan (24 Arches Court, South Barrington) for Public Comment.

Ms. Jordan provided the following testimony.

"My name is Bridget Jordan and I have lived in Hoffman Estates for over 35 years and worked here as well, and then I retired and moved to South Barrington recently and I now live literally across the street from the land you are hoping to rezone. I am here tonight to ask that you reject the rezoning for this property. Naperville rejected this same proposal with a 6-1 vote, sighting massive resident opposition regarding noise, air quality, water use, and the proximity to homes and parks. Hoffman Estates should have the same concerns. We already have two hyper-scaled data centers in Hoffman Estates covering over 300 acres. We don't need to sacrifice this prominent corner property for a third data center that would further industrialize our community by positioning two hyper-scaled centers within a mile of each other. Consider what this rezoning would destroy — Plum Farms sits literally across the street from our quiet residential neighborhood. It's adjacent to our protected Spring Creek forest preserve, and it's right next door to our open-air shopping and dining districts for both Hoffman and South Barrington. No one wants to sit at a restaurant, or walk through nature, or sit in their own backyard while listening to the industrial hum of massive cooling fans and diesel generators. Manufacturing zoning doesn't belong in this space. Data centers, as you know, take up hundreds of acres, they drain our power grid and water supply, and they create very few long-term jobs. This Plan Commission's own standards state that rezoning should only be recommended if the amendment is in the public's interest, but these data centers benefit tech giants while the residents inherit the relentless noise, the massive eyesore, and the higher electric bills. Like Hoffman Estates, the city of Aurora enthusiastically welcomed data centers, until there was significant public backlash. They've described living with their multiple data centers as completely unbearable, noting that the low humming noise literally never stops, and that the backup generators make their homes shake like a tuning fork. Data centers significantly degraded their resident's health and their environment, which led to a 6-month moratorium on build-outs of data centers and, as of two months ago, Aurora, Illinois has some of the strictest data center zoning laws in the country. But that was too late for the residents that live near the existing four data centers that are already running there. So, rather than making our communities vulnerable to that experience, I ask you, please, protect our neighborhoods and our forest preserves and our local businesses and vote NO on the Plum Farms rezoning."

Attorney Quance invited the guests in the hallway to enter the boardroom as seating is still available in the room.

Chairperson Chhatwani swore in Michelle Lyon (1755 W Parkside Drive, Hoffman Estates) for Public Comment.

Ms. Lyon provided the following testimony.

"I am here to oppose the zoning change from Commercial Mixed Use & Traditional Neighborhood to M-2 (Manufacturing). I have appreciated your comments and questions so far. Undeveloped parcels don't give, but they certainly don't take either. I really appreciated the question about the wetlands. I believe more extensive environmental impact studies would need to be done — people really don't realize what a valuable resource a wetland is — they are very important. On behalf of myself and my family, and my neighbors, no one really wants another data center in Hoffman Estates. We are growing to greatness, not data centers. Data centers are excessive — excessive water use. At least initially, even if it's recycled, it needs to be replaced. Excessive electricity, excessive land use, excessive size, excessive tax breaks for the developers not the residents. Esthetic is poor. Honestly, if there was one here, I would drive up to Lake Zurich, couldn't look at it, instead of going to our Target. They do not provide new jobs for the community. Once farmland is gone, I realize it's

mixed commercial use already, but you can't get farmland back — it just doesn't come back. You can't turn it on a dime and nothing's been developed there yet. Maybe we didn't know exactly when Microsoft came to town, maybe we didn't know when the second data center came to town. We certainly do now. Naperville punted it, we should punt it too. I am kind of appalled that Hoffman Estates would even consider this zoning change. I have had nothing negative or bad to say about the Village. This is the first time I've really felt the need to speak up. Thank you for your time and consideration."

Chairperson Chhatwani swore in Doreen Gibrich (1850 Nicholson Drive, Hoffman Estates) for Public Comment.

Ms. Gibrich provided the following testimony.

"Thank you for allowing the public. I agree with the previous two speakers. My name is Doreen Gibrich. I did not use AI to create my comments this evening. I am a 32-year resident of the Deer Crossing Hoffman Estates subdivision, graduated from Conant High School, go Cougars, and a proud member of the community. I also oppose the data center. I was here in February 2025, when the Compass folks came in to talk about their proposal. I was the only citizen that showed up, so thank you, all of you. I ask you to consider our electricity rates, water usage and rates, noise pollution, air pollution and general community development. This is not what the citizens want. We already have the other two data centers. We already have a notice from Commonwealth Edison that our rates this month have gone up 12%, increased in part due to the demand of AI data centers, which affects power supply prices. Please do not be swayed by out-of-state Florida developers who tout high-tech, best-in-class technology. Those companies swoop in, reap their profits and then, when projects or technology become overdeveloped and untenable, they leave the ugly structures blighting the area. Please stop putting ugly projects in the western area of the Village. We pay our taxes, maintain our properties, value the parks and the forest preserves along the walking & bike paths. We support the Village and feel that these data center projects are not what we want, and you need to hear us. Hoffman Estates needs residential and retail - a grocery store or a hardware store at any of those properties would be welcomed. I urge you to look at other projects that will build up Hoffman Estates as a place that attracts families, restaurants, and retailers, not money-hungry polluting centers. Thank you."

Chairperson Chhatwani swore in Scott Gibrich (1850 Nicholson Drive, Hoffman Estates) for Public Comment.

Mr. Gibrich provided the following testimony.

"I have a question: I am not certain how all of you get your jobs — are you all elected officials?"

Mr. Donahue stated "No, they are appointed."

Attorney Quance stated this portion of the hearing is for public comment, not for questions of the Board, but clarified that the Commissioners are not elected, they are appointed.

Mr. Gibrich continued his testimony.

"So, I think everyone is familiar with, as someone mentioned before, "Hoffman Estates: Growing to Greatness." That is something that is a lofty kind of comment to make, and I am very proud to be 32 years in Hoffman Estates, and whenever I see that seal I agree with it. I

know many of you. My wife and I have taken up some other missions within Hoffman Estates and everyone has always been very, very cooperative and communicative, and I thank all of you for that. I don't think that anyone that I've talked to, and I've talked to quite a few within the Village and within our subdivision, that anybody wants another data center. They appear to have quite a negative connotation associated to them. I want to go down as yet another resident that opposes it, and I've been tracking, as part of my electric car, how much each month my electric for my car, and it is steadily going up, and the latest notice we got says it's going to go up another 12%, and I have no idea what this data center would add to that as well as our water is one of the most expensive in all the Chicago Northwest suburbs. What would that do to our water bills? I ask that, until that data is available, calculated, available, and made available to our residents, that we have a moratorium that there will be no voting on a rezoning of this property until we have that data and that is shared with the residents and is included in a referendum that the residents of Hoffman Estates could vote on, that way you can truly get our opinion and what we want as far as making our growth to greatness. Thank you."

Chairperson Chhatwani swore in Amanda Pollard (179A Tamarack Lane, Barrington Hills) for Public Comment.

Ms. Pollard provided the following testimony.

"Good evening. My name is Amanda Pollard. I live at 179A Tamarack Lane in Barrington Hills, and I am one of the many residents here tonight who will be directly affected by this decision. The planned development is less than a mile from our homes. Many of us moved here, to Barrington Hills, for the peace, quiet, and open space. Me and my neighbors, we have young children, animals of all kinds — horses, chickens, dogs, cats, and bees. A 24/7 industrial facility with constant truck traffic, lighting, cooling systems, and backup generators, would permanently change the character of our community. Like many tonight, I am also concerned about health and environmental impacts. These data facilities run with large diesel generators. Diesel exhaust is classified as a carcinogen. The same generators store diesel fuel in underground tanks and these tanks can cause groundwater pollution. Many in my area have private wells — across the country, neighbors near these facilities have seen their pressure drop, their water turn brown, and their filters clog up. Neighbors living next to these facilities also say they no longer see the dark of night and that's not what we signed up for. We have talked at length about the other two major data center campuses in Hoffman Estates. At least those sites were near busy commercial roads, former office complexes, and that makes more sense, but this site is different. It directly borders quiet residential neighborhoods. I think at some point the Village has to ask how many data centers belong in one community. Neighboring communities have already looked at these proposals and said, "NO," the same company seeking this rezoning, "Karis Critical"; I know they are saying it's HE Holdings, but it is part of Karis Critical, was denied by Naperville just 5 months ago due to proximity to residential neighborhoods and noise concerns. Barrington Hills rejected a similar concept before it even reached a public hearing and this isn't just a local sentiment. Seventy-one percent (71%) of Americans oppose having an AI data center in their communities. I'd ask Hoffman Estates to reach the same conclusion. We are asking you tonight to protect the safety, the water and the character of this area and the families who live here. Please deny this rezoning request. Thank you.

Chairperson Chhatwani swore in Paula McCombie (Mayor of South Barrington, 30 S Barrington Road, South Barrington) for Public Comment.

Ms. McCombie provided the following testimony.

"The residents of South Barrington and Hoffman Estates recognize and understand how interconnected our communities are. Our communities both work for the good of our residents and businesses, and understand that what happens in one community has an impact on another. Based on our shared culture and values, I have some serious concerns about the proposed zoning. The original rezoning from the CMU (Commercial Mixed Use) and TN (Traditional Neighborhood) districts to change to the M-2 (Manufacturing) district for the property does not in any way blend with either my almost 400 homes and families living across the street, nor does it blend with the present use of the two shopping centers, one which is yours, and one which is mine. Bringing in the new M-2 zoning and eliminating Commercial Mixed Use and Traditional Neighborhoods zoning on this entire piece of property simply doesn't match. Not only with the housing and The Woods of South Barrington across the street, but also not with the kind of economic development that is happening in both of our respective communities on Route 59 and 72. Both of our communities have worked very hard to bring in promising retailers and restaurants and to be a destination for both shopping and dining. I respectfully ask the Zoning Board to consider the negative impact of this. The negative effect on my residents and the negative effect on the long term future of attracting new shopping and dining establishments to both of our shopping centers. I'm not a resident of Hoffman Estates, but we should be strategic partners and I respectfully ask the Board to consider my views and the views of my residents on this important decision and vote "NO" to M-2 zoning. Thank you."

Jean Mayer was next on the list to speak, but agreed with all comments from the previous speakers and chose not to address the Commission at this time.

Chairperson Chhatwani swore in Anthony Abri (2 Bryce Court, South Barrington) for Public Comment.

Mr. Abri provided the following testimony.

"I am also a Commissioner of the Planning Department of South Barrington and I live directly across, directly across from the proposed project under consideration tonight. I ask you, based on the comments of all the previous speakers, based on the identity that we have as a residential community, that I ask you not to change the zoning. The zoning seems to give the developer a blank check to pick and choose all sorts of projects that are in direct competition with the character of our neighborhood. I ask you to consider that, and based on the issues other speakers have mentioned to you, decline their request for a zoning change. Thank you."

Chairperson Chhatwani swore in William Crimmins (3 Bryce Court, South Barrington) for Public Comment.

Mr. Crimmins provided the following testimony.

"The property owner here and his representatives are seeking to rezone this land to an M-2 (Manufacturing) district which permits a variety of uses as denoted in your Section 9-9-2 of the Municipal Code. However, you also say, and they say, no conceptual development plans have been prepared for review yet as part of this rezoning application. Contrary to comments one of your members made earlier, which is wrong, that does not allow you to avoid one of the issues presented today, whether this land is suitable for a data center. That cannot be side-stepped. Your regulations spell out, the Plan Commission shall, not maybe, only recommend approval of a map amendment if the specific property in question is suitable for

the uses permitted under the classification sought — data center is one of those classifications — and, if it would be in the public interest. Therefore, because 9-9-2 includes data centers as one type of reported permissible use, this applicant is required to prove, and this Board is required to find now, before any zoning request can be granted, that such use of this land meets two tests — this land is suitable for a data center, and putting a data center here would be in the public interest. They have made no effort, at all, to meet either one of those tests. This Commission has presented nothing to match up to either one of those tests. Consequently, there is only one action you can take. The burden has not been met, this rezoning request has to be, should be, denied."

Chairperson Chhatwani swore in Nadeem Rahman (1254 Hunters Ridge East, Hoffman Estates) for Public Comment.

Mr. Rahman provided the following testimony.

"So I've heard a lot of people talking about the data centers and this and that, right. I am in an IT business. So I do a lot of research and try to get information about different things, not just the data centers but how it impacts the area, the city, and people living around it. I personally live pretty far from the data center, and I've done research about different areas, Naperville and other areas, where people have come forward about how the data centers have impacted their lives, not just from the perspective of noise, but pollution and the water system too. A lot of these folks living across from the data centers and the proposed data center site have that same issue. My niece lives in South Barrington, and they have a well system for their water. The data center, maybe not today, maybe not tomorrow, 10 years from now, would have an impact on the water system as done by many scientists too. So, based on some of the issues some of these guys have raised, and based on my knowledge, I would completely agree with these folks to not put a data center even though I am, I use a lot of AI, I use a lot of systems, but based on my knowledge and my experience, I agree with these folks too. And by the way, I have used ChatGPT as well. Thank you."

Chairperson Chhatwani swore in Karen Trzaska (501 Pondgate Drive, Barrington Hills) for Public Comment.

Ms. Trzaska provided the following testimony.

"I agree with so much of what was said, and I actually wanted to dig a little deeper on a couple of very important points that were raised. In the project narrative, it states that HE Holdings LLC "aka Karis Critical" intends to market the property for allowed uses in the M-2 district. It states that quote "This application is intended only to change the zoning of the subject property to better facilitate its marketing." The gentleman here in the presentation has specified that, that despite extensive marketing, even with the previous owners, they have not really had much interest. They want to spark redevelopment, improve their position in the market. They are looking to attract all these different people. They purchased the property in January of 2025, and yet in the *Real Deal* article of February 24 of 2025, "Anthony Iatarola's grand vision for a mixed-use campus of more than 1000 homes and commercial retail in Chicago Northwest Suburbs has been replaced with a haul of cash from a data center developer. Iatarola's firm 5A7 and its affiliates sold more than 180 undeveloped acres in Hoffman Estates for \$45-million to a venture of Naples, Florida-based Karis Critical, which will prep the land for a data center operator, according to public records and the seller. The high prices being paid for development sites by data center players proved too tempting to stick with the plan, while Plum Farms required timing the housing and commercial market as well as negotiating complex tax-increment financing incentives with

local officials in order to get utility service to the development site. Data center firms are shelling out big bucks for real estate as they scramble to provide more computing capacity," etc. That was a month after the purchase of the property, so a month of marketing. Wow, that's pretty, um," (the petitioner's voice trailed off).

Ms. Trzaska continued: "March 1, 2025, that same publication again repeated that the firm sold more than 180 acres in suburban Hoffman Estates to Florida-based data center player Karis Critical. One of the quotes, "The deal put so-called Plum Farms housing and retail plan to rest after it encountered a legal challenge which the development overcame as well as uncertainty over an infrastructure cost-sharing agreement with the Village. Meanwhile, Karis aims to prep the site for data center development." There are numerous articles stating that Karis fully intends on building a data center, so this is not hypothetical. This is not maybe. This is not let's see what happens. We'll roll the dice. By the way, I live in a neighborhood that just fought off a data center a couple of months ago and who knew that just another couple of months down the road we'd be doing this same thing just a mile or two away from us. And I just want to reiterate, because I think it's worth reiterating, in considering a map amendment, the Plan Commission shall only recommend approval of a request if it finds that the request for the map request is in the public interest and not solely in the interest or benefit of the applicant. I think we can clearly see this is purely in the interest of the applicant. They have been planning this since the purchase of the property, if not prior. They have and always have had the intent to build the data center, the third in this area. The rezoning change is clearly in their best interest and the benefit of the applicant. This is clearly an easy win for Hoffman Estates. I imagine, this is my understanding, it's fast and easy cash to the Village. However, like we were told in Barrington Hills, this is going to be such a tax savings, property tax savings for the village, but they've already been here for several years, and it's my understanding that the real-estate tax, property taxes have not only either stayed the same or they've actually gone up, so where's the benefit? These incentives don't even reach the residents, if at all, for possibly 8–10 years and that's just dealing with the property tax benefits that they purport, not to mention all of the increases in the energy costs, etc. And what cost is that to the residents, visitors, and wildlife in the area? I don't want to repeat other things. I do think it's offensive to be told no conceptual development plans have been prepared when it's clear that the data center is the intent and even if it weren't, the addition of data centers falls under the numerous zoning classes, it's not just the M-2. Looking at the amendment that was done I believe in 2022, data centers fall under numerous zoning classifications, so it's not just the M-2. This is something that could be zoned in several other classifications as well. Rezoning this area to manufacturing or anything other than its current zoning designation makes no sense to this area, which, as stated, is surrounded by residential neighborhoods, wildlife habitats, retail, and dining areas enjoyed by residents from all over, not just Hoffman Estates. Thank you for your time."

Chairperson Chhatwani swore in Collin Corbett (309 N Williams Drive, Palatine) for Public Comment.

Mr. Corbett provided the following testimony.

"My name is Collin Corbett. I am here because a number of good friends who live in Hoffman Estates asked me to come out and support the efforts. I'm also an independent candidate for governor, but that's not why I'm here. I'm here to stand with the Hoffman Estates residents and, instead of talking about where I stand on data centers, because nobody here cares, I instead wanted to provide value to this discussion, so I engaged my former company to conduct a poll of Hoffman Estates residents. Some people in the room may have gotten that flash poll over the last 24 hours. I am here to share those results in the event that they may

be helpful to these proceedings. The flash survey was taken over the last 24 hours, getting 635 responses solely from Hoffman Estates residents. Ninety-two percent (92%) of the responses were from cell phones, and the margin for error was +/- 3.85%. We asked only one question. I will read it to you for transparency. The question was: "Hoffman Estates is currently home to two major data center campuses, Compass at the former Sears property and Microsoft near Bell Works. A third data center is being considered at the Plum Farms site at Route 59 and Higgins Road. On Wednesday, June 3rd, the Hoffman Estates Plan Commission will meet to discuss rezoning the Plum Farms site from Commercial Mixed Use and Traditional Neighborhood to Manufacturing, which would allow for an additional data center campus in Hoffman Estates. Do you support or oppose rezoning this property for another data center campus?" The responses we got back were overwhelming. Only 7% supported the rezoning while 90% of Hoffman Estates residents opposed it. That included 86% who were very opposed. I have done thousands of polls in my life and I have never seen numbers this overwhelming. All demographics were nearly unanimous in their opposition, especially young people 44 and under, who 95% of them opposed. And this is not a partisan issue, it was bipartisan. Ninety-two percent (92%) of democrats opposed, 89% of republicans opposed, 89% of independents opposed. We will provide the script and all data to anyone who would like to have it for transparency's sake. I will also be posting it this evening on my social media. With that I will thank you all for your time. I know you get a very small stipend for being here. It's not enough, so thank you for your service and I certainly will hope that the data we provided will be helpful as you decide what to do here. Thank you for your time."

Chairperson Chhatwani swore in Sam McKenzie (179G Tamarack Lane, Barrington) for Public Comment.

Mr. McKenzie provided the following testimony.

"I agree with everything that's been said before me about the dangers of what this could be done if this property should be rezoned to M-2. Something that I just think bears mentioning is the disingenuous language that's been used in the responses to the questionnaire that you have in order to consider this rezoning. Even according to the petitioners' map that's up above us right now, they claim that in all four cardinal directions it contains vacant land. They suggest that to the north there's vacant land that includes forest preserve, to the east they end with vacant land, to the south they include vacant land, and to the west they also claim vacant land parentheses forest preserve. That language, at all, is disturbing to me in general. To suggest that forest preserve is vacant land is to suggest that something we've designated specifically to beautification and public use and in order to preserving the environment around it, is just space that's left empty for no particular reason. Sorry I get a little bit nervous public speaking. I think that everybody before me has iterated multiple times and I will say again that this land is surrounded by things, and people, and life that's necessary to maintain being around this land. My home, I met one of my neighbors today by coming up here, is within one-mile of this property. I have a ground well that could be poisoned by rezoning this to industrial M-2. There's waterways that run directly through the center of the property that would absolutely be affected by rezoning this. Whether or not it's a data center, whether it's Amazon with a bunch of trucks, it doesn't matter what's placed there. Rezoning this to non-residential puts that burden on the people and the businesses surrounding that property. I don't appreciate the accusation that all the land around this is vacant as is put in front of us right now and that's all I have to say. Thank you."

Chairperson Chhatwani swore in Bob Moynihan (1465 Falcon Lane, Hoffman Estates) for

Public Comment.

Mr. Moynihan provided the following testimony.

"I agree with everyone that's spoken up here, so I am gonna keep this short, but I do have a couple questions because you did say they were gonna be up here to ask questions. Would you still be interested in the land if they took out the provision for data centers?"

Mr. Norton responded: "We already own the land."

Mr. Moynihan continued: "I know, but would you want them to rezone it if they took the provision that you could not put the center there?"

Mr. Norton answered: "I cannot answer that question. I need to get," but was interrupted by Mr. Moynihan who said, "I know you can't." Mr. Norton continued: "Sir, can I finish my answer? I am the attorney for the owner. I don't make binding decisions on their behalf when it comes to issues like that, so I would have to get direction from my client on that."

Mr. Moynihan continued: "I guess that doesn't make sense to me. If you say that the zoning is the big issue, and you have multiple other types of businesses/manufacturers, it's not just data centers, so I guess my question, still, I'd like that answered for the Board's sake. The other thing is, when the campus came in over at the Sears center, it came in kinda hot and no one really knew about it. The question I have is, they said that the water on the place with the stream and the pond would take care of it. That type of center takes about 5 million gallons a day to use - of water. I don't think that stream and that pond are the ones that are gonna take care of that. So I guess my question is who's going to be paying for that, but it appears we are. So I guess that was my question — why we didn't look into this before and why we're not continuing with it. I appreciate your time. I know you guys are up here asking questions. We do appreciate what you're doing and allowing us to speak. Thank you."

Chairperson Chhatwani swore in Heidi Scheuer (1789 Dogwood Court, Hoffman Estates) for Public Comment.

Ms. Scheuer provided the following testimony.

"I agree with everything that has been said. In addition, I think the Village needs to look beyond the cash cow of these data centers. I live less than a half mile from the Microsoft data center. I am concerned about my water, my electricity, the value of my home — is the Village going to reimburse me for the extra expenses? I doubt it — and the environmental hazards on the land, not only over by me, but now you're talking about South Barrington. I recall not so long ago the Village, either South Barrington or Hoffman Estates, was so outraged at the idea of a grocery store of Meijers being put in there, but it's okay to go ahead and put in millions of dollars worth of data centers, no problems, no questions asked. My question to the Board to think about is what happens in ten years when this technology is obsolete? What happens to those buildings? Do they just go empty like all of the various buildings that are empty in various strip malls in The Arboretum and in different locations? We claim that Hoffman Estates wants to be a green village. This is not green at all. You're destroying the Village, you're gonna make people move out of the Village, you're gonna lose tax money for that, and I don't think you realize what an impact that will be. Mr. Harner, you say, "Oh, well we only have one M-2." We don't need to look at the quantity, we need to look at the quality of life in Hoffman Estates. That's what it needs to be. Thank you."

Chairperson Chhatwani swore in William Bierer (11 Windemere Lane, South Barrington) for Public Comment.

Mr. Bierer provided the following testimony.

"I live less than a mile from the Microsoft data center on Lakewood Drive there, and it's a tremendous eyesore. It consumes enormous amounts of electricity. I work for an electrical engineer, I work for a large German company, I know about electricity and seeing the amount of usage in that data center that's gonna be used is overwhelming. At least seventy (70) jurisdictions across the US have rejected or outright moratoriums on new data centers and this was just in 2026 — there's been seventy of them. Last year, there was like ten (10), now there's seventy (70) so far, half-way through the year. This is a very active thing that's going on across the country, as you know. There's states now that have moratoriums on data centers and the reasons are obvious. I agree with everything people have said so far: the massive power demands, the water consumption, the noise pollution that are associated with these data centers. We don't need to see another data center in our neighborhood."

Chairperson Chhatwani swore in Michael Irizarry (29 Rolling Hills, Barrington Hills) for Public Comment.

Mr. Irizarry provided the following testimony.

"My name is Michael Irizarry. My wife Christine and I live at 29 Rolling Hills Drive, Barrington Hills. Just to get to the point, I agree with everything that was said. We ask you to deny the rezoning, at a minimum table it. Your staff findings recommend approval, but look at what they actually evaluate. Four things — the land is vacant, nobody developed it, and what surrounds it. That's all. No findings about the actual use, that's reported to be a data center, but we don't know. There's no finding on traffic, noise, water, stormwater, lighting, forest preserve next door, impact on the wetlands — not one study? No impact? The process is backwards. You need to get a plan, do those studies so that you make a decision that's not in the dark and that's what you're doing. You're appointed to make sure you take care of the community, and we ask that you deny and do the right thing for us. Thank you."

Christine Irizarry was next on the list to speak, but agreed with all comments from the previous speakers and chose not to address the Commission at this time.

Chairperson Chhatwani swore in Tena Bucalo (25 Aztec Court, South Barrington) for Public Comment.

Ms. Bucalo provided the following testimony.

"Thank you for taking the time to listen to everyone today. I grew up in Aurora and I watched the devastation and the rules that were put in place. I have a lot of family that lives out there today and I beg Hoffman Estates to take a good look at their process, their pain, and the new structure that they put in place to prevent these data centers from getting too close to public. I live, if you look at the right side of that line." (Ms. Bucalo referenced the map on the screen.) "I live less than a quarter-mile from what would be this property, so I don't want a data center that close. I'd also ask that you take a look and study today what's happened with the Compass and the Microsoft facilities. Late at night, I hear a whine and I don't even believe that Compass facility is up and running yet. I think we need to study what are the damages possible and what are the living conditions for those of us that are close. I appreciate your time, but please, don't make it M-2 it just opens the door - there's a lot of facilities listed there that would not be good neighbors, and we're very, very close. Also, our

area desperately needs housing; my son's a builder and my husband's been a builder in the area for forty (40) years. We desperately need land for housing. There is very, very little and that people are fighting to try to get properties now, like two and three people, and I can't believe that there's a problem getting a residential builder to take up that one property. Thank you."

Chairperson Chhatwani swore in Kevin Gregory (23 Denali Court, South Barrington) for Public Comment.

Mr. Gregory provided the following testimony.

"Just a couple points. Most of the things that I wanted to say have already been said, I don't need to say them again. I do think it's important to reinforce the fact of what I believe your responsibility as a Zoning Board to be, and I'm taking it right from the amendment's ruling. "The Planning & Zoning Commission shall not recommend the adoption of a proposed amendment unless it finds the adoption of such amendment is in the public interest and not solely for the interest of the applicant." Everything I've heard and hopefully everything you've heard tonight has shown this is not in the public interest, and hopefully, not hopefully, but most of the things that I've heard have shown what the benefit is to the owners of the property, which is not the way it should be. The other thing that I want to say is, I'm relatively new here, I've only been here about three years and I come from Kentucky. In Kentucky, especially the area I was living in about ten years ago, Amazon started coming in, and they bought all the land, and everybody was, all the cities in the area, were basically rushing to give them the land so they could build their 5 million square foot facilities. Today, they've downsized all those and these 5 million square foot facilities are all sitting there vacant. They have no idea what to do with them. I recommend, or I truly hope that you as a Zoning Board will take into consideration that this is just a flash in the pan, not something that is gonna be long-term and deny this motion or this amendment."

Kristen Barton was next on the list to speak, but agreed with all comments from the previous speakers and chose not to address the Commission at this time.

Chairperson Chhatwani swore in Aphrem Danha (1360 Mayfield Lane, Hoffman Estates) for Public Comment.

Mr. Danha provided the following testimony.

"May I ask a question to the Board? It's not a gotcha question, I'm just curious. I was in heating and air conditioning. I was a part of the Pipefitters Union. Have any of you been inside of a data center that huge? Can you answer? I don't...you can't answer?"

Attorney Quance responded: "It's not questions of the Board."

Mr. Danha continued: "Okay, fine. Well, I'll just give you my experience. I worked, and we tended to the units to the three data centers, I think it's actually four, in Elk Grove. One is right off of 83 and Nicholas Boulevard, the other is about half a block over. Another one is right off of Higgins close to Lively Boulevard, that one was under construction — we were installing a lot of units over there. Just to hammer the head a little bit more, we used Liebert units, my company — I don't want to give the name of the company because I don't want to throw them under the bus; they were good to me while I was there, but they're the only company that can use Liebert units which are the premier units to heat and cool data centers. The sheer size of these buildings compared to the proportion of employees is a

joke. We would have more people there to maintain the units than I saw people working, and we would go in there during the daytime, we're not there at night. I would be on the roof, I was inside of the actual data center where you actually have to ID and get training and get special clearance to get in there. This room isn't even a quarter of the size of what they held for one room of server units. It's absolutely ridiculous. They were all water-cooled. It just doesn't make any sense and I would suggest, for you all, and for the lawyers as well, if you could just try to get inside to see how enormous and what a waste of space it is. I probably saw, during my time there, six to eight employees at a time, and this is a gigantic structure. I agree with everything that everyone else here has said. It's gonna mess with the power like crazy; the humming is unbelievable. And something that probably, unless there's another HVAC tech here, I'm probably the only one who knows this, when you're up on that roof, the amount of heat that gets just rejected off that roof is kind of amazing. I actually got sick cooling units on the Microsoft unit on the other side of the one from Nicholas Boulevard because it was so hot and the heat was unbearable. Even though I was drinking gallons of water, I couldn't keep up. So what I'm here to do is, I'm a newer resident to Hoffman Estates. I just want you guys to do all your research and listen to all of us. If you haven't gotten into a data center, please go look. It's gonna open your eyes. It's basically a giant box. There's nothing in there. We don't need more AI, we don't need more technology, we don't need another building that's gonna get abandoned in a couple of years. The main reason why I came here today is, we just purchased our home, and I'm very proud to be able to do that, and I've got two kids, they're four and seventeen (17) months, I call them the hurricane and the tornado. They are why my beard is going gray, but I love them very much and just watching them in the backyard is just a proud thing for me to be able to provide them. We go to the forest preserves. On our honeymoon, my wife and I were crazy...we like to do outdoor activities, so we went to Greece and hiked the biggest gorge and walked up the mountains. I wanna be able to do that forever, I wanna be able to take my kids to those forest preserves, at some point. I wanna be able to go to Goebbert's Farm without having to think what's a little bit further down the road. Having been in those places, and seen the equipment and worked on the equipment, I just want you all to take a serious interest in actually getting yourselves in there and taking a look around. It's a gigantic box. There's nothing in there. It's a waste of energy, it's a waste of water. The dangers themselves 10-15-20 years, doesn't matter. Anything that poses that type of a danger is not worth it. So that's all I really came to say. You have my information. If you want more information from me, I'm happy to answer if you email me. I actually remember the layout of these places, and you have to basically walk like half a mile, maybe not half a mile, no you know what, half a mile to get to one of these rooms where the servers are even located, and the rooms are hundreds of yards along the walls and basically all the wall space is these units, and then in the middle of the room, you have the servers. It doesn't make sense. At the very least, if you walk away from this meeting, for all of you try to get into a data center that would probably open your eyes, and for you all as well, because, while maybe you can't answer questions on data centers, and you're not really here for a data center. Thank you."

Karsten Reis was next on the list to speak, but did not step forward to address the Commission at this time.

Chairperson Chhatwani swore in Maria Peterson (125 Carriage Road, North Barrington) for Public Comment.

Ms. Peterson provided the following testimony.

"Like another person, I am a candidate for Illinois House District 52. I currently serve as the

Vice Chair of the Lake County Zoning Board of Appeals. I also served as a board member of the Citizens Utility Board, where I learned first hand what it means to protect rate-payers from unchecked cost of industry. I want to be clear; I am not anti-technology. Data centers are necessary infrastructure as artificial intelligence becomes part of our daily life. However, it does not mean that you put it in any location, under any terms, without any conditions. The Plum Farms is simply the wrong location. The site is directly adjacent to residential homes and across the street from residential homes. The families who live there did not choose to live next to an industrial facility that runs 24 hours 7 days a week, generating continuous noise from cooling fans, chillers, and diesel generators that never stop. The original vision for this property was housing and retail, a development that served the surrounding community. A data center does not. I ask you to be vigilant about how this project is being structured. Ms. Trzaska alluded to this earlier. The applicant before you tonight is HE Holdings, LLC, a name that tells you nothing. This is a common industry tactic. Developers use shell companies to conceal whether the ultimate operator is Meta, Google, Amazon, or another giant tech. And community after community village councils have quietly approved TIF districts, zoning changes, and annexation agreements, all while being bound by non-disclosure agreements that deem every action strictly confidential, for the sole and exclusive benefit of the developer. Do not become the agent of the developer. Your responsibility is to the community. The impacts on the quality of life here would be severe and permanent. These facilities drive up utility costs for every rate payer in the region. Costs that must be borne by the developer, not the public. And water — a single large scale data center can consume more water than 500,000 homes. This site borders Barrington Hills, a community that depends on local aquifers. I urge you to prohibit any tapping of our vulnerable groundwater sources. It is unfortunate that State legislation to establish comprehensive data center siting guidelines did not pass this session. That makes your role tonight even more important. In absence of State guardrails, you are the last line of protection for this community. I ask that this Commission deny this zoning request. This is not the right place. The residents of Barrington Hills and South Barrington will be watching. Thank you."

Chairperson Chhatwani swore in Brian Chen (1762 Westbury Drive, Hoffman Estates) for Public Comment.

Mr. Chen provided the following testimony.

"I'd like to start off by saying I would like to thank the Board for the opportunity to share my comments. Now, to begin, the word data center has been getting thrown around a lot. And I do have to play devil's advocate. Technically, legally speaking, we don't actually know what's going to be built on this site if it gets approved. Happily, no other option in the M-2 zoning district makes sense either. M-2 is light industry, that means data centers, potentially, also Amazon warehouses, recycling centers and also shipping depots. Does anyone want a shipping depot in their backyard? Anyone? Would anyone like to hear the roar of 18-wheelers going by as they're walking in the forest preserve? How about choking down some diesel fumes as you eat your favorite meal outdoors? No? Because that's exactly what's going to happen no matter what gets built here. It will mean noise, it will mean traffic, it will mean pollution. It does not matter if it's a data center or anything else. This rezoning will open the gateway to all those harms. Now, it is true that an empty lot doesn't benefit anyone, but consider this — the absence of something harmful can itself be a benefit. Thank you for your time. Please reject this proposal."

Chairperson Chhatwani swore in John Altstadt (4 Aztec Court, South Barrington) for Public Comment.

Mr. Altstadt provided the following testimony.

"I agree with what everybody else has said here. I'm against a data center, but I'm most concerned when I was listening to everybody, what I think Lon said earlier, or the question he had earlier, which was, if we approve this M-2 zoning we can still come back later on, and it has to come back to the zoning group for approval of certain aspects of development of that land. And that was said as true. The problem is that when it comes back, it cannot be rejected because it's a data center or because it's a light manufacturing center, or because it's a warehouse. Right? You've already said yes to that. You can say there's certain aspects of the building that need to be modified in order to be able to accommodate it in that land, you can define regulations to, on the way that building is going to be made and used, but you cannot, after rezoning it, say because of the backlash you might receive regarding a data center if that's what gets put there, you cannot say no because it's a data center. You are saying yes to any light manufacturing, data center, warehouse, that might be requested to move there. Now I've built a couple of manufacturing facilities myself in my career. I've gone before zoning boards in various townships, or our attorneys have, and requested rezoning for our facilities. The process that I have always seen happen is that the company requesting it comes forward with a plan as to what the use of that building will be — what it's for, what it's gonna look like, what's going to be inside the building, etc., right, so everybody understands what's gonna happen on that piece of property. I've never experienced a situation where somebody's saying I'm gonna give a green light to anything within the boundaries of the classification then to, to come in here without any understanding of what that's going to be. I think that's, having been there and done that, I think that's ridiculous. I think that's irresponsible. And for people who live in the general vicinity, or in Hoffman Estates in general, I think it's a disservice to the citizens of this area. So I would respectfully request that you deny this request, again, considering the fact that you are not gonna get another chance to say no to whatever it is other than just for the sake of, or just for focusing in on how that particular building or use is going to be modified to fit that property. Thank you very much."

Chairperson Chhatwani swore in Peggy Houlihan (31 Aztec Court, South Barrington) for Public Comment.

Ms. Houlihan provided the following testimony.

"We've listened to a lot about data centers. I live directly across the street from the property, so we're talking about a few feet. And I just don't think, a data center certainly is an issue, but so is the zoning for any type of facility such as warehousing, such as all the things that are mentioned here - manufacturing, processing, assembly, fabricating. We can have warehouses operating 24 hours a day if this type of zoning is allowed. Route 59 is a very busy highway, we already know this. Where would all this traffic go to? Would it go out onto Higgins or would it come out onto Route 59? Property values would plummet for the people that live in The Woods of South Barrington, and being in an over-55 community, we are in no position to watch our property values go down. I think that any type of zoning, two zoning, would be totally incorrect for this area. I worked several years ago when it was rezoned, when I bought my home 15 years ago, that was Barrington Hills, then it became Hoffman Estates, and then we went into very high-density real estate and I worked on a committee that was able to amend that a little bit so it wasn't so bad, and now we're at this point again. But to have it rezoned as an M-2 in any way or form, data center or no data center, would just be totally, do nothing but hurt our community and hurt Hoffman Estates. It could be a business center, an office center. We have so many of them in the area that are beautifully

landscaped, you have buildings that are just one-story, two-story, walking paths for the people that work there and they're lovely. Why could it not be something like this? If it's not gonna work, for homes and it's not gonna work for all this manufacturing, why can't it be something else like that? Just not something that is gonna hurt the community, or hurt the people who live here. Thank you."

Marty Lazarus was next on the list to speak, but did not step forward to address the Commission at this time.

Chairperson Chhatwani swore in Kelly Paulk (5983 Mackinac Lane, Hoffman Estates) for Public Comment.

Ms. Paulk provided the following testimony.

"I'll start by saying that I agree with everything that has been stated before us today. I have all of these same concerns that the residents of each community that has come out have shared with us. Currently, I reside in the Beacon Pointe subdivision where the construction for the Compass data center started. It actually started directly behind my house towards the end of 2025. Now, even before they started the construction behind my house, we had the disruption of all the explosions of them tearing down the Sears campus. Those explosions shook my house even though I am over a mile away from that land. I have cracks in my walls that weren't there before. I can visibly see the damage that the preparation for the data center caused. While I know that this land doesn't require any demolition, there are steps that will have to be taken to prepare the land, if in fact the data center will be on this land. My concerns are where are you pulling the power from, how much of Hoffman Estates will be affected by the electric company coming and tearing up our streets and leaving big potholes? I need a wheel alignment now because, no matter which way I go into my subdivision, I am affected by mass construction, who's torn up the streets of Hoffman Estates and there's nothing that we can do about it. I have to ride down these streets to access my home. Aside from that, there's the construction on Beverly Road that's been going on. This data center, if there will be a data center, would be really close to the Compass data center. I frequent the intersection of 59 and Higgins all the time, whether I'm at Target, whether I'm driving home from work, it's an intersection that's really close to my home, and I would have to drive past two data centers to get to my house. This isn't what I envisioned when I moved to Hoffman Estates, or my time here in Hoffman Estates, that I would be living somewhat in a manufacturing or an industrial district, especially with being so close to the entertainment district. It's an eyesore. I worry about the environmental issues that data centers possibly bring to the community and I just strictly, you know, urge you guys to consider everything that's been said here before you today and deny the request to rezone the properties presented for any possible data center usage or even manufacturing. I think it should remain mixed-use residential and stay in line with the corners that are there at this time. so, thank you."

Chairperson Chhatwani swore in Anthony Stagno (6 E Cove, South Barrington) for Public Comment.

Mr. Stagno provided the following testimony.

"I am also a Trustee in the Village of South Barrington and on various committees, like the Building & Zoning Committee and our Legal and Human Resources Committee, and I do attend a lot of the Plan Commission meetings. And, so I don't want to talk about data process because we were told this is not about data process center and so it's not for me to

speaking about that, I guess. I just want to give an example of how I would look at this as a trustee. What hits me the most, and it's kind of brought up before, is what is it that you're approving? And I agree with the person that mentioned you're approving an open-ended thing. Now the oath that we have to take says that we're gonna be honest and all that, but you know you always think that you're gonna talk about the what you're gonna say is gonna be truthful and tell the whole truth and nothing but the truth. Well, one of the truths here is the data center. I won't mention it anymore, I hope, but that whole truth was not discussed. But there is evidence that that is a big consideration of this and is one of the biggest reasons why this land was bought. So, we've talked about, oh and I am impressed at the speakers tonight. I'm beyond agreeing with them. I am impressed at the eloquence and how pointed they are to exactly what is the issue. So, again, and we also discussed what the heck are you approving? If they can't be open enough to tell you what their hopes are and all that, that troubles me a lot, and I cannot approve of the unknown. That is my responsibility to my residents and I hope you take it that way. It's not as a device as what to do. I'm just giving you information as how I would do it. It's not my place to tell you what to do. So that's it. If you have questions, please call me. You can call me at the village office or at my home. Thank you."

Chairperson Chhatwani swore in James Winski (1664 Foltz Drive, Hoffman Estates) for Public Comment.

Mr. Winski provided the following testimony.

"I am a 55-year resident of Hoffman Estates. I am extremely impressed by this community this evening. We've heard one person advocate for the building of a data center — the paid representative of the owner of the property. I have not heard one of my community members advocate for this data center and I take a moment to ask, is anybody here going to advocate for the building of a data center?" The crowd collectively responded, "No." Mr. Winski said, "Thank you very much."

Chairperson Chhatwani swore in Karen Daulton Lange (Flint & Spring Creek Watersheds Partnership - 11801 Ridge Road, Barrington) for Public Comment.

Ms. Daulton Lange provided the following testimony.

"On behalf of the Flint & Spring Creek Watersheds Partnership, we respectfully submit the following comments regarding the proposed rezoning of Plum Farms to the M-2 zoning district. We appreciate the Village's efforts to encourage development and recognize that rezoning request is currently conceptual in nature, without a specific site plan before the Commission at this time. However, because the rezoning would open the door to intensive industrial uses, we believe it is appropriate and necessary for the Commission to carefully consider a long-term environmental impacts and implications before recommending approval of the zoning change. Our organization's primary concern is the potential impact to Spring Creek, which runs right through the middle of this property, and the surrounding watershed. The subject property lies near sensitive natural resources, including forest preserve lands and tributary systems connected to Spring Creek. Once the M-2 zoning is established, the future development intensity could significantly alter stormwater runoff patterns, increase impervious surface coverage and elevate the risk of thermal pollution, sedimentation and water quality degradation affecting downstream aquatic habitat. We are particularly concerned about water usage associated with modern day data centers. The agenda materials do not specify whether a future data center development would rely upon groundwater drawn from the local aquifer or utilize the Village's municipal water system

supplied by Lake Michigan. This distinction is critically important. Potential impacts to groundwater levels, nearby wetlands, and storm stream basin flow should be clearly identified and publicly evaluated before any development proceeds. In addition, we encourage the Commission to consider the broader environmental and community impacts often associated with large-scale data center operations, including continuous operational noise, which has been said many times tonight, increased energy demand and expenses to the residents, light pollution from around-the-clock operations, which impact not only the environment but our animals that depend on nighttime to hunt. Potential impacts to adjacent forest preserve lands and wildlife corridors, increased truck traffic during construction and maintenance operations, and long-term stormwater management challenges associated with extensive paved and rooftop surfaces. In addition, aquifer recharge impacts due to potential destruction of the property's wetlands and increased impervious surfaces. We respectfully request that, prior to any final approvals for any change in zoning to higher intense use of manufacturing, the Village require comprehensive environmental reviews and transparent public disclosure, including water sourcing, and protected water consumption, stormwater detention and water quality protection, noise mitigation measures, wetland and riparian corridor protections, energy infrastructure requirements and backup generation plans and potential impacts to Spring Creek and downstream watershed resources. We also encourage the Village to consider whether additional zoning conditions, buffering requirements, or conservation easements may be appropriate to protect nearby environmental resources. The Flint & Spring Creek Watersheds Partnership, we support responsible development that is compatible with the ecological health of our watershed community, which the current zoning encourages. We respectfully ask the Plan Commission to ensure any development on the Plum Farms property proceeds only after these environmental questions have been thoroughly studied and addressed. Thank you for your consideration of our comments, and for your service to the community. Thank you."

Chairperson Chhatwani swore in Kim Van Fossan (5 Bow Lane, Barrington Hills) for Public Comment.

Ms. Van Fossan provided the following testimony.

"This has been a wonderful Village meeting and everyone has been very eloquent and, I think, very pointed, but I've been very surprised that no one has really brought up the health problems associated with a data center, and as a mother and a grandmother, that's one of the first things that I consider when anything like this would come into a community and would impact my family and the people that I love. And this is what they have to say about living near a data center. "Living near a data center primarily poses health concerns related to noise, air pollution, sleep disruption, and stress. Because these facilities run 24/7 and require massive amounts of electricity and cooling, they carry several notable health risks for nearby communities," and that was from US News and World Report. "Noise pollution and hearing damage — the continuous low frequency hum of industrial cooling fans and backup generators can reach 90 to 100-plus decibels. Long-term exposure has triggered lawsuits over irreversible hearing loss, tinnitus, and debilitating vertigo. Sleep disruption and mental health — persistent humming or structural vibrations often penetrate homes, interrupting sleep and causing chronic stress, anxiety, and panic attacks. Long-term sleep deprivation is heavily linked to cardiovascular and mental health problems. Air pollution — data centers rely on fossil fuel power grids and often use diesel backup generators or onsite gas turbines. These release fine particle matter and nitrogen-oxides which are heavily linked to increased rates of asthma, heart attacks, and cardiovascular disease. Light pollution — hyper-scale facilities frequently require intense, all-night security lighting that disrupts circadian rhythms,

making it hard for nearby residents to sleep." Then it says, "for further guidance, check the environmental health project, or read the Harvard TH Chan School of Public Health analysis for more insights on regional air pollution impacts." So I think that that's also something that really needs to be considered is that you're bringing health issues into the community as well. So thank you very much for your time."

Chairperson Chhatwani swore in Nabeela Syed (1310 Shire Circle, Inverness) for Public Comment.

Ms. Syed provided the following testimony.

"Thank you all so much for taking the time to hear the voices of the residents. I am State Representative Nabeela Syed, I represent the 51st District, which covers portions of Hoffman Estates and Barrington. Now I'm here on behalf of residents — I've had dozens of residents reach out voicing their concerns over this data center and wondering what we can do at the state level to stop a local development. And, as you may know, we've had legislation that has been proposed on data centers and one of the things that we keep hearing is wanting to preserve local control and I think that is the beauty of the gathering that we see here. There are people here locally, rooted in the community that are voicing their concerns and in the emails that we received, the biggest concern that we heard was the lack of clarity on what exactly the project is going to be. I think the lack of clarity results in gatherings like these where people are uncertain about what the impact may be on their health, on local infrastructure, on water consumption, so my request of the Board, and I will be very brief, is just to have a lot more clarity on what exactly that project will be before taking a vote on rezoning the property to ensure that people's voices are adequately heard in that process especially given the limited ways of using an M-2 property. Thank you all so much for your work and for your time."

Chairperson Chhatwani swore in Shahzad Kazi (12 Star Lane, South Barrington) for Public Comment.

Mr. Kazi provided the following testimony.

"Thank you, Madame Chairman and Plan Commissioners, for allowing me to speak. I am here as a property owner in Hoffman Estates and also as a Trustee, Village of South Barrington, representing my neighbors in Hoffman Estates and the community of South Barrington. One of the things that is missing in this discussion is the why. I am always there to ask this question on the why. Why do we want to rezone this property? We heard from the representative of the owners of the property as to why — of course, they want to market it better or get a better price, but from the village's perspective, nobody is saying anything about the benefit to the community. What about all the people sitting in this room? Why would we want to rezone this property? So that is something that is missing, and I would suggest that we should start the proceedings by highlighting the why. So let us assume for a minute there is no data center. So even if there isn't, the biggest thing here is there is no fate for manufacturing or industry in this location. We have high-end dining and shopping around the corner. We have nice homes next to it. Why would you want to set up a manufacturing facility in a location like that? So there's a question out there and there's no benefit to anyone. If you go down that path and say, "Well, any kind of manufacturing would have a negative impact," — vehicles would increase and heavy traffic, large trucks coming in, and you would see people coming in, workers in and out, traffic would increase, potentially, and road accidents, we have children going to school, there are community members, we have a forest preserve at the back, pedestrian traffic, so there is clearly an impact. Now assuming,

then, that that data center, which probably is not going to be built, but maybe, maybe not, but let's go down the data center assessments. A lot has been discussed about the various aspects, one being the environmental impact, heat generation, the water consumption. I haven't heard anybody talk about the electro-magnetic waves that are going to be generated, there always are, so as I mentioned that I can tell you that kind of electronic machinery there will be electro-magnetic waves. These can impact your cell phone performance and connectivity, it can also impact TV. There is no data available today on the impact of electro-magnetic wave generation from data centers and how it affects humans and animals, but there is a potential danger from that. Now we have discussed the impact of water consumption, so if it is groundwater, clearly there is going to be groundwater depletion. There is also the effect of recirculating that water — a lot of water has to be drained out. So where does that water go, and how is it gonna impact the water? The last thing I want to touch on is the economic impact to the community. Clearly, when there is manufacturing industry, and if it is a data center, which is likely a step above that, there is going to be an impact on the values of the homes around it. There's going to be an impact to the businesses, shopping, and restaurants around it, and it's clearly there, and the last impact that people have to think about is as your electric consumption goes up, and even if there is city water supply, the water consumption goes up, the infrastructure has to deliver. You have to make sure that tremendous amount of consumption increase has to be taken care of. That infrastructure cost goes somewhere. Who's gonna pay for that? It impacts utility bills. When the power consumption goes up, the utility companies come in and improve the infrastructure, and they make us pay. My cost goes up. So again, I would request that this Commission turn down the rezoning request and hopefully, you know work for the community because the community is here — we can see people in this room who are clearly opposed to the rezoning. Thank you."

Attorney Quance said: "Excuse me. If you could make sure that you sign in, there's a sign in sheet. I think there's one up there already."

Chairperson Chhatwani asked Mr. Kazi if he signed in. The recording did not pick up his response.

Chairperson Chhatwani swore in Kelly Mazeski (254 W County Line Road, Barrington Hills) for Public Comment.

Ms. Mazeski provided the following testimony.

"I am here representing an organization called Citizens for Conservation, that is based in Barrington Hills. And as President of the organization, I am speaking on behalf of the organization, and we are respectfully submitting the following comments. For more than 50 years, Citizens for Conservation has worked to preserve and restore the natural heritage of our region through land conservation, habitat restoration, environmental stewardship, and community education. Our mission is rooted in protecting the ecological integrity of the landscapes, waterways, wetlands, woodlands, and wildlife that contribute to the quality of life in our communities. It is through this lens that we offer our comments on the proposed zoning. The Plum Farms property occupies landscape that contributes to the broader network of natural resources in the area, including wetlands, wildlife habitat, groundwater recharge areas and tributaries associated with the Spring Creek watershed. These resources provide ecological functions that extend beyond property boundaries, including water filtration, flood attenuation, habitat connectivity, and support for native plant and animal communities. Of particular concern is the potential increase in impervious surface

coverage that could accompany large-scale industrial development. Extensive rooftops, paved areas, and associated infrastructure alters natural hydrology, increased stormwater runoff volume reduces groundwater infiltration and negatively affects downstream water quality as well. Such changes may impact wetlands, streams, and aquatic habitats that depend upon healthy watershed functions. We are also concerned about the substantial water demands associated with industrial use like this. The agenda materials do not indicate whether future facilities would rely upon groundwater resources, municipal water supplies, or a combination of both. Understanding projected water consumption and its potential effects on local aquifers, wetlands, and stream base flow is essential to evaluating the long-term sustainability of this development. Consistent with Citizens for Conservation's mission to protect and steward the region's natural resources, we request that the Village require comprehensive environmental review and transparent public disclosure regarding water sourcing and projected water consumption, groundwater and aquifer impacts, stormwater management, water quality protection measures, wetland, woodland, and habitat preservation strategies, wildlife corridor connectivity and biodiversity impacts, noise, lighting, and operational mitigation measures, and long-term impacts to the Spring Creek Watershed and surrounding natural resources. We encourage the Village to evaluate opportunities for conservation easements, enhanced setbacks, buffering, habitat preservation areas, and protective measures that help maintain ecological functions and compatibility with adjacent open space and conservation lands. We respectfully ask that the Plan Commission ensure the environmental consequences of this proposed rezoning are thoroughly reevaluated, and that appropriate safeguards are established to protect the land, water, wildlife, and natural resources that are vital to the long-term well-being of this community. Thank you."

Chairperson Chhatwani swore in Frederic Petit (728 Buckingham Court, Hoffman Estates) for Public Comment.

Mr. Petit provided the following testimony.

"I've got a couple questions for you — have you been provided by the applicant with a report containing what is called, in general, a due diligence? Okay. I used to work in computer industry, to select products to be deployed in my company and I had to do what is called a due diligence, and actually it's one of the first process I used when I came to this country. If I didn't do the due diligence, I could lose my job. It was as simple as that. And the due diligence is really to study and analyze the proposal and see the consequences and try to determine what we can expect and if, down the road, something happened in the project that could have been negative that could have been determined and detected in the due diligence process and not have done that, I could lose my job. So, if this applicant has not provided any due diligence report, there is a problem. It's not professional, it's definitely not professional. Okay, now it's just one thing regarding this technology itself, as I said, I'm from the IT industry. This technology has some issues, serious issues. When you look at that, there is two sides — there is the user side and there is the production side. On the user side, we can all see it's pretty good — it's ready for primetime, right, and when you do due diligence, it's one of the things you have to determine — is it ready for primetime or not. Are they trying to sell you something that needs additional work or not, right? On the user side, it's ready for primetime. On the production side, I will say you've got a lot to do. You need to go back to the drawing board because we heard that you are producing so much (a lot of heat) — can't you try to capture that heat and do something? Don't you think that we've got enough global warming creating so much trouble? Your technology, it definitely needs improvement. Massive improvement. So what is your investing plans for doing that and doing proper research for that? Now same thing for the water - got to find a way to cool it

down. I mean it's ingenious in this country that are pretty good — what are you waiting for? Do you have a plan? Those guys, they need time to improve, which means we need to give them time and I will say on AI, I like AI, but you need to go slow and to slow down, right? Because a lot of people are clearly abusing this stuff. It's not possible today, we need to be careful with that, and we need for them to go back to the drawing board — we need to give them time to do that. Thank you very much."

Chairperson Chhatwani swore in Matt Hokanson (215 Plymouth Drive, Streamwood) for Public Comment.

Mr. Hokanson provided the following testimony.

"One question — would you mind pulling up the image that has more of the aerial photo on it? I do have a question for the representatives for the company — if, since the land has already been purchased, and we're looking to rezone it into an M-2 state, if this is not successful, do you have knowledge of what the plan would be if this rezoning is not successful?"

Mr. Norton responded: "I don't have a Plan B right now."

Mr. Hokanson continued: "I represent both the Citizens for Conservation and the Flint & Spring Creek Watersheds Partnership, but also as an 18-year volunteer and involvement in the community of Barrington Hills, and represent the Spring Creek Stewards, a group of volunteers that has been helping manage the Spring Creek Forest Preserve, just adjacent to this parcel, since 2004. So for eighteen (18) years, I've been part of not only helping volunteers manage the land, on an almost weekly basis, but then out there doing lots of wildlife monitoring. And to the point that this is gonna impact not only, I agree with all the problems that's gonna happen to the community, the residents, what's gonna happen with the commercial environment around it, but to speak of how much this will directly impact Spring Creek Forest Preserve itself, it will have an extremely high impact. To know that the creek runs directly through this parcel, running north, so the forest preserve is downstream from this. So with any of the impervious surface that's put in, whether it has to be stormwater retention to mitigate for that, the amount of wetlands that on here are gonna have to be mitigated for, it will have a significant impact on the hydrology in the forest preserve long-term. Even though this is a project that, likely, most of us will maybe see in our lifetime, there will be impacts beyond all of our lifetimes through the rezoning of this property. Does not matter whether it's a data center, does not matter what happens to it. The type of rezoning that is being requested of this parcel will have an immediate and direct impact on the forest preserve and the residents around it, so I personally ask the Commission to rethink the decision to rezone this and not have it an M-2 parcel. Thank you."

Chairperson Chhatwani swore in Ben Pollard (179A Tamarack Lane, Barrington Hills) for Public Comment.

Mr. Pollard provided the following testimony.

"So I'm representing myself as the resident who lives less than a mile away from this location, and I'm also representing the owners of The Arboretum and the same owners of a lot of real estate in Hoffman Estates as well. Part of what they own, and what we own in Hoffman Estates, is directly across the street from the Compass data center, I won't go into that, but we do not want a data center, and we oppose this being rezoned. From everything that's been said by everyone behind us, we don't want it. We want to strongly say "No" to the

rezoning of this. I also have a question for you guys. Do we know how much of the is it 186 acres, how much of that is wetlands and unusable?"

Mr. Norton responded: "I don't have that information with me. There is a significant wetland complex in the middle of Lot 1 and some of that carries over to the other lots, but there is a significant wetland complex in the middle of the site."

Mr. Pollard continued: "Okay. When you do zoning, is the wetlands typically disclosed in there, and pulled apart from everything, or is it all included into like if it changes to industrial, can those wetlands are they always protected or is that..." (The speaker stopped his question at this point and Mr. Norton answered).

Mr. Norton stated: "That would be something that the engineers engaged by a future end-user would determine. My guess is the size of that wetland complex is something easier to work around and leave intact largely."

Mr. Pollard continued: "Okay, so the end-user decides what happens with the..." Mr. Norton interrupted: "Well, the Village will decide; eventually the end-user will hire an engineer, and they will prepare plans for what they propose to do with respect to the wetlands, and that will have to pass muster under Village codes and be reviewed by staff, Plan Commission and the Village Board and be approved by them."

Mr. Pollard continued: "Okay. That was all we had. We'd just like to say we are against it. Thank you."

Chairperson Chhatwani swore in Jesse Ludtke (665 Randi Lane, Hoffman Estates) for Public Comment.

Mr. Ludtke provided the following testimony.

"I would like to preface this by saying that I do have a fear of public speaking, so if I do stutter, or anything else, I do wish to be excused from that. Me along with my friends, who have thankfully joined me, are here because we believe that this subject site as shown in the image is almost definitely going to be built as a data center. From my best, from my knowledge of the company that has bought this land, they are a data center developer, and that is what they will most likely use this for. Not only that, is it damaging to the water, will it raise electricity, but the noise itself will not only hurt the people living by, it will hurt the animals that live across the street in the western area right there that was so nicely labeled as vacant, but on top of that there is businesses that reside across the street that would also be negatively impacted. I doubt people would want to go to The Arboretum if there's a low hum in the area the entire time. That would almost definitely cause at least a few of these businesses to go out of business. That would cause a literal decrease in the amount of jobs in the area. I personally don't think this is a good idea and I will leave it at that."

Chairperson Chhatwani swore in John Picchiotti (Behalf of Senator Darby Hills, 795 Ela Road, Lake Zurich) for Public Comment.

Mr. Picchiotti provided the following testimony.

"I want to start by thanking you for holding this hearing and thanking everybody who spoke. It's great to see the public come out to something like this. This property, the Plum Farms property, is in Senator Hills' District's most southern portion, and we have been hearing from

constituents who live in Hoffman Estates, South Barrington and Barrington Hills, who have all shared the concerns we have heard here today, some of whom are here today. This is an issue we are seeing pop up more and more in the state. There is a data center that is, you know, being talked about in northern Lake County. A few months ago there was a data center that was proposed to be in Barrington. And we hear similar concerns from our constituents about the Barrington proposal that had gone up, and in response to that, the thing I wanted to talk about today is that the Senator actually put forward a bill that would address a lot of the concerns and issues we are hearing today. Because of the concerns, she also feels that there needs to be a temporary moratorium on new data centers being built in the state so this can be studied more and that the state can make the right decisions about how to proceed with this. The bill number is Senate Bill 1050, which I encourage all of you to look at as it involves all of you in the audience, was filed by the Senator in response to the concerns we've heard from you today to ensure that local municipalities maintain control over decisions involving data center development. The legislation would allow counties and municipalities to establish standards related to the size, height, design and geographic concentration of data centers. The bill also strengthens local authority over where these facilities may be located and prevents a data center from being approved within three miles of residential communities or another municipalities' boundaries without that municipality's written consent. Additionally, Senate Bill 1050 gives local governments the authority to adopt protections related to water usage, water conservation, contamination prevention, water reuse, and noise mitigation. These are all issues we heard here today from the people that are here. The bill would also require public notice and at least one public hearing before a siting decision can be made, ensuring that the people can have the opportunity to weigh in on the projects that could significantly impact the neighborhoods. This is still an active bill, and we hope that it will continue to move forward through the legislative process, but these concerns are real, we've heard them today, and they need to be taken seriously, but also make sure that the local governments have the control to deal with this in the best way possible. So thank you for your time today and thank you so much, I appreciate it."

Chairperson Chhatwani swore in Chris Yomamoto (315 Dundee Road, Barrington) for Public Comment.

Mr. Yomamoto provided the following testimony.

"My name's Chris, I am a resident of Barrington Hills. I also run a small flower farm just about two miles north called Little Duckie Flower Farm, but I'm here because this is not exactly just a vote on rezoning, it truly is a vote about what this land is allowed to become, a lot of what other folks have said here. And once this is rezoned, a project of this scale, the community, and community is a fairly broad term, and I'm realizing now, is that that is you, the Board, and all the residents that are here, lose a measure of control over really what follows. And with data centers, the public is often just asked to accept something, big promise of jobs, technology, and really progress, without much clear accounting, as to what I am aware of. This also includes all power and water and a lot of the resources that folks have talked about here today. But most data centers, which is what I'm realizing, is not really about storing data for us, it is mostly storing data about us. You know we've heard a lot of concerns about the environment impact, including energy, how much of a strain it is on infrastructure, and those concerns really should give this Commission pause, as well as a lot of other communities here too. But this other concern that should not be ignored is really how rack space in these data centers may ultimately be used. With the increasing power these systems pull, they also generate a lot of low-quality AI content that I'm sure you guys

have seen around. They manipulate a lot of public trust, mislead older residents, weaken students' ability to think critically, as well as support tools of surveillance, warfare, and erosion of a lot of our civil liberties. These are not just some abstract concerns, they are truly a growing part of infrastructure or these data centers are a truly growing part of infrastructure behind these technologies that do affect real people, ourselves, local communities, even throughout the rest of the US. So a rezoning decision may sound local and sound technical, it's a vote, right, but these consequences are not small. You, as a commission, are being asked to open a door to really any industrial scale uses, to my understanding, and those impacts will extend beyond just the parcel themselves. This community should not be asked to trade land resources and long-term control for a project whose benefits remain unclear and also understand that those risks are very real. So as everyone has said here, I urge this commission to deny the rezoning. Thank you for your time."

Chairperson Chhatwani swore in Rem Rafalski (480 Lincoln Drive, Hoffman Estates) for Public Comment.

Mr. Rafalski provided the following testimony.

"I recognize that I am inexperienced here. I have never been to one of these meetings before. I am nineteen years of age, and I recognize that I am very fortunate to live in Hoffman Estates. I was born here, I have lived all my life here in the same house, and I was very fortunate. I keep realizing how fortunate I am and how grateful I am to live in this community. We have such amazing resources, such amazing parcels of land, you know, bits of nature every here and there in the local couple miles or so. As a child, my father would often take me to these places, and we'd appreciate the beauty of it. I have very fond memories of this and, as I look back, I am starting to notice that there are less and less of these places. That in my lifetime, my nineteen years, we are chiseling away at our last remaining paltry sum of lands. These lands are not renewable, these lands are not, you can't bring them back. Once we approve zoning to make room for industrial applications, it is incredibly hard to bring that back to a quote unquote "natural" state. Furthermore, I will say that even though there is some development on this site already, there is a natural wetland. There is a resource that animals, animals don't believe in boundaries, they don't believe in not crossing the road, or not drifting over. A bird does not care on what tree it makes a nest. And I feel like we're very fortunate to live here in the Midwest. We have such a natural, wonderful lake. I believe it is the biggest source of freshwater anywhere. The Great Lakes — we live in this region, and we have such a massive, massive reservoir of fresh, drinkable, pure water, and we're poisoning it. We're taking away resources that we cannot replenish. We cannot give back. It's time to stop. I mean I'm seeing this now. I'm seeing this as of nineteen years of age, I'm seeing younger and younger people talk about it. Younger and younger people having to care because they notice that quality has gone down. There are less and less of everything. We shouldn't be approving the zoning of another place of industry. We already have too few bits of green left. So I would also like to commend other previous speakers who represent other organizations and bigger things. I don't represent any organization, I am not political, in any way, but I would like to give my appreciation to those organizations here tonight. Thank you."

Chairperson Chhatwani swore in John Taseff (989 Hillcrest Boulevard, Hoffman Estates) for Public Comment.

Mr. Taseff provided the following testimony.

"I just want to give an additional comment on what is right next to the site. So we've heard

from a few people who are in kind of official positions, with Citizens for Conservation, we heard from one of the stewards of Spring Creek Forest Preserve that's right there. But I wanted to come up just as a citizen, you know, I'm not directly involved with those organizations in any leadership form, but I live here, and I volunteer in the forest preserve, and I've only been here for about six years, and six years ago I couldn't keep a cactus alive in my house, but I went out hiking in the forest preserve a little bit south of this site and I started falling in love with the nature that's here all over in these forest preserves, and I've started volunteering there and just in the last few years, I've learned so much more about what is in these areas. Illinois is nicknamed the Prairie State, but we really have very little prairie left in Illinois. So much of it was torn down to be farmland, and now it's becoming developed in these different sites. Only 0.01% is still remnant prairie, so it's still the native plant and animal populations that are supposed to be here in Illinois, and there's a space about two miles south of this site that is actually remnant prairie, and you can go hike there. It's the Shoe Factory Nature Preserve. So I volunteer there just trying to help restore some of the ecology there. There's dozens of us that volunteer at the site. It's a place we all care about very much and any development that might happen as part of this rezoning would absolutely have effects both on Spring Creek, where the watershed drains, and on all of the surrounding forest preserves — there's huge tracts of land that need to be protected. And that's all I have. Thank you."

Chairperson Chhatwani swore in Rummana Sadiq (11 Olympic Drive, South Barrington) for Public Comment.

Ms. Sadiq provided the following testimony.

"I have a prescription and I forgot my regular glasses. I didn't want to miss a minute, so I didn't go to the car and bring them. I don't want to repeat everything that has been said already; I know everyone is tired by now. I just wanted to bring a personal aspect of how it would impact because I live in The Woods of South Barrington. I have been a nineteen-year resident of that area, and I enjoy the neighborhood, the nature, the views, the walking, The Arboretum, and I have actually talked about it to my colleagues and friends, those who live in farther suburbs who do not know the area, and have heard from them that they like driving down, even from Woodridge and Lombard, because they like the dining in the other strip mall by Target and by The Arboretum. And I also have talked to people about, "Hey, come down on a summer's evening, it's a nice area and nice dining there." Once there is this huge data center that is gonna be across from the street with those humming sounds and all of that, I don't think I would feel comfortable saying "Hey come on guys - it's a nice area, explore." So please consider that — do not change the nature or the characteristics of the neighborhood. There are actual people and families and kids living across the street from this subject site and everyone who has brought up all of the issues. I completely agree with all of those concerns. I vehemently oppose this rezoning the area to manufacturing, and thank you for the opportunity to allow us to speak and thank you for your patience and service."

Chairperson Chhatwani swore in Philip Bardon (4 Bighorn Court, South Barrington) for Public Comment.

Mr. Bardon provided the following testimony.

"Right now, I live at South Barrington, at 4 Bighorn Court, but prior to that, I lived over at 1565 Camelot Lane, Hoffman Estates, Illinois. When we moved in there, my youngest daughter saw a hot air balloon landing behind where our house was. We were residents in

1979. My wife and I have raised our kids and are very proud to be citizens of Hoffman Estates, aka also fake Barrington, because our mail came through Barrington. But everything that I have seen and everything I have heard tonight I agree with, and I also want to toss in here that I do a lot of biking, and I've been through Barrington Hills a lot; I can't see where any type of development here is going to help anyone. So I really, really hope that you guys will take this at heart and really think a lot about where we're going with this and help me to be again a proud citizen of Hoffman Estates. Thank you."

Chairperson Chhatwani swore in Raj Panchal (6 Mesa Drive, South Barrington) for Public Comment.

Mr. Panchal provided the following testimony.

"My name is Raj Panchal and I live at 6 Mesa Drive South Barrington and I live in this country for the last 43 years and of that, 25 years in Hoffman Estates/South Barrington. For my background, I am a technologist, physicist, and inventor. I used to work in Schaumburg for twenty-plus years. I've heard all the arguments and while you all go home tonight, I want you to ask yourself this question - you're proposing a data center, a highly unregulated industry, to my knowledge. If you were to propose, if you were sitting here for a nuclear facility, for example, would you be proposing this? Would you be in the same mindset? What's the difference between a data center and a nuclear facility? What are we, what fore site does it give us? Are we not afraid of future meltdown? That's my question. Thank you."

Chairperson Chhatwani swore in Kevin Kierzkowski (750 Jody Lane, Hoffman Estates) for Public Comment.

Mr. Kierzkowski provided the following testimony.

"So well something about myself, I am a little scared of public speaking so I apologize, and I wasn't here for the beginning of this, so I may be reiterating some points, unnecessarily, so I apologize. I am twenty-two years old, born in Chicago, but I have lived every single year of my life in Hoffman Estates. I am very familiar with this area, and I'm very proud of where I come from. So a little personal story — when I get upset, when I get overwhelmed, when I get overworked — I am an engineering student, so that happens a lot — I like to go out to the woods. My three favorite places on this earth are Busse Woods, the Fox River, and Penny Road Pond. Penny Road Pond is directly adjacent to this development, and it really upset me, so I decided to come here and sort of speak what I'm thinking because I feel like people have to, this land is for people I suppose, well the nature preserve, and the goal of a nature preserve is to preserve the nature and what I'm seeing is data centers take a lot of resources, water, electricity, they promote a lot of traffic, so a lot of heavy vehicles, a lot of diesel, diesel generators, there'll be a lot of air pollution, noise pollution, security - these places have to be secured because they are very expensive. In order to have a secure place at night, you have to light it up and these bright white lights, they disturb the wildlife of the area. So that's kind of my concern for the wildlife point of view, but also I'm a mechanical engineer, well not yet, but I've learned for four years what I need to learn to become a mechanical engineer, and not only mechanical engineering, but I've learned about infrastructure, I've learned about conservation, and I'm an avid hiker so I tried to learn, me large industrial thing here, whether it be a data center, whether it be a manufacturing facility, whether it be CMC, it needs a lot of road access. So I'm thinking it's gonna damage a lot of these roads because in order to build this facility, you're gonna need heavy duty trucks, like semi-trucks. These trucks damage to a higher degree the roads, well to a higher degree, I guess, than civilian cars, standard cars, passenger cars, so the roads will be damaged and if

this were to become a data center, data centers require a lot of electricity. High-voltage electricity, because that's the most efficient way to deliver electricity to a site, so you have to build large transmission infrastructure, which would disturb the citizens, which would disturb traffic, which would disturb the skylines of the area. It's an eyesore. So you need transmission lines. A data center is a large electrical hub and large electrical components create a lot of resistance - resistance is released as heat. How do we cool these electronic components so they don't explode and cause a fire? Well, we use water. Where are we getting this water from - cause I don't see a large river, I don't see a large reservoir, I don't see a large pond, I don't really see a large source of water. So the only source of water besides trucking it in, which would, of course, be a terrible idea, you have to take it from the ground. I know that residents in the local area, maybe not so close, but I have a friend who lived in Sleepy Hollow, and they had wells. So I'm not sure how many people have wells, but they are gonna, it's just gonna be a concern for them if they do have wells. So you're gonna suck up tons and tons of water from the ground. I don't know if that's sustainable. Has any studies been done for this? I just don't know. Another thing, if we take the water out of the ground, we heat it up, we possibly pollute it with heavy metals and plastics, any sort of thing, oils, I'm not sure, where is this potentially polluted, high temperature water gonna go? Cause I don't see like any idea for a discharge, I haven't heard of any purification, I haven't seen any cooling pumps. If we dump it into Spring Creek, well it's gonna go into northwards downstream into Penny Road Pond and then to that entire conservation area. So we're gonna have hot water that disturbs the wildlife, the plants, the fish in pretty much the entire area, it's gonna possibly pollute it. People who like to fish there, well, they can't keep their fish cause they're gonna be polluted. I just don't really see how this really - personally, I don't see a benefit to this data center, but I see all the negatives associated with it. It'll disturb the people, it'll disturb the animals, it'll disturb our wallets, I believe due to higher electric bills, possibly, and stuff related to the water, and it's just gonna be a massive eyesore. I've got a friend who works at The Arboretum and because this sort of stuff isn't studied, what kind of effects do the humming noises and that sort of stuff affect people because my friend works there and I don't want him to get ill - he works there for long periods of time - I don't want him to get ill. When I'm walking in the forest, I want to hear bull frogs, I want to hear crickets, I want to hear flies, I want to hear mosquitoes, I don't want to hear the droning of a data center. It's gonna be an eyesore, it's gonna be a general nuisance, and personally, I don't see how it benefits the people living across the street, I don't see how it benefits the people driving past, I just don't see a benefit."

Chairperson Chhatwani thanked him for his comments.

Chairperson Chhatwani swore in Mohammed Ahmed (5583 McDonough Road, Hoffman Estates) for Public Comment.

Mr. Ahmed provided the following testimony.

"So, I never came to a Village Hall meeting. I'm just a twenty-two-year-old college student and I just came here because this impacts my community, and I've spoken to neighbors, other friends who live in the area from Hoffman Estates to Barrington Hills, South Barrington and the surrounding areas. It doesn't seem to benefit neither of these municipalities where these people live, nor the forest preserve, and there's also another lake which wasn't mentioned, which was Beverly Lake, which is right next to Spring Creek Forest Preserve and a lot of people go fishing and spend a lot of time hiking over there and I don't see the benefit over there and I just want to say thank you to everyone who came tonight to speak out about this and I have not seen a single person who was in favor for this and everyone was

opposed to it. Thank you for your time and I hope you consider opposing this legislation. Thank you."

Chairperson Chhatwani commented, "If you like this you can come back every first and third Wednesday of the month."

Motion by Commissioner Harner, seconded by Commissioner Henderson, to close the Public Hearing. Voice vote taken. Ayes - 6 | Nays - 0 | (Abstain: None). Motion Passed.

Motion by Commissioner Harner, seconded by Commissioner Henderson, to adopt the Findings of Fact for a Rezoning as outlined in Exhibit B - PC Findings & Recommendations Summary as of the June 03, 2026, staff report.

Roll call vote:

Aye: Rajkumari Chhatwani, Lon Harner, Lenard Henderson, Minerva Milford, Nancy Trieb, John Wise

Nay: None

Absent: Daniel Lee, Kendra Alexander, Adam Bauske,
Motion Passed.

Motion by Commissioner Harner, seconded by Commissioner Henderson, to recommend to the Village Board approval of a Rezoning of Lot 1 in the Plum Farms Subdivision from TN (Traditional Neighborhood) district to the M-2 (Manufacturing) district.

Roll call vote:

Aye: Rajkumari Chhatwani, Lenard Henderson

Nay: Lon Harner, Minerva Milford, Nancy Trieb, John Wise

Absent: Daniel Lee, Kendra Alexander, Adam Bauske,
Motion Failed.

Motion by Commissioner Harner, seconded by Commissioner Henderson, to recommend to the Village Board approval of a Rezoning of Lot 2 in the Plum Farms Subdivision from C-MU (Commercial Mixed Use) district to the M-2 (Manufacturing) district.

Roll call vote:

Aye: Rajkumari Chhatwani, Lenard Henderson

Nay: Lon Harner, Minerva Milford, Nancy Trieb, John Wise

Absent: Daniel Lee, Kendra Alexander, Adam Bauske,
Motion Failed.

Motion by Commissioner Harner, seconded by Commissioner Henderson, to recommend to the Village Board approval of a Rezoning of Lot 3 in the Plum Farms Subdivision from C-MU (Commercial Mixed Use) district to the M-2 (Manufacturing) district.

Roll call vote:

Aye: Rajkumari Chhatwani, Lenard Henderson

Nay: Lon Harner, Minerva Milford, Nancy Trieb, John Wise

Absent: Daniel Lee, Kendra Alexander, Adam Bauske,
Motion Failed.

Chairperson Chhatwani stated this recommendation would be presented to the Village Board. Ms. Dose-Adamzadeh stated the meeting would be held on June 15, 2026, at 7:00 PM. Attorney Quance corrected her stating the meeting had not been scheduled yet. Ms. Dose-Adamzadeh rescinded her initial comment. Attorney Quance stated the residents would need to watch for the agendas to know when this item would be placed before the Village Board since it had not yet been scheduled with the petitioners.

6. STAFF DISCUSSION

Daisy-Dose Adamzadeh stated there is currently nothing on the schedule for the June 17, 2026, regular meeting, however if this changes, she will advise the Commission in advance.

7. PUBLIC COMMENT

Bridget Jordan asked: "For those of you that voted "yes" despite not even one citizen wanting it, what is your rationale? What's in it for you? Please, we'd like to know; I think everyone would like to know."

Attorney Quance stated this is just public comment, this isn't for the Board to address the public.

Ms. Jordan asked: "So we can't speak to them?"

Attorney Quance again stated this is just public comment. There was general displeasure expressed throughout the audience.

Ms. Jordan said: "It seems like a fair question, though, right? Is there anything you're willing to share? I'll make that comment. Is anyone willing to share why they voted "yes" despite everyone that showed up here tonight and took time out of their day? What's in it for you?"

Attorney Quance said: "Thank you for your Public Comment. Sorry." The audience again expressed their general displeasure — both with the commentary and a few shouts regarding their displeasure with smiling faces.

Attorney Quance responded: "I'm trying to be polite. I'm sorry. I wasn't trying to be funny. The audience again expressed their displeasure with mutterings that she was being condescending.

Attorney Quance responded: "I'm not trying to be condescending." Indistinct audience chatter continued.

A male audience member who did not identify himself asked: "If you can't answer that question, is there a way for us to get an answer? Is there a way for us to get an answer? As to the incentive to why you voted "yes"?"

Attorney Quance said: "You can make public comments during this time; the Board doesn't have to answer you." The audience member said: "Thank you." The audience again expressed their displeasure.

Ms. Jordan said: "So it's my understanding that the vote for all of that was four against the rezoning and two in favor of rezoning?" Attorney Quance responded: "Yes, 4-2."

Ms. Jordan continued: "So my public comment to the four of you, thank you so much for voting against this rezoning." The audience broke out into applause. Ms. Jordan then said: "I believe you will sleep very well tonight, the four of you."

Heidi Scheuer commented: "There is a room of well over 100 people here who have told you that we don't want it, but yet many of you voted 'yes'. Either you don't live in the area, or you're just going to totally ignore environmental issues and cost issues to make more money for the Village, or whatever your own personal thing is. You need to start thinking about the people here, about what we want in the Village." The audience applauded.

Another male audience member, who did not identify himself, said: "I live right across the street from where this proposed data center is supposed to be built. For the people who voted for that, how would you like to live there? How would you like to endure the noise, the pollution, the traffic, the environmental impact on the community? You can't even look me in the face?"

Attorney Quance responded: "I wasn't going to interrupt you — I'm sorry, sir, I didn't vote. I was going to ask if everybody else could be quiet so we could hear the speaker."

The male audience member continued: "I've been living in South Barrington for 18 years. I've strived to give a better life for my kids and my family, as these people here, and you just on a whim: "Oh, let's just vote it in; yeah, let's just let them have it," right? How would you like it if you lived there? Why don't you guys think about that?"

A female audience member began to speak: "I just want to read one short paragraph that's on the Barrington Hills website. It's about zoning and density — it's about our aquifer."

Chairperson Chhatwani said: "Ma'am, the other people spoke, have I..."

The female audience member continued and identified herself: "This is something that no one has said. My name is Mary Ellen Peterson. I'm at 518 Pond Gate Drive, Barrington Hills."

Attorney Quance interrupted: "I'm sorry — if everyone else could just please be quiet while she's talking, thank you. I'm sorry, I did not mean to interrupt, but we can't hear you."

Ms. Peterson continued: "This talks about zoning and density in Barrington Hills. It says, "Because aquifers rely on local rainfall for replenishment, large 5-acre minimum lot sizes and semi-rural open space are maintained to prevent overdrawing the water supply." You're ruining our water supply."

Bob Moynihan said: "I want to thank the people up there that had the courage to walk away from that. I want to thank you cause it does take courage, and you showed that you have the courage and the moral aptitude to do that in the time when the moral aptitude isn't there right now. I appreciate you."

John Altstadt commented: "I just had a quick question — so the next step is for this to go to

the city council, and they will vote "yes" or "no" based on, usually based on, your recommendation? So they look at what you recommended. They don't have to take your recommendation, right? But ultimately, it's up to them to grant this petition. Is that correct?" Attorney Quance responded: "Yes". Mr. Altstadt said: "Okay. Thanks."

8. **ADJOURNMENT**

Motion by Commissioner Harner, seconded by Commissioner Henderson, to adjourn at 09:25 PM. Voice vote taken. Ayes - 6 | Nays - 0 (None) | Abstain - 0 (None). Motion Passed.

Minutes prepared by Marquelle Cnota, Administrative Assistant.

Chairperson's Approval

Date Approved



PLAN COMMISSION STAFF REPORT

Meeting Date: 7/15/2026

From: Kevin Anderson, Planner II

PLN2605-0004

Public Hearing

Master Sign Plan Amendment for the property located at 675 W. Golf Road.

REQUEST SUMMARY

True Value is proposing to operate from the tenant space at 675 W. Golf Road and is seeking to increase the signage allowed in the current Master Sign Plan.

Location:	675 W. Golf Rd.
Property Owner / Applicant:	Plaza Partnership LLC / Hoffman Estates True Value
Property Size:	2.48 ac.
Zoning / Land Use:	B-2 Community Business, multi-tenant commercial building
Adjacent Properties:	North: Golf Rd. ROW East: B-2 - Casey's Gas Station / The Tile Shop South: A-1 - Highland Crossing Condos West: B-2 - Multi-tenant retail

BACKGROUND / ANALYSIS

The subject property consists of a multi-tenant commercial building with related parking. The northern tenant space is in the process of converting to a True Value hardware store. The store operator is seeking to install one additional sign on the east face of the building. This side of the building faces an interior lot line with no public entrance and no parking. The Municipal Code does not allow signs facing an interior lot line.

The property received approval for a Master Sign Plan in 2010 as Ordinance #4191. The existing MSP allowed a second wall sign for the 675 W. Golf Rd tenant space on the front (north) facade.

The Petitioner is seeking to further amend the existing MSP to allow a third attached wall sign to be located on the east (north-east) facade of the building. The Code would allow only one attached sign for a unit in a multi-tenant building, and it is required to face the parking lot or street frontage. The proposed third sign would be approximately 23 square feet and would be placed near the north-east corner of the building. The total square footage of all wall signs for the 675 W. Golf Rd tenant space would be ~230 sf., in compliance with the overall restriction of 250 sf. for this tenant space. The specific language will amend Section D.b.1. "Tenants with equal to or greater than 15,000 square feet of leased space in the building shall be permitted up to two wall signs on the front facade **and one wall sign on the interior side facade**. The total combined

size of ~~both~~ **all** wall signs may be up to a maximum of 250 square feet.



The style of the proposed signs would also not meet the requirements of the Master Sign Plan. Per the original MSP, all signs are to be channel letters directly mounted to the building facade or to a raceway painted to match the facade. The Petitioner's plans indicate a channel letter sign but on a red, oval raceway that would not match the color of the building.

As part of True Value's re-occupancy of this space, they will also be painting a portion of the front building facade and replacing the tenant panels on the freestanding sign. These changes are allowed and are not under review as part of this application. The sign package submitted by the applicant also includes interior window signs which are permitted to cover up to 40% of the total window area. The window sign plans the applicant has provided will meet the zoning code.

MOTIONS

The Plan Commission shall make the following motions (a total of 2 motions are required):

1. Adopt the Findings of Fact for a Master Sign Plan as outlined in Exhibit B - Findings & Recommendations Summary.
2. Recommend to the Village Board approval of a Master Sign Plan Amendment for the property at 675 W. Golf Road, subject to the conditions outlined in Exhibit B - Findings & Recommendations Summary.

ATTACHMENTS

1. PC Staff Report
2. Exhibit B - PC Findings and Recommendations Summary
3. Location Map - 675 W. Golf Rd
4. Supporting Documents
5. Master Sign Plan - Proposed



**PLAN COMMISSION
FINDINGS & RECOMMENDATION SUMMARY**

Meeting Date: 7/15/2026
Prepared By: Kevin Anderson
PLN2605-0004

Master Sign Plan Amendment for the property located at 675 W. Golf Road.

Findings of Fact – Master Sign Plan

Sec. 9-3-8-13: The Village Board of Trustees is authorized to approve the Master Sign Plan if it is determined that implementation of the Master Sign Plan will:

- (a) Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area.
The size of the new wall sign would be similar to other tenant signs in the same building. The overall square footage of all wall signs would comply with the original restrictions of the Master Sign Plan
- (b) Provide signage consistent with the site plan and architecture of the project;
The signs proposed are in compliance with the size restrictions of the original Master Sign Plan.
- (c) Avoid visual clutter;
The sign will be located on wall with no other existing signs at a similar height to the other wall signs on the building.
- (d) Allow visitors, employees and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
The building itself is oriented on the property at a 45° angle to Golf Road. The nearby intersection of Golf and Higgins Roads is also at an angle which results in unique sight-lines to the building from the adjacent roadways. The sign is intended to direct customers to the building entrance.
- (e) Result in a unified theme of signage for the project.
The sign proposed is in compliance with the size restrictions of the original MSP.

Recommendations

The Plan Commission shall make the following motions (2 motions are required).

1. Adopt the Findings of Fact for Master Sign Plan Amendment.
2. Recommended to the Village Board approval of a Master Sign Plan Amendment to allow additional signs for the property at 675 W. Golf Road, subject to the following condition:
 - a. A building permit is required for all signage.

675 - 695 W GOLF RD
PIN: 07-16-200-030-0000



W HIGGINS RD

W GOLF RD

675 - 695

Legend

 Subject Properties

 Parcels

 Village Boundary

N





VILLAGE OF HOFFMAN ESTATES PZE APPLICATION SUMMARY

APPLICATION INFORMATION

Project Number: PLN2605-0004

Project Name: True Value Master Sign Plan Amendment

Application Date: 5/7/2026

Staff Contact: Kevin Anderson

PROJECT TYPE

Master Sign Plan Amendment

SITE INFORMATION

Property Address: 675 W GOLF RD

All included PINs: 07162000300000

PROJECT CONTACTS

Applicant: HOFFMAN ESTATES TRUE VALUE

Owner: PLAZA PARTNERSHIP LLC

STANDARDS OF A MASTER SIGN PLAN

Zoning Code Section 9-3-9-M-13 requires that the Planning and Zoning Commission shall, in making its determination, find that adequate evidence is provided to meet the Standards of a Master Sign Plan. All standards must be answered in full.

1. The Master Sign Plan shall result in architecture and graphics of a scale appropriate for the subject development and the surrounding area. Please provide an explanation.

The proposed signage has been carefully scaled to complement the buildings front and side elevation at 675 W. Golf Road. The primary True Value logo, the store identity channel letters and the Stihl channel letters are proportionate to the large retail facade on the building. The pylon sign can remain as is with the True Value and Benjamin Moore sign plates to fit the existing dimensions.

2. The Master Sign Plan shall provide signage consistent with the site plan and architecture of the project. Please provide an explanation.

All proposed signage is located on the front and side building elevation, and existing pylon monument at the street frontage, fully consistent with the site layout. The channel letters are mounted flush to the building facade following the natural lines and proportions of the structure. The logo cabinet (TV-EXT-3A) is positioned on the side return wall, while the window graphics are placed proportionately across the front of the building keeping all architectural integrity in place.

3. The Master Sign Plan will avoid visual clutter. Please provide an explanation.

The signage program has been designed with a disciplined, unified approach to avoid visual clutter. The building facade signage along with the pylon signage are consistent and unified in design and color. Coordinated departmental window vinyls follow an identical layout and color scheme creating visual rhythm. The STIHL channel letters occupy a distinct zone separate from the True Value identification signage, providing clear delineation. All signage is clean and legible.

4. The Master Sign Plan shall allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobstructed architecture and commercial graphics. Please provide an explanation.

5. The Master Sign Plan shall result in a unified theme of signage for this project. Please provide an explanation.

The entire signage program follows a unified True Value brand theme throughout. A consistent color palette of red, navy blue, and white is maintained across all sign types, channel letters, window vinyls, and pylon faces. The True Value oval logo mark appears on the primary channel letter set, the logo cabinet (TV-EXT-3A), and both pylon face replacements (TV-EXT-15), creating strong brand repetition and recognition. Typography is consistent, using True Value's approved corporate fonts across all fabricated elements. All internally illuminated signs use matching white LED illumination, providing a cohesive nighttime appearance. The window vinyl program uses a single design template repeated across all departmental panels.



BUSINESS OPERATIONS NARRATIVE

Village of Hoffman Estates – Code Enforcement Division

May 5, 2025

1. Applicant & Business Information

Business Name: Hoffman Estates True Value

Business Address: 675 Golf Road, Hoffman Estates, Illinois 60169

Owner / Operator: Joe Lomanto, Mellissa Porcaro

Contact Phone:

Contact Email:

Tax ID / EIN:

Expected Opening Date: End of August/September 1 2026

Business Type: Independently Owned True Value Hardware Retail Store

2. Description of Business

Hoffman Estates True Value is a new independently owned and operated retail hardware store operating under the True Value brand. The store will serve the Hoffman Estates community and surrounding areas by providing a comprehensive selection of hardware, tools, paint, lawn and garden supplies, plumbing materials, electrical components, cleaning products, and other home improvement merchandise. In addition to retail, Hoffman Estates True Value will offer services such as window and screen repair, small engine repair, locksmithing, and key cutting.

True Value Hardware is a nationally recognized brand with thousands of independently owned locations across the United States. Each store is operated by a local owner-operator, providing both the product breadth of a national brand and the personalized service of a neighborhood business.

3. Description of Space & Any Work Completed

Property Address: 675 Golf Road, Hoffman Estates, Illinois 60169

Tenant Space: Ground-floor retail unit within existing commercial building

Approximate Square Footage: 16,938 square feet

Landlord / Property Owner: Jairaj (Jay) Bhatia

The business will occupy an existing ground-floor retail tenant space within the commercial building located at 675 Golf Road. The space is an existing, previously built-out retail unit and is being taken in its current condition with standard cosmetic updates only.



Work Completed or Planned in the Space:

- Interior cleaning and general janitorial preparation
- Possible cosmetic painting of interior walls
- Merchandising of True Value inventory
- Signage installation (exterior and interior, subject to Village sign permit approval)
- No structural modifications, no changes to plumbing or electrical systems beyond standard connections, and no demolition of walls or ceilings

4. All Operations Conducted On-Site

Primary Operation – Retail Hardware Sales:

The store's primary operation is the retail sale of hardware and home improvement products. Customers will browse and purchase merchandise from the store floor. Staff will assist customers in locating products, providing product advice, and processing transactions at the point-of-sale counter. All sales are conducted inside the store.

- Product categories: power tools, outdoor power equipment, backyard BBQ, fasteners, paint and painting supplies, plumbing, electrical, lawn and garden, cleaning supplies, seasonal merchandise, and general home improvement products
- No hazardous materials storage beyond standard retail quantities of paint, solvents, fertilizers, and similar consumer products sold in original manufacturer packaging and compliant with all applicable fire and building codes

5. Hours of Operation

Monday – Friday: 7:30 AM- 8:00 PM

Saturday: 7:30 AM- 7:00 PM

Sunday: 9:00 AM- 5:00 PM

6. Staffing

Anticipated Employees: 10 full-time and part-time employees

On-Site Manager: Mellissa Porcaro

The store will be staffed by the owner-operator and a combination of full-time and part-time employees. All employees will be trained in retail customer service, point-of-sale operations, and product knowledge.

7. Parking & Traffic



Hoffman Estates True Value

Hardware & Home Improvement

675 Golf Road | Hoffman Estates, IL 60169 | Phone: [PHONE] | Email: [EMAIL]

Customer parking is provided in the existing on-site parking lot shared with other tenants of the commercial property at 675 Golf Road. The existing parking supply is adequate to serve the proposed retail hardware business.

8. Utilities & Environmental

The store will utilize existing utility connections serving the tenant space, including water, sanitary sewer, electric, and gas. No new utility service connections or upgrades are anticipated. No fuel storage, fueling equipment, or underground storage tanks are proposed. No environmental permits beyond standard business licensing are anticipated.

True Value #T.B.D.
Hoffman Estates (True Value)
Hoffman Estates, IL
May 06, 2026

Customer Approval / Signature

Signature: _____ Date: _____



CONCEPTUAL ONLY
NOT FOR CONSTRUCTION

CONTACT

Address	Phone	Online
Allen Industries, Inc. 4100 Sheraton Court Greensboro North Carolina, 27410	(800) 967-2553 (336) 668-2791	www.allenindustries.com sales@allenindustries.com

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Page 5 - Logo Cabinet (TV-EXT-3A)



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FILE NUMBER: E312503

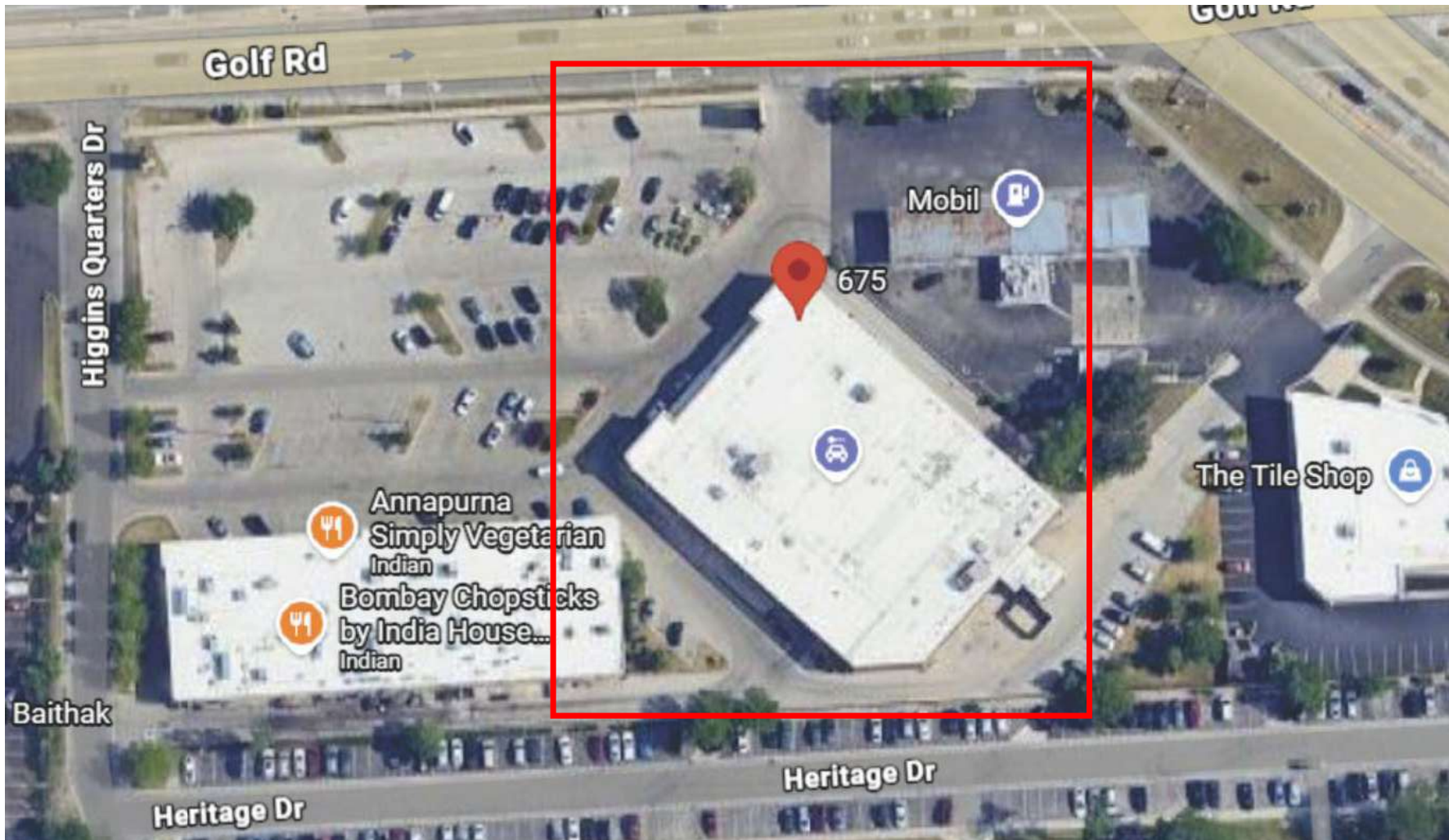


GROUNDING ELECTRICAL CONNECTIONS



Electric Sign Complies with UL48

ALL electrical components to be UL listed, approved & marked per NEC 604.04 to be electrically grounded & bonded per NEC 250.46, 250.47, 250.48, 250.49, 250.50, 250.51, 250.52, 250.53, 250.54, 250.55, 250.56, 250.57, 250.58, 250.59, 250.60, 250.61, 250.62, 250.63, 250.64, 250.65, 250.66, 250.67, 250.68, 250.69, 250.70, 250.71, 250.72, 250.73, 250.74, 250.75, 250.76, 250.77, 250.78, 250.79, 250.80, 250.81, 250.82, 250.83, 250.84, 250.85, 250.86, 250.87, 250.88, 250.89, 250.90, 250.91, 250.92, 250.93, 250.94, 250.95, 250.96, 250.97, 250.98, 250.99, 251.00, 251.01, 251.02, 251.03, 251.04, 251.05, 251.06, 251.07, 251.08, 251.09, 251.10, 251.11, 251.12, 251.13, 251.14, 251.15, 251.16, 251.17, 251.18, 251.19, 251.20, 251.21, 251.22, 251.23, 251.24, 251.25, 251.26, 251.27, 251.28, 251.29, 251.30, 251.31, 251.32, 251.33, 251.34, 251.35, 251.36, 251.37, 251.38, 251.39, 251.40, 251.41, 251.42, 251.43, 251.44, 251.45, 251.46, 251.47, 251.48, 251.49, 251.50, 251.51, 251.52, 251.53, 251.54, 251.55, 251.56, 251.57, 251.58, 251.59, 251.60, 251.61, 251.62, 251.63, 251.64, 251.65, 251.66, 251.67, 251.68, 251.69, 251.70, 251.71, 251.72, 251.73, 251.74, 251.75, 251.76, 251.77, 251.78, 251.79, 251.80, 251.81, 251.82, 251.83, 251.84, 251.85, 251.86, 251.87, 251.88, 251.89, 251.90, 251.91, 251.92, 251.93, 251.94, 251.95, 251.96, 251.97, 251.98, 251.99, 252.00, 252.01, 252.02, 252.03, 252.04, 252.05, 252.06, 252.07, 252.08, 252.09, 252.10, 252.11, 252.12, 252.13, 252.14, 252.15, 252.16, 252.17, 252.18, 252.19, 252.20, 252.21, 252.22, 252.23, 252.24, 252.25, 252.26, 252.27, 252.28, 252.29, 252.30, 252.31, 252.32, 252.33, 252.34, 252.35, 252.36, 252.37, 252.38, 252.39, 252.40, 252.41, 252.42, 252.43, 252.44, 252.45, 252.46, 252.47, 252.48, 252.49, 252.50, 252.51, 252.52, 252.53, 252.54, 252.55, 252.56, 252.57, 252.58, 252.59, 252.60, 252.61, 252.62, 252.63, 252.64, 252.65, 252.66, 252.67, 252.68, 252.69, 252.70, 252.71, 252.72, 252.73, 252.74, 252.75, 252.76, 252.77, 252.78, 252.79, 252.80, 252.81, 252.82, 252.83, 252.84, 252.85, 252.86, 252.87, 252.88, 252.89, 252.90, 252.91, 252.92, 252.93, 252.94, 252.95, 252.96, 252.97, 252.98, 252.99, 253.00, 253.01, 253.02, 253.03, 253.04, 253.05, 253.06, 253.07, 253.08, 253.09, 253.10, 253.11, 253.12, 253.13, 253.14, 253.15, 253.16, 253.17, 253.18, 253.19, 253.20, 253.21, 253.22, 253.23, 253.24, 253.25, 253.26, 253.27, 253.28, 253.29, 253.30, 253.31, 253.32, 253.33, 253.34, 253.35, 253.36, 253.37, 253.38, 253.39, 253.40, 253.41, 253.42, 253.43, 253.44, 253.45, 253.46, 253.47, 253.48, 253.49, 253.50, 253.51, 253.52, 253.53, 253.54, 253.55, 253.56, 253.57, 253.58, 253.59, 253.60, 253.61, 253.62, 253.63, 253.64, 253.65, 253.66, 253.67, 253.68, 253.69, 253.70, 253.71, 253.72, 253.73, 253.74, 253.75, 253.76, 253.77, 253.78, 253.79, 253.80, 253.81, 253.82, 253.83, 253.84, 253.85, 253.86, 253.87, 253.88, 253.89, 253.90, 253.91, 253.92, 253.93, 253.94, 253.95, 253.96, 253.97, 253.98, 253.99, 254.00, 254.01, 254.02, 254.03, 254.04, 254.05, 254.06, 254.07, 254.08, 254.09, 254.10, 254.11, 254.12, 254.13, 254.14, 254.15, 254.16, 254.17, 254.18, 254.19, 254.20, 254.21, 254.22, 254.23, 254.24, 254.25, 254.26, 254.27, 254.28, 254.29, 254.30, 254.31, 254.32, 254.33, 254.34, 254.35, 254.36, 254.37, 254.38, 254.39, 254.40, 254.41, 254.42, 254.43, 254.44, 254.45, 254.46, 254.47, 254.48, 254.49, 254.50, 254.51, 254.52, 254.53, 254.54, 254.55, 254.56, 254.57, 254.58, 254.59, 254.60, 254.61, 254.62, 254.63, 254.64, 254.65, 254.66, 254.67, 254.68, 254.69, 254.70, 254.71, 254.72, 254.73, 254.74, 254.75, 254.76, 254.77, 254.78, 254.79, 254.80, 254.81, 254.82, 254.83, 254.84, 254.85, 254.86, 254.87, 254.88, 254.89, 254.90, 254.91, 254.92, 254.93, 254.94, 254.95, 254.96, 254.97, 254.98, 254.99, 255.00, 255.01, 255.02, 255.03, 25



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#	Date	Description	Initial
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_100.0

Sheet Name:
Site Plan

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

PM:
JL

Date:
05/06/26

Sales:
House

Page #:
3



Side Elevation
Scale: NTS





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FILE NUMBER: E212503



Electric Sign
Complies with
UL48

All electrical components to be UL listed
approved & marked per NEC 600.4, 608
& 609.4. All electrical components to be listed per
NEC 250.46, 250.47, 250.48, 250.49 &
250.50. All power supplies to be listed per
UL 48, 250.47, 250.48 & 250.49. All other
electrical signs.



GROUNDING
ELECTRICAL
CONNECTIONS

#	Date	Description	Initial
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_100.0

Sheet Name:
Elevation

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

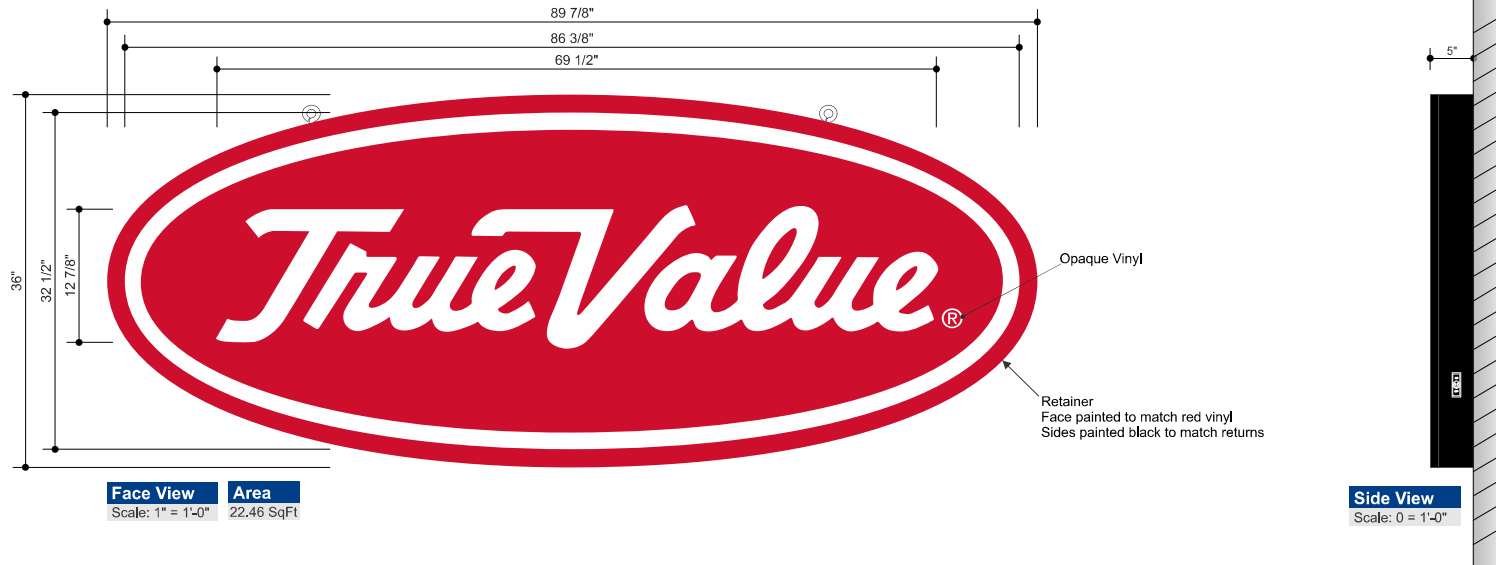
Date:
05/06/26

PM:
JL

Sales:
House

Page #:
4

TV-EXT-3A



Night View



Sign Specification

- Face:** 5" deep .177" SG Clear poly. w/ 2nd surf., .063" Alum. coil prefinished black; .080" alum back; ©Contour Opaque White Vinyl.
- Retainer:** Fabricated Retainer - portion on face painted to match PMS 186 portion on return painted black
- Illum:** White LEDs as required by manufacturer, self contained power supplies
- Electrical:** (1) 20 AMP Circuit, 120 Volts
Actual # of Circuits to be Determined by Licensed Electrical Contractor
- Wall Type:** TBD
- Install:** Installed Using min. 3/8" All Thread Fasteners (or approved equivalent) and Wood Blocking as Required
Note: add pickups
- Quantity:** (1) ONE REQUIRED FOR EXTERIOR ELEVATION

Vinyl Specifications

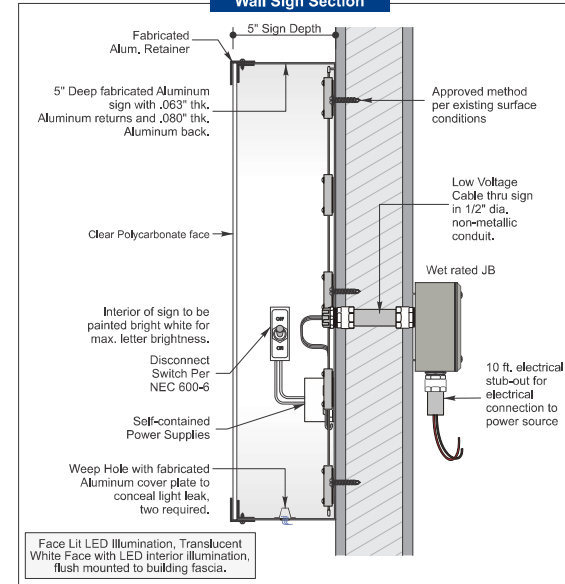
- 3M White Diffuser
- 3M Translucent Vinyl 3730-33L Red | PMS 186c
- 3M Opaque Vinyl 7725-10 | white

Color Specifications

- Akzo Nobel Black
- Akzo Nobel To Match Pantone 186 C

All paint finishes to be Satin unless otherwise specified

Wall Sign Section



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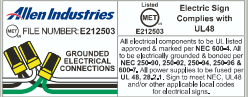
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Client Signature:

Approval Date:

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1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:

True Value #T.B.D.

Address:
675 W Golf Rd.
Hoffman Estates, IL 60169

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_100.0

Sheet Name:
Logo Cabinet (TV-EXT-3A)

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

PM:
JL

Date:
05/06/26

Sales:
House

Page #:
5

True Value #T.B.D.
Hoffman Estates (True Value)
Hoffman Estates, IL
May 27, 2026

Customer Approval / Signature

Signature: _____ Date: _____



CONCEPTUAL ONLY
NOT FOR CONSTRUCTION

CONTACT

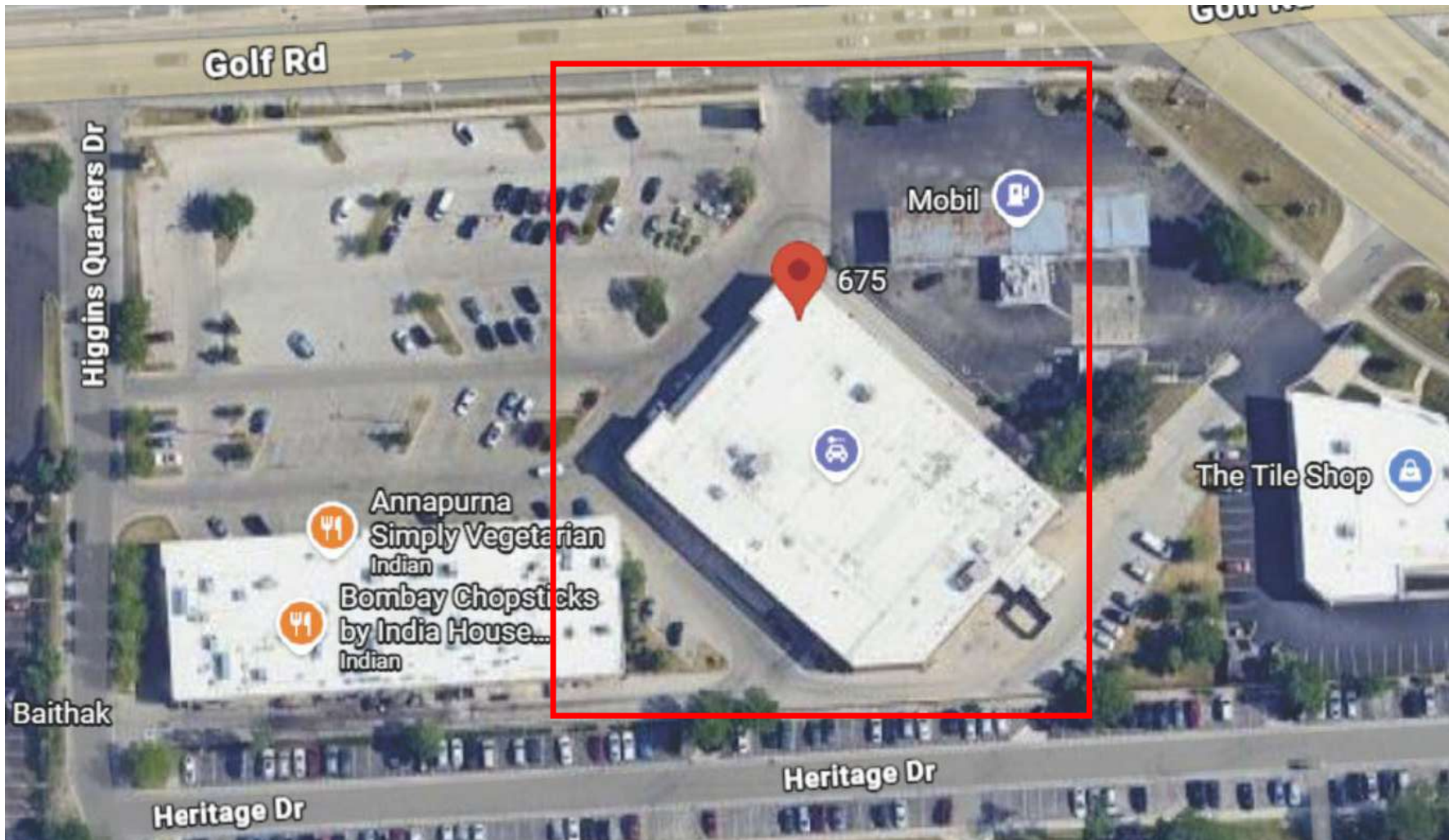
Address	Phone	Online
Allen Industries, Inc. 4100 Sheraton Court Greensboro North Carolina, 27410	(800) 967-2553 (336) 668-2791	www.allenindustries.com sales@allenindustries.com

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Page 4 - Elevation
Page 5 - Logo Channel Letters (TV-EXT-1A)
- Store Illum CL - White (TV-EXT-6-WHT)
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Page 11 - Departmental Window Vinyl - Navy (TV-EXT-12_-PF/OP-BLU)
Page 12 - Face Replacements (TV-EXT-15)(True Value)
- Face Replacements (TV-EXT-15)(Benjamin Moore)

			
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 FILE NUMBER: E212503 Used MEC E212503 GROUNDING ELECTRICAL CONNECTIONS Electric Sign Complies with UL48 All electrical components to be UL listed approved & marked per NEC 6004.10. All electrical components to be listed per NEC 25040, 25042, 25044, 25046 & 25048. All power supplies to be listed per UL 48, 25043. Signs to meet NFPA 704.48 and/or other applicable local codes for electrical signs.			
#	Date	Description	Initial
1	05/06/26	Several Updates per Req.	MJ
2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-
Client: True Value #T.B.D.			
Address: 675 W Golf Rd. Hoffman Estates, IL 60169			
Drawing Series:			100
File Name: TV-E30659_Hoffman Estates, IL_102			
Sheet Name: Table of Contents			
Estimate #: E30659		Job #: -	
Designer: M.Jones	PM: JL	Page #: 2	
Date: 04/27/26	Sales: House		



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4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_102

Sheet Name:
Site Plan

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

P.M.:
JL

Page #:
3

Date:
04/27/26

Sales:
House



Front Elevation
Scale: NTS



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FILE NUMBER: E212503



Electric Signs
Complies with
UL48

All electrical components to be UL listed
approved & marked per NEC 600.4, 600.4.1
& 600.4.2. All electrical components to be listed per
NEC 250.46, 250.47, 250.48, 250.49 &
250.51. All wiring to be listed per
UL 48, 250.4.1. Signs to meet NFPA 704, UL 48
and/or other applicable local codes
for electrical signs.

#	Date	Description	Initial
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2	05/27/26	Paint Notes Updated per Req.	MJ
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4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

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**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_102

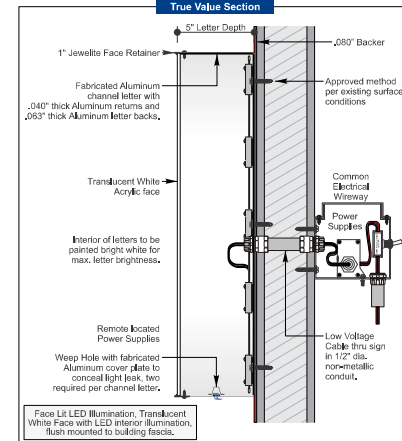
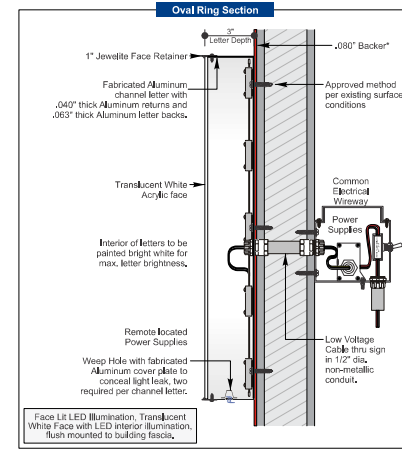
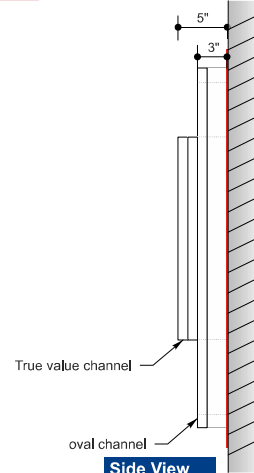
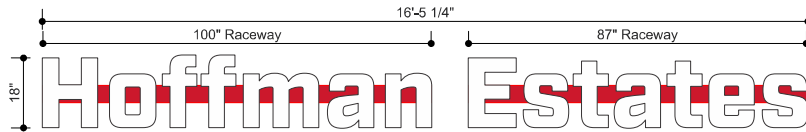
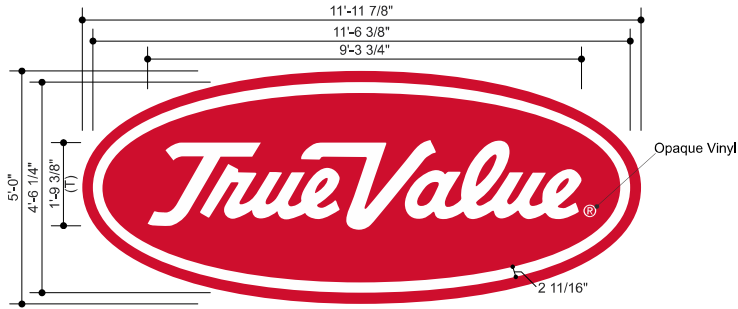
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Elevation

Estimate #: E30659	Job #: -
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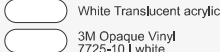
Designer: M.Jones	P.M.: JL	Page #: 4
Date: 04/27/26	Sales: House	

TV-EXT-1A TV-EXT-6-WHT

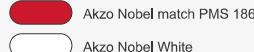
NON-STANDARD



Material Specifications



Color Specifications



All paint finishes to be Satin unless otherwise specified

Sign Specification

True Value: 5" deep .187" 7328 White acrylic face; .040" Alum. coil prefinished white; .063" alum back; 1" white trimcap; @Contour Opaque White Vinyl

Oval: 3" deep .187" 7328 White acrylic face; .040" Alum. coil prefinished white; .063" alum back; 1" white trimcap

Backer: .080" alum painted 186 red (channel pattern on backer)

Illum: White LEDs as required by manufacturer, Remote power supplies

Electrical: (1) 20 AMP Circuit, 120 Volts
Actual # of Circuits to be Determined by Licensed Electrical Contractor

Wall Type: TBD

Install: Installed Using min. 3/8" All Thread Fasteners (or approved equivalent) and Wood Blocking as Required
*ship in component pieces - not pre assembled

Quantity: (1) ONE REQUIRED FOR EXTERIOR ELEVATION

Sign Specification

Face: 3" deep .187" 7328 White acrylic face; .040" Alum. coil prefinished white; .063" alum back; 1" white trimcap
Raceway Mounted

Illum: White LEDs as required by manufacturer, Remote power supplies

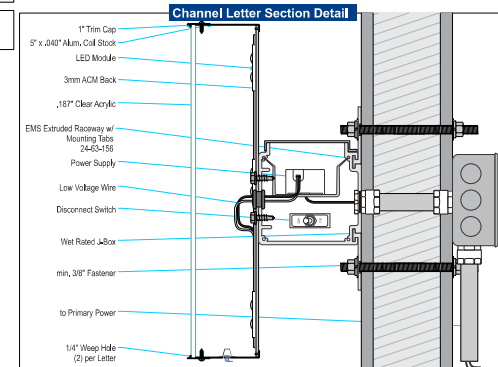
Electrical: (1) 20 AMP Circuit, 120 Volts
Actual # of Circuits to be Determined by Licensed Electrical Contractor

Wall Type: TBD

Install: Installed Using min. 3/8" All Thread Fasteners (or approved equivalent) and Wood Blocking as Required

Font: Industry Black

Quantity: (1) ONE LETTERSET REQUIRED FOR EXTERIOR ELEVATION



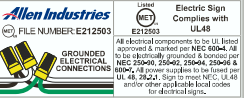
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#	Date	Description	Initial
1	05/06/26	Several Updates per Req.	MJ
2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates_IL_102

Sheet Name:
Logo Channel Letters (TV-EXT-1A)(TV-EXT-6)

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

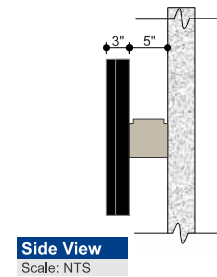
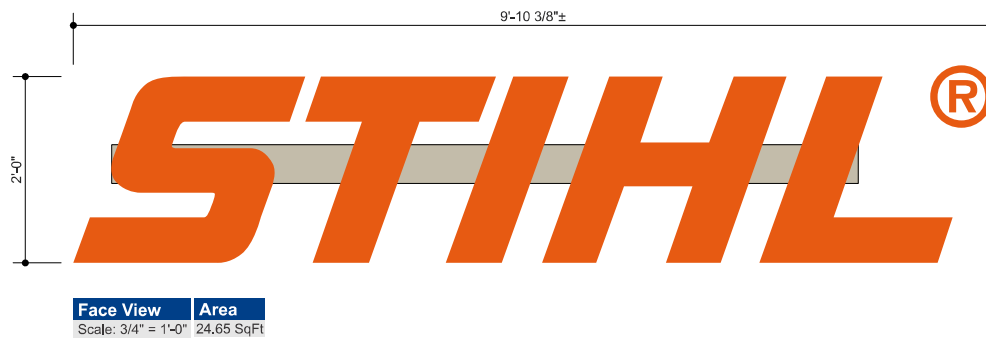
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JL

Date:
04/27/26

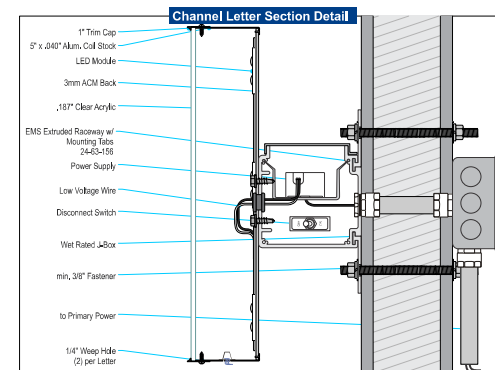
Sales:
House

Page #:
5

BY OTHERS



Note:
STIHL Letters by Others!





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FILE NUMBER: E212503

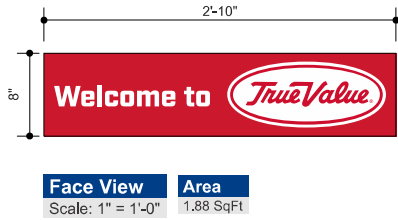
Electric Sign
Complies with
UL48

MEC
E212503

All electrical components to be UL listed approved & marked per NEC 600.4, 600.4.1, 600.4.2, 600.4.3, 600.4.4, 600.4.5, 600.4.6, 600.4.7, 600.4.8, 600.4.9, 600.4.10, 600.4.11, 600.4.12, 600.4.13, 600.4.14, 600.4.15, 600.4.16, 600.4.17, 600.4.18, 600.4.19, 600.4.20, 600.4.21, 600.4.22, 600.4.23, 600.4.24, 600.4.25, 600.4.26, 600.4.27, 600.4.28, 600.4.29, 600.4.30, 600.4.31, 600.4.32, 600.4.33, 600.4.34, 600.4.35, 600.4.36, 600.4.37, 600.4.38, 600.4.39, 600.4.40, 600.4.41, 600.4.42, 600.4.43, 600.4.44, 600.4.45, 600.4.46, 600.4.47, 600.4.48, 600.4.49, 600.4.50, 600.4.51, 600.4.52, 600.4.53, 600.4.54, 600.4.55, 600.4.56, 600.4.57, 600.4.58, 600.4.59, 600.4.60, 600.4.61, 600.4.62, 600.4.63, 600.4.64, 600.4.65, 600.4.66, 600.4.67, 600.4.68, 600.4.69, 600.4.70, 600.4.71, 600.4.72, 600.4.73, 600.4.74, 600.4.75, 600.4.76, 600.4.77, 600.4.78, 600.4.79, 600.4.80, 600.4.81, 600.4.82, 600.4.83, 600.4.84, 600.4.85, 600.4.86, 600.4.87, 600.4.88, 600.4.89, 600.4.90, 600.4.91, 600.4.92, 600.4.93, 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600.4.458, 600.4.459, 600.4.460, 600.4.461, 600.4.462, 600.4.463, 600.4.464, 600.4.465, 600.4.466, 600.4.467, 600.4.468, 600.4.469, 600.4.470, 600.4.471, 600.4.472, 600.4.473, 600.4.474, 600.4.475, 600.4.476, 600.4.477, 600.4.478, 600.4.479, 600.4.480, 600.4.481, 600.4.482, 600.4.483, 600.4.484, 600.4.485, 600.4.486, 600.4.487, 600.4.488, 600.4.489, 600.4.490, 600.4.491, 600.4.492, 600.4.493, 600.4.494, 600.4.495, 600.4.496, 600.4.497, 600.4.498, 600.4.499, 600.4.500, 600.4.501, 600.4.502, 600.4.503, 600.4.504, 600.4.505, 600.4.506, 600.4.507, 600.4.508, 600.4.509, 600.4.510, 600.4.511, 600.4.512, 600.4.513, 600.4.514, 600.4.515, 600.4.516, 600.4.517, 600.4.518, 600.4.519, 600.4.520, 600.4.521, 600.4.522, 600.4.523, 600.4.524, 600.4.525, 600.4.526, 600.4.527, 600.4.528, 600.4.529, 600.4.530, 600.4.531, 600.4.532, 600.4.533, 600.4.534, 600.4.535, 600.4.536, 600.4.537, 600.4.538, 600.4.539, 600.4.540, 600.4.541, 600.4.542, 600.4.543, 600.4.544, 600.4.545, 600.4.546, 600.4.547, 600.4.548, 600.4.549, 600.4.550, 600.4.551, 600.4.552, 600.4.553, 600.4.554, 600.4.555, 600.4.556, 600.4.557, 600.4.558, 600.4.559, 600.4.560, 600.4.561, 600.4.562, 600.4.563, 600.4.564, 600.4.565, 600.4.566, 600.4.567, 600.4.568, 600.4.569, 600.4.570, 600.4.571, 600.4.572, 600.4.573, 600.4.574, 600.4.575, 600.4.576, 600.4.577, 600.4.578, 600.4.579, 600.4.580, 600.4.581, 600.4.582, 600.4.583, 600.4.584, 600.4.585, 600.4.586, 600.4.587, 600.4.588, 600.4.589, 600.4.590, 600.4.591, 600.4.592, 600.4.593, 600.4.594, 600.4.595, 600.4.596, 600.4.597, 600.4.598, 600.4.599, 600.4.600, 600.4.601, 600.4.602, 600.4.603, 600.4.604, 600.4.605, 600.4.606, 600.4.607, 600.4.608, 600.4.609, 600.4.610, 600.4.611, 600.4.612, 600.4.613, 600.4.614, 600.4.615, 600.4.616, 600.4.617, 600.4.618, 600.4.619, 600.4.620, 600.4.621, 600.4.622, 600.4.623, 600.4.624, 600.4.625, 600.4.626, 600.4.627, 600.4.628, 600.4.629, 600.4.630, 600.4.631, 600.4.632, 600.4.633, 600.4.634, 600.4.635, 600.4.636, 600.4.637, 600.4.638, 600.4.639, 600.4.640, 600.4.641, 600.4.642, 600.4.643, 600.4.644, 600.4.645, 600.4.646, 600.4.647, 600.4.648, 600.4.649, 600.4.650, 600.4.651, 600.4.652, 600.4.653, 600.4.654, 600.4.655, 600.4.656, 600.4.657, 600.4.658, 600.4.659, 600.4.660, 600.4.661, 600.4.662, 600.4.663, 600.4.664, 600.4.665, 600.4.666, 600.4.667, 600.4.668, 600.4.669, 600.4.670, 600.4.671, 600.4.672, 600.4.673, 600.4.674, 600.4.675, 600.4.676, 600.4.677, 600.4.678, 600.4.679, 600.4.680, 600.4.681, 600.4.682, 600.4.683, 600.4.684, 600.4.685, 600.4.686, 600.4.687, 600.4.688, 600.4.689, 600.4.690, 600.4.691, 600.4.692, 600.4.693, 600.4.694, 600.4.695, 600.4.696, 600.4.697, 600.4.698, 600.4.699, 600.4.700, 600.4.701, 600.4.702, 600.4.703, 600.4.704, 600.4.705, 600.4.706, 600.4.707, 600.4.708, 600.4.709, 600.4.710, 600.4.711, 600.4.712, 600.4.713, 600.4.714, 600.4.715, 600.4.716, 600.4.717, 600.4.718, 600.4.719, 600.4.720, 600.4.721, 600.4.722, 600.4.723, 600.4.724, 600.4.725, 600.4.726, 600.4.727, 600.4.728, 600.4.729, 600.4.730, 600.4.731, 600.4.732, 600.4.733, 600.4.734, 600.4.735, 600.4.736, 600.4.737, 600.4.738, 600.4.739, 600.4.740, 600.4.741, 600.4.742, 600.4.743, 600.4.744, 600.4.745, 600.4.746, 600.4.747, 600.4.748, 600.4.749, 600.4.750, 600.4.751, 600.4.752, 600.4.753, 600.4.754, 600.4.755, 600.4.756, 600.4.757, 600.4.758, 600.4.759, 600.4.760, 600.4.761, 600.4.762, 600.4.763, 600.4.764, 600.4.765, 600.4.766, 600.4.767, 600.4.768, 600.4.769, 600.4.770, 600.4.771, 600.4.772, 600.4.773, 600.4.774, 600.4.775, 600.4.776, 600.4.777, 600.4.778, 600.4.779, 600.4.780, 600.4.781, 600.4.782, 600.4.783, 600.4.784, 600.4.785, 600.4.786, 600.4.787, 600.4.788, 600.4.789, 600.4.790, 600.4.791, 600.4.792, 600.4.793, 600.4.794, 600.4.795, 600.4.796, 600.4.797, 600.4.798, 600.4.799, 600.4.800, 600.4.801, 600.4.802, 600.4.803, 600.4.804, 600.4.805, 600.4.806, 600.4.807, 600.4.808, 600.4.809, 600.4.810, 600.4.811, 600.4.812, 600.4.813, 600.4.814, 600.4.815, 600.4.816, 600.4.817, 600.4.818, 600.4.819, 600.4.820, 600.4.821, 600.4.822, 600.4.823, 600.4.824, 600.4.825, 600.4.826, 600.4.827, 600.4.828, 600.4.829, 600.4.830, 600.4.831, 600.4.832, 600.4.833, 600.4.834, 600.4.835, 600.4.836, 600.4.837, 600.4.838, 600.4.839, 600.4.840, 600.4.841, 600.4.842, 600.4.843, 600.4.844, 600.4.845, 600.4.846, 600.4.847, 600.4.848, 600.4.849, 600.4.850, 600.4.851, 600.4.852, 600.4.853, 600.4.854, 600.4.855, 600.4.856, 600.4.857, 600.4.858, 600.4.859, 600.4.860, 600.4.861, 600.4.862, 600.4.863, 600.4.864, 600.4.865, 600.4.866, 600.4.867, 600.4.868, 600.4.869, 600.4.870, 600.4.871, 600.4.872, 600.4.873, 600.4.874, 600.4.875, 600.4.876, 600.4.877, 600.4.878, 600.4.879, 600.4.880, 600.4.881, 600.4.882, 600.4.883, 600.4.884, 600.4.885, 600.4.886, 600.4.887, 600.4.888, 600.4.889, 600.4.890, 600.4.891, 600.4.892, 600.4.893, 600.4.894, 600.4.895, 600.4.896, 600.4.897, 600.4.898, 600.4.899, 600.4.900, 600.4.901, 600.4.902, 600.4.903, 600.4.904, 600.4.905, 600.4.906, 600.4.907, 600.4.908, 600.4.909, 600.4.910, 600.4.911, 600.4.912, 600.4.913, 600.4.914, 600.4.915, 600.4.916, 600.4.917, 600.4.918, 600.4.919, 600.4.920, 600.4.921, 600.4.922, 600.4.923, 600.4.924, 600.4.925, 600.4.926, 600.4.927, 600.4.928, 600.4.929, 600.4.930, 600.4.931, 600.4.932, 600.4.933, 600.4.934, 600.4.935, 600.4.936, 600.4.937, 600.4.938, 600.4.939, 600.4.940, 600.4.941, 600.4.942, 600.4.943, 600.4.944, 600.4.945, 600.4.946, 600.4.947, 600.4.948, 600.4.949, 600.4.950, 600.4.951, 600.4.952, 600.4.953, 600.4.954, 600.4.955, 600.4.956, 600.4.957, 600.4.958, 600.4.959, 600.4.960, 600.4.961, 600.4.962, 600.4.963, 600.4.964, 600.4.965, 600.4.966, 600.4.967, 600.4.968, 600.4.969, 600.4.970, 600.4.971, 600.4.972, 600.4.973, 600.4.974, 600.4.975, 600.4.976, 600.4.977, 600.4.978, 600.4.979, 600.4.980, 600.4.981, 600.4.982, 600.4.983, 600.4.984, 600.4.985, 600.4.986, 600.4.987, 600.4.988, 600.4.989, 600.4.990, 600.4.991, 600.4.992, 600.4.993, 600.4.994, 600.4.995, 600.4.996, 600.4.997, 600.4.998, 600.4.999, 600.5.000, 600.5.001, 600.5.002, 600.5.003, 600.5.004, 600.5.005, 600.5.006, 600.5.007, 600.5.008, 600.5.009, 600.5.010, 600.5.011, 600.5.012, 600.5.013, 600.5.014, 600.5.015, 600.5.016, 600.5.017, 600.5.018, 600.5.019, 600.5.020, 600.5.021, 600.5.022, 600.5.023, 600.5.024, 600.5.025, 600.5.026, 600.5.027, 600.5.028, 600.5.029, 600.5.030, 600.5.031, 600.5.032, 600.5.033, 600.5.034, 600.5.035, 600.5.036, 600.5.037, 600.5.038, 600.5.039, 600.5.040, 600.5.041, 600.5.042, 600.5.043, 600.5.044, 600.5.045, 600.5.046, 600.5.047, 600.5.048, 600.5.049, 600.5.050, 600.5.051, 600.5.052, 600.5.053, 600.5.054, 600.5.055, 600.5.056, 600.5.057, 600.5.058, 600.5.05

TV-EXT-13-RED

TV0052.LOGO



Sign Specification

Vinyl: Printed Vinyl Stripes to be applied first surface

Install: Applied to Window Area along business entrance.

Quantity: (1) ONE REQUIRED FOR EXTERIOR ELEVATION

• Items to be permanent and durable for exterior weather exposure.

Vinyl Specifications

Print Opaque Vinyl Graphic

Color Specifications

PMS 186 C

PMS White

NON-STANDARD



Allen Industries
YOUR BRAND AT ITS BEST™

Client Review Status
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

Client Signature:

Approval Date:

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FILE NUMBER: E212503



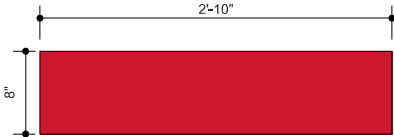
Electric Sign Complies with UL48

All electrical components to be UL listed approved & marked per NEC 6004.10

GROUNDING: All ground conductors to be listed per UL 48, 250-2, 250-4, 250-6, 250-8, 250-10, 250-12, 250-14, 250-16, 250-18, 250-20, 250-22, 250-24, 250-26, 250-28, 250-30, 250-32, 250-34, 250-36, 250-38, 250-40, 250-42, 250-44, 250-46, 250-48, 250-50, 250-52, 250-54, 250-56, 250-58, 250-60, 250-62, 250-64, 250-66, 250-68, 250-70, 250-72, 250-74, 250-76, 250-78, 250-80, 250-82, 250-84, 250-86, 250-88, 250-90, 250-92, 250-94, 250-96, 250-98, 250-100, 250-102, 250-104, 250-106, 250-108, 250-110, 250-112, 250-114, 250-116, 250-118, 250-120, 250-122, 250-124, 250-126, 250-128, 250-130, 250-132, 250-134, 250-136, 250-138, 250-140, 250-142, 250-144, 250-146, 250-148, 250-150, 250-152, 250-154, 250-156, 250-158, 250-160, 250-162, 250-164, 250-166, 250-168, 250-170, 250-172, 250-174, 250-176, 250-178, 250-180, 250-182, 250-184, 250-186, 250-188, 250-190, 250-192, 250-194, 250-196, 250-198, 250-200, 250-202, 250-204, 250-206, 250-208, 250-210, 250-212, 250-214, 250-216, 250-218, 250-220, 250-222, 250-224, 250-226, 250-228, 250-230, 250-232, 250-234, 250-236, 250-238, 250-240, 250-242, 250-244, 250-246, 250-248, 250-250, 250-252, 250-254, 250-256, 250-258, 250-260, 250-262, 250-264, 250-266, 250-268, 250-270, 250-272, 250-274, 250-276, 250-278, 250-280, 250-282, 250-284, 250-286, 250-288, 250-290, 250-292, 250-294, 250-296, 250-298, 250-300, 250-302, 250-304, 250-306, 250-308, 250-310, 250-312, 250-314, 250-316, 250-318, 250-320, 250-322, 250-324, 250-326, 250-328, 250-330, 250-332, 250-334, 250-336, 250-338, 250-340, 250-342, 250-344, 250-346, 250-348, 250-350, 250-352, 250-354, 250-356, 250-358, 250-360, 250-362, 250-364, 250-366, 250-368, 250-370, 250-372, 250-374, 250-376, 250-378, 250-380, 250-382, 250-384, 250-386, 250-388, 250-390, 250-392, 250-394, 250-396, 250-398, 250-400, 250-402, 250-404, 250-406, 250-408, 250-410, 250-412, 250-414, 250-416, 250-418, 250-420, 250-422, 250-424, 250-426, 250-428, 250-430, 250-432, 250-434, 250-436, 250-438, 250-440, 250-442, 250-444, 250-446, 250-448, 250-450, 250-452, 250-454, 250-456, 250-458, 250-460, 250-462, 250-464, 250-466, 250-468, 250-470, 250-472, 250-474, 250-476, 250-478, 250-480, 250-482, 250-484, 250-486, 250-488, 250-490, 250-492, 250-494, 250-496, 250-498, 250-500, 250-502, 250-504, 250-506, 250-508, 250-510, 250-512, 250-514, 250-516, 250-518, 250-520, 250-522, 250-524, 250-526, 250-528, 250-530, 250-532, 250-534, 250-536, 250-538, 250-540, 250-542, 250-544, 250-546, 250-548, 250-550, 250-552, 250-554, 250-556, 250-558, 250-560, 250-562, 250-564, 250-566, 250-568, 250-570, 250-572, 250-574, 250-576, 250-578, 250-580, 250-582, 250-584, 250-586, 250-588, 250-590, 250-592, 250-594, 250-596, 250-598, 250-600, 250-602, 250-604, 250-606, 250-608, 250-610, 250-612, 250-614, 250-616, 250-618, 250-620, 250-622, 250-624, 250-626, 250-628, 250-630, 250-632, 250-634, 250-636, 250-638, 250-640, 250-642, 250-644, 250-646, 250-648, 250-650, 250-652, 250-654, 250-656, 250-658, 250-660, 250-662, 250-664, 250-666, 250-668, 250-670, 250-672, 250-674, 250-676, 250-678, 250-680, 250-682, 250-684, 250-686, 250-688, 250-690, 250-692, 250-694, 250-696, 250-698, 250-700, 250-702, 250-704, 250-706, 250-708, 250-710, 250-712, 250-714, 250-716, 250-718, 250-720, 250-722, 250-724, 250-726, 250-728, 250-730, 250-732, 250-734, 250-736, 250-738, 250-740, 250-742, 250-744, 250-746, 250-748, 250-750, 250-752, 250-754, 250-756, 250-758, 250-760, 250-762, 250-764, 250-766, 250-768, 250-770, 250-772, 250-774, 250-776, 250-778, 250-780, 250-782, 250-784, 250-786, 250-788, 250-790, 250-792, 250-794, 250-796, 250-798, 250-800, 250-802, 250-804, 250-806, 250-808, 250-810, 250-812, 250-814, 250-816, 250-818, 250-820, 250-822, 250-824, 250-826, 250-828, 250-830, 250-832, 250-834, 250-836, 250-838, 250-840, 250-842, 250-844, 250-846, 250-848, 250-850, 250-852, 250-854, 250-856, 250-858, 250-860, 250-862, 250-864, 250-866, 250-868, 250-870, 250-872, 250-874, 250-876, 250-878, 250-880, 250-882, 250-884, 250-886, 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TV-EXT-14-RED

TV0052



Face View Area
Scale: 1" = 1'-0" 1.88 SqFt

Sign Specification

- Vinyl:** Printed Vinyl Stripes to be applied first surface
- Install:** Applied to Window Area along business entrance.
- Quantity:** (3) THREE REQUIRED FOR EXTERIOR ELEVATION

• Items to be permanent and durable for exterior weather exposure.

Vinyl Specifications





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Client Review Status
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

Client Signature: _____

Approval Date: _____

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FILE NUMBER: E212503



Electric Sign
Complies with
UL48

All electrical components to be UL listed
approved & marked per NEC 6004.10
for electrically approved & listed per
NEC 25040, 25042, 25044, 25046 &
25048. All power supplies to be listed per
UL 48, 25043. Signs to meet NFPA 704.48
and/or other applicable local codes
for electrical signs.

GROUNDING
ELECTRICAL
CONNECTIONS

#	Date	Description	Initial
1	05/06/26	Several Updates per Req.	MJ
2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_102

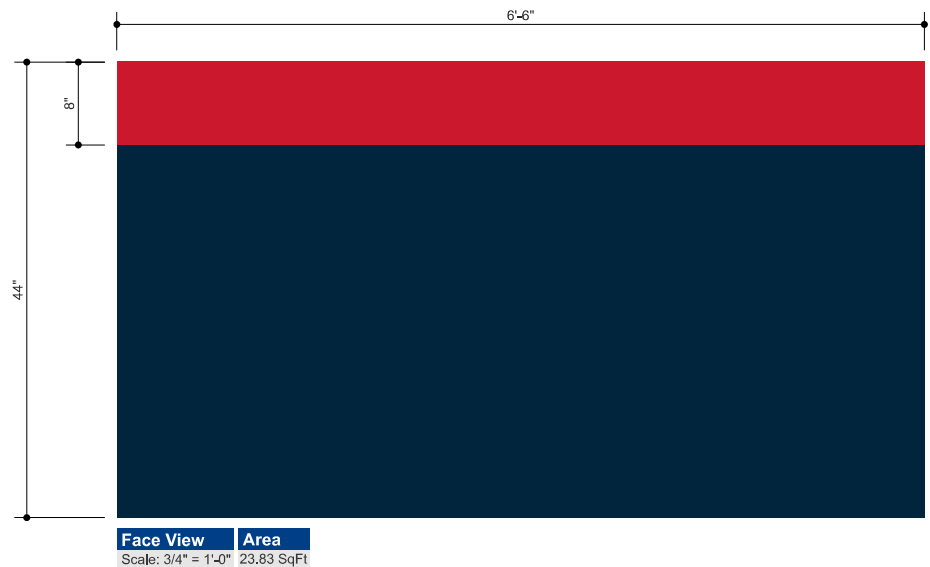
Sheet Name:
Vinyl Window Stripe - Red (TV-EXT-14-RED)

Estimate #:
E30659

Job #:
-

Designer: M.Jones	PM: JL	Page #: 8
Date: 04/27/26	Sales: House	

TV-EXT-CUST-OP-BLU



Sign Specification

Faces:	Printed Vinyl Graphic Opaque
Install:	Applied to windows
Quantity:	(5) FIVE REQUIRED FOR EXTERIOR ELEVATION
- Mechanical fasteners best suitable via survey - Items to be permanent and durable for exterior weather exposure.	

Color Specifications

	PMS 186 C
	PMS 2965 C
	PMS 2166 C

NON-STANDARD

Client Review Status

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Client Signature: _____

Approval Date: _____

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FILE NUMBER: E212503

Electric Sign Complies with UL48

GROUNDING ELECTRICAL CONNECTORS

All electrical components to be UL listed and approved & marked per NEC 600-4, 600-5, 600-6, 600-7, 600-8, 600-9, 600-10, 600-11, 600-12, 600-13, 600-14, 600-15, 600-16, 600-17, 600-18, 600-19, 600-20, 600-21, 600-22, 600-23, 600-24, 600-25, 600-26, 600-27, 600-28, 600-29, 600-30, 600-31, 600-32, 600-33, 600-34, 600-35, 600-36, 600-37, 600-38, 600-39, 600-40, 600-41, 600-42, 600-43, 600-44, 600-45, 600-46, 600-47, 600-48, 600-49, 600-50, 600-51, 600-52, 600-53, 600-54, 600-55, 600-56, 600-57, 600-58, 600-59, 600-60, 600-61, 600-62, 600-63, 600-64, 600-65, 600-66, 600-67, 600-68, 600-69, 600-70, 600-71, 600-72, 600-73, 600-74, 600-75, 600-76, 600-77, 600-78, 600-79, 600-80, 600-81, 600-82, 600-83, 600-84, 600-85, 600-86, 600-87, 600-88, 600-89, 600-90, 600-91, 600-92, 600-93, 600-94, 600-95, 600-96, 600-97, 600-98, 600-99, 600-100.

#	Date	Description	Initial
1	05/06/26	Several Updates per Req.	MJ
2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:

True Value #T.B.D.

Address:

675 W Golf Rd.

Hoffman Estates, IL 60169

Drawing Series:

100

File Name:

TV-E30659_Hoffman Estates, IL_102

Sheet Name: (TV-EXT-CUST-OP-BLU)

Custom Window Vinyl - Navy

Estimate #:

E30659

Job #:

-

Designer:

M.Jones

PM:

JL

Page #:

9

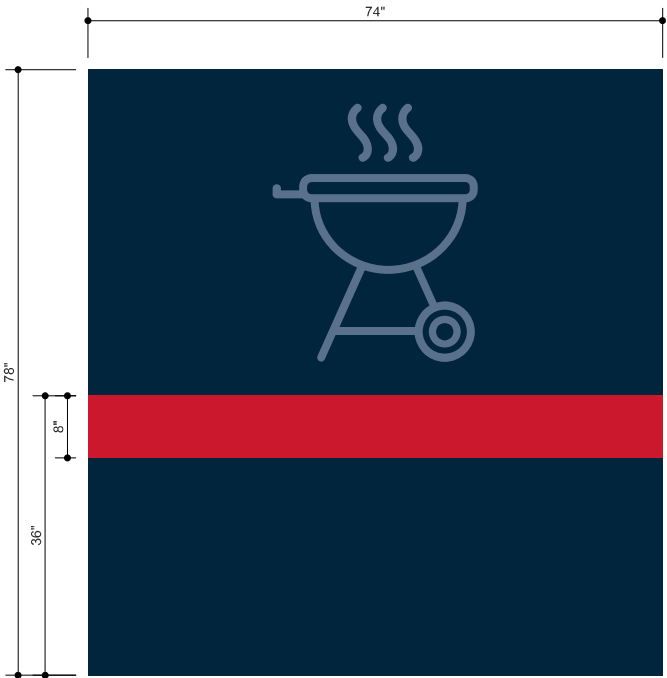
Date:

04/27/26

Sales:

House

TV-EXT-12 _OP-BLU



Face View Area
Scale: 3/4" = 1'-0" 40.08 SqFt

Sign Specification

- Faces:** Printed Vinyl Graphic
- Install:** Applied to windows
- Quantity:** (4) ONE OF EACH REQUIRED FOR EXTERIOR ELEVATION
- Mechanical fasteners best suitable via survey
 - Items to be permanent and durable for exterior weather exposure.

Vinyl Specifications

Printed Vinyl Graphic

Color Specifications

- PMS 186 C
- PMS 2965 C
- PMS 2166 C

TV-EXT-12B-OP

Paint



TV-EXT-12F-OP

Electrical



TV-EXT-12K-OP

Hardware



TV-EXT-12A-OP

Grilling



NON-STANDARD



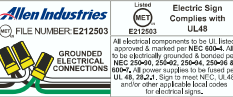
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Client Review Status
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Client Signature:

Approval Date:

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2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_102

Sheet Name: (TV-EXT-12 -OP-BLU)
Departmental Window Vinyl - Navy

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

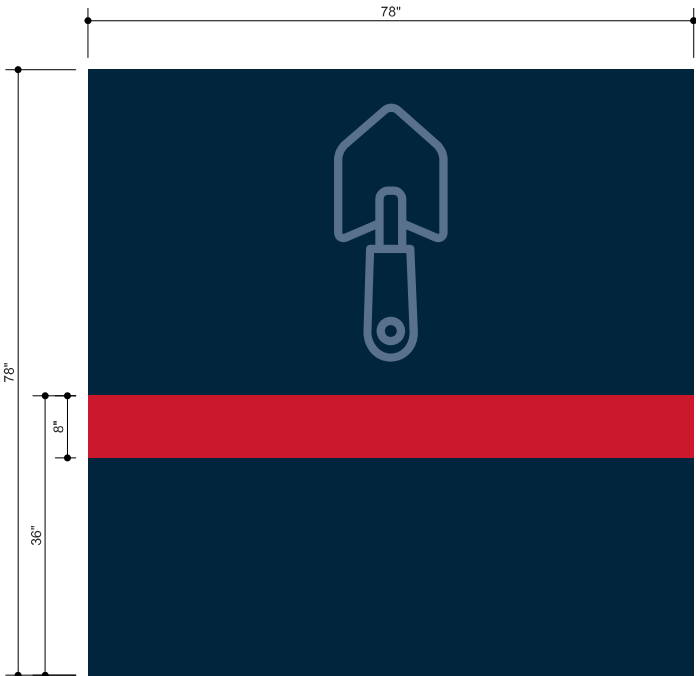
PM:
JL

Date:
04/27/26

Sales:
House

Page #:
10

TV-EXT-12_OP-BLU



Face View Area
Scale: 3/4" = 1'-0" 42.25 SqFt

Sign Specification

Faces: Printed Vinyl Graphic
Install: Applied to windows
Quantity: (1) ONE REQUIRED FOR EXTERIOR ELEVATION

- Mechanical fasteners best suitable via survey
- Items to be permanent and durable for exterior weather exposure.

Vinyl Specifications

Printed Vinyl Graphic

Color Specifications

PMS 186 C
PMS 2965 C
PMS 2166 C

TV-EXT-12E-OP

Lawn & Garden



NON-STANDARD



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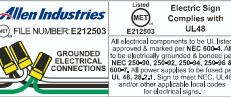
Client Review Status

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Client Signature:

Approval Date:

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2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
675 W Golf Rd.
Hoffman Estates, IL 60169

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_102

Sheet Name: (TV-EXT-12_OP-BLU)
Departmental Window Vinyl - Navy

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

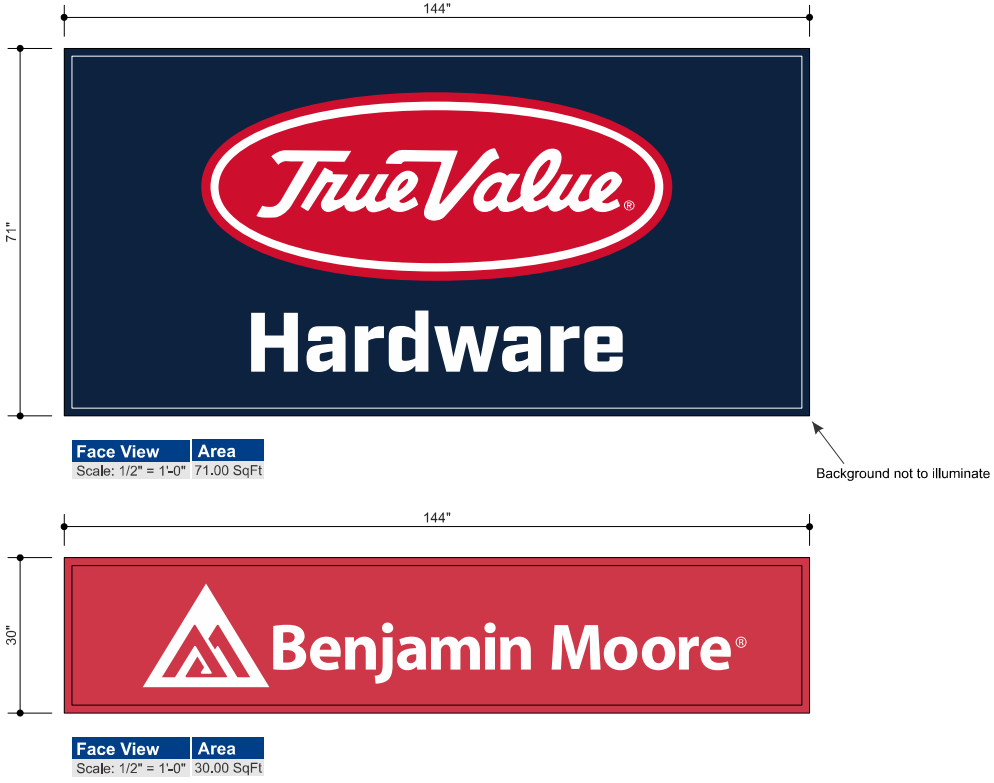
PM:
JL

Date:
04/27/26

Sales:
House

Page #:
11

TV-EXT-15



General Specifications	
(TV) Faces:	.177" Flat Clear Polycarbonate w/ Second surface graphics
Quantity:	(2) TWO REQUIRED FOR EXTERIOR ELEVATION

General Specifications	
(BM) Faces:	.177" Flat Clear Polycarbonate w/ Second surface graphics
Quantity:	(2) TWO REQUIRED FOR EXTERIOR ELEVATION

True Value	
Color Specifications	
	White
	Paint to Match PMS 188c
	Paint to Match PMS 2965c
All paint finishes to be Satin unless otherwise specified	

Benjamin Moore	
Color Specifications	
	White
	Paint to Match PMS 199c
All paint finishes to be Satin unless otherwise specified	



Allen Industries

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Client Review Status

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Client Signature: _____

Approval Date: _____

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Allen Industries

FILE NUMBER: E212503

GROUNDING ELECTRICAL CONNECTIONS

UL 48

Electric Sign Complies with UL 48

MEC E212503

All electrical components to be UL listed and approved & marked per NEC 600.4, 600.4(B), 600.4(C), 600.4(D), 600.4(E), 600.4(F), 600.4(G), 600.4(H), 600.4(I), 600.4(J), 600.4(K), 600.4(L), 600.4(M), 600.4(N), 600.4(O), 600.4(P), 600.4(Q), 600.4(R), 600.4(S), 600.4(T), 600.4(U), 600.4(V), 600.4(W), 600.4(X), 600.4(Y), 600.4(Z), 600.4(1), 600.4(2), 600.4(3), 600.4(4), 600.4(5), 600.4(6), 600.4(7), 600.4(8), 600.4(9), 600.4(10), 600.4(11), 600.4(12), 600.4(13), 600.4(14), 600.4(15), 600.4(16), 600.4(17), 600.4(18), 600.4(19), 600.4(20), 600.4(21), 600.4(22), 600.4(23), 600.4(24), 600.4(25), 600.4(26), 600.4(27), 600.4(28), 600.4(29), 600.4(30), 600.4(31), 600.4(32), 600.4(33), 600.4(34), 600.4(35), 600.4(36), 600.4(37), 600.4(38), 600.4(39), 600.4(40), 600.4(41), 600.4(42), 600.4(43), 600.4(44), 600.4(45), 600.4(46), 600.4(47), 600.4(48), 600.4(49), 600.4(50), 600.4(51), 600.4(52), 600.4(53), 600.4(54), 600.4(55), 600.4(56), 600.4(57), 600.4(58), 600.4(59), 600.4(60), 600.4(61), 600.4(62), 600.4(63), 600.4(64), 600.4(65), 600.4(66), 600.4(67), 600.4(68), 600.4(69), 600.4(70), 600.4(71), 600.4(72), 600.4(73), 600.4(74), 600.4(75), 600.4(76), 600.4(77), 600.4(78), 600.4(79), 600.4(80), 600.4(81), 600.4(82), 600.4(83), 600.4(84), 600.4(85), 600.4(86), 600.4(87), 600.4(88), 600.4(89), 600.4(90), 600.4(91), 600.4(92), 600.4(93), 600.4(94), 600.4(95), 600.4(96), 600.4(97), 600.4(98), 600.4(99), 600.4(100).

#	Date	Description	Initial
1	05/06/26	Several Updates per Req.	MJ
2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:

True Value #T.B.D.

Address:

**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:

100

File Name:

TV-E30659_Hoffman Estates, IL_102

Sheet Name:

Face Replacements (TV-EXT-15)

Estimate #:

E30659

Job #:

-

Designer:

M. Jones

PM:

JL

Date:

04/27/26

Sales:

House

Page #:

12

**675-695 West Golf Road
Master Sign Plan
July 2026**

Introduction

The Master Sign Plan (MSP) requirements have been developed based on the signage that is unique to the property located at 675-695 W. Golf Road. The property contains approximately 2.4 acres and includes a building of approximately 28,520 square feet. This plan has been designed to allow signage that is consistent with other similar retail properties, yet takes into account certain unique characteristics of this property. Sign requirements in this Plan are intended to promote cohesion among all signs.

A. Area Included in Master Sign Plan

This MSP applies to the 675-695 West Golf Road property and building.

B. General Provisions (applicable to all property governed by this plan)

1. Setbacks. Signs installed on the ground shall be installed complying with the setback requirements noted in Section C of this MSP, as measured from any point of the sign structure.
2. Driver Sight Visibility. No sign shall be placed in a location that will obstruct driver or pedestrian sight lines and create an unsafe condition.
3. Landscaping. Landscaping shall be provided at the base of all ground signs, unless determined to be unsafe or not feasible. At a minimum, groomed sod or landscaping wood chips/mulch shall be deemed to constitute landscaping and a landscape plan shall be provided as part of the Sign Permit process, subject to Village approval.
4. Illumination. All signs permitted by this MSP may be illuminated in accordance with Section 9.3.8.F of the Zoning Code unless otherwise indicated in this MSP.
5. Sign Purpose. Signs shall relate to the Owner and or Tenant of the building to which the sign is located or the uses within the portion of the building that the sign is located.
6. Sign Maintenance. All signage must be properly maintained including illumination and landscaping. Owner and or Tenant are also responsible for proper signage installation and removal, including any necessary restoration of the building elevation and area surrounding a ground sign upon termination of a Tenant's lease. Removal is to take place within thirty (30) days of cessation of the business (as required by Zoning Code Section 9-3-8-H-2).

675-695 West Golf Road
Master Sign Plan
July 2026

7. Calculation of Sign Area. Sign Area shall be calculated as specified in the Zoning Code. However, the architectural base and support structure of a ground or monument sign shall not be included in the total sign area if these areas do not contain text, logos, or any other graphics.
8. Sign Permits. A permit is required for each sign as specified in the Zoning Code. A permit is required for each face change to the ground sign.
9. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this MSP. In the event of a conflict between this MSP and the Zoning Code, the MSP regulations shall apply.
10. Interpretation. The Village shall make all determinations concerning any question of interpretation of the MSP set forth herein, and such determination shall be final and binding.
11. Prior Variations. Variation Ordinances 481-1971, 482-1971, 3998-2008, and 4146-2009 (for the freestanding sign and tenant wall signs) are hereby repealed through passage of the ordinance approving this MSP. Wall signs shall be permitted as detailed in this MSP, and per item B.9 of this MSP (Coordination with Village Sign Code).
12. Master Sign Plan (MSP). This document, along with the attached Exhibits, represents the entire MSP.

C. Ground or Freestanding Sign

Ground or Freestanding Sign. One ground or freestanding sign may be permitted on the property to identify the tenants of the building.

- a) The ground or freestanding sign must include an architectural top and base to enclose any support poles or structure, and the sign shall not be allowed as a freestanding “pole” style sign with exposed support poles. The materials and colors of the sign shall complement or match those of the building on this property.
- b) The overall sign structure may be up to a **maximum 26 feet in height** and a maximum 14 feet in width. The maximum surface area of the text panel shall be no more than 200 square feet per side, as measured by Section B-7 of this MSP.
- c) The sign shall be set back a minimum 5 feet from any property line and a minimum 2 feet from a paved surface (back of curb).

**675-695 West Golf Road
Master Sign Plan
July 2026**

D. Wall Signs

Wall signs shall be permitted for individual tenants of the building, and the following shall apply:

- a) Type. Tenant wall signs shall be individually mounted, internally lighted channel letters or logos mounted either directly to the building wall surface or to a raceway. A raceway shall be painted to match the color of the building wall to which it is mounted. Tenants with equal to or greater than 15,000 square feet of leased space in the building may install a contrasting back panel. A wall sign installed on the front, narrow portion of the building elevation may be a box style sign.
- b) Number and Size.
 - (1) Tenants with equal to or greater than 15,000 square feet of leased space in the building shall be permitted up to two wall signs on the front façade and one wall sign on the interior side façade. The total combined size of all wall signs may be up to a maximum 250 square feet.
 - (2) Tenants with less than 15,000 square feet of leased space in the building shall be permitted one wall sign. A wall sign shall not exceed 3 square feet per 1 foot of lineal tenant storefront, or a maximum of 200 square feet per sign.
- c) Location. Individual tenant wall signs shall be located on the front elevation. Each wall sign shall be centered horizontally within the front façade of the portion of the building leased by the tenant; or over an architectural entry feature of such front façade; provided, however, that if there are multiple tenant wall signs on the same portion of the façade, then they shall be located on the façade so that they are visually proportional in relation to each other and in relation to the architectural features of the building.

E. Directional Signs

- a) Directional or instructional signs shall meet the requirements of Section 9-3-8-B-8. All signs shall be of a consistent design and shall be separate from traffic control signs.

F. Temporary Signs

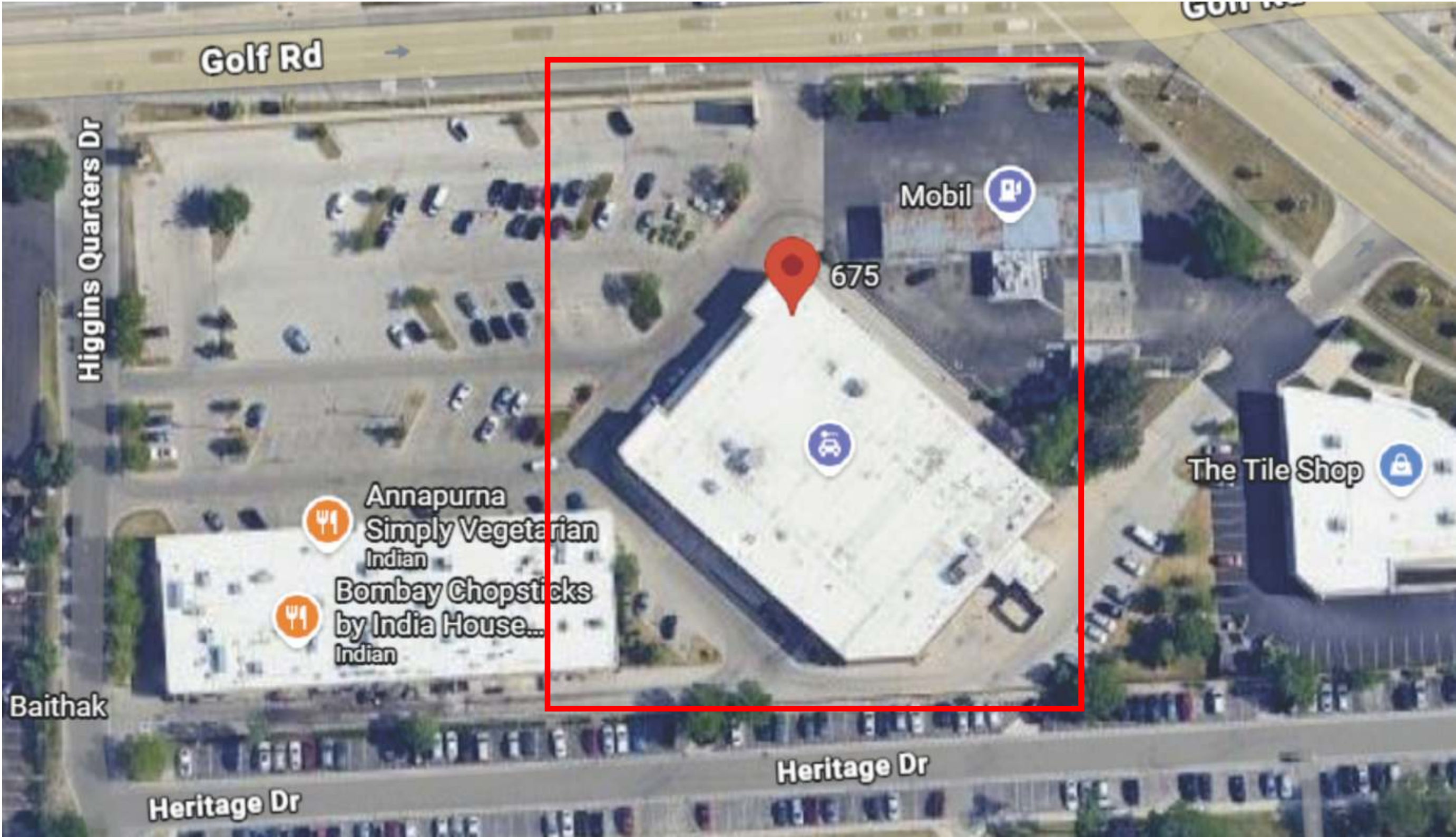
- a) Leasing Sign. Leasing information may be incorporated into the ground sign and shall not be permitted as freestanding signs or on the building exterior.

**675-695 West Golf Road
Master Sign Plan
July 2026**

- b) Special Event Signs. Such signs shall meet the requirements of Section 9-3-8-K of the Zoning Code

G. Amendments

- a) Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met.
- b) New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Zoning Board of Appeals and approval by the Village Board through the process outlined in the Zoning Code for Master Sign Plans.





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FILE NUMBER: E212503



GROUNDING ELECTRICAL CONNECTIONS



Electric Sign Complies with UL48

All electrical components to be UL listed approved & marked per NEC 600-4. All to be electrically grounded & bonded per NEC 250-90, 250-92, 250-94, 250-96 & 600-7. All power supplies to be fused per UL 48, 28.2.1. Sign to meet NEC, UL48 and/or other applicable local codes for electrical signs.

#	Date	Description	Initial
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series: **100**

File Name:
TV-E30659_Hoffman Estates, IL_100.0

Sheet Name:
Site Plan

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

PM:
JL

Page #:
3

Date:
05/06/26

Sales:
House



BY OTHERS

24.65 Sq Ft

TV-EXT-1A

59.94 Sq Ft

TV-EXT-6

24.65 Sq Ft

PAINT

BY OTHERS

182.00 Sq Ft

PAINT

BY OTHERS

78.00 Sq Ft

TV-EXT-12B-OP

40.08 Sq Ft

TV-EXT-12F-OP

40.08 Sq Ft

TV-EXT-12K-OP

40.08 Sq Ft

TV-EXT-12A-OP

40.08 Sq Ft

TV-EXT-12E-OP

42.25 Sq Ft

TV-EXT-CUST-OP-BLU

23.83 Sq Ft

TV-EXT-13

1.88 Sq Ft

TV-EXT-14

1.88 Sq Ft

TV-EXT-CUST-OP-BLU

23.83 Sq Ft

Front Elevation

Scale: NTS



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FILE NUMBER: E212503



Listed
E212503

Electric Sign
Complies with
UL48

All electrical components to be UL listed approved & marked per NEC 600-4. All to be electrically grounded & bonded per NEC 250-90, 250-92, 250-94, 250-96 & 600-7. All power supplies to be fused per UL 48, 28.2.1. Sign to meet NEC, UL48 and/or other applicable local codes for electrical signs.

#	Date	Description	Initial
1	05/06/26	Several Updates per Req.	MJ
2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

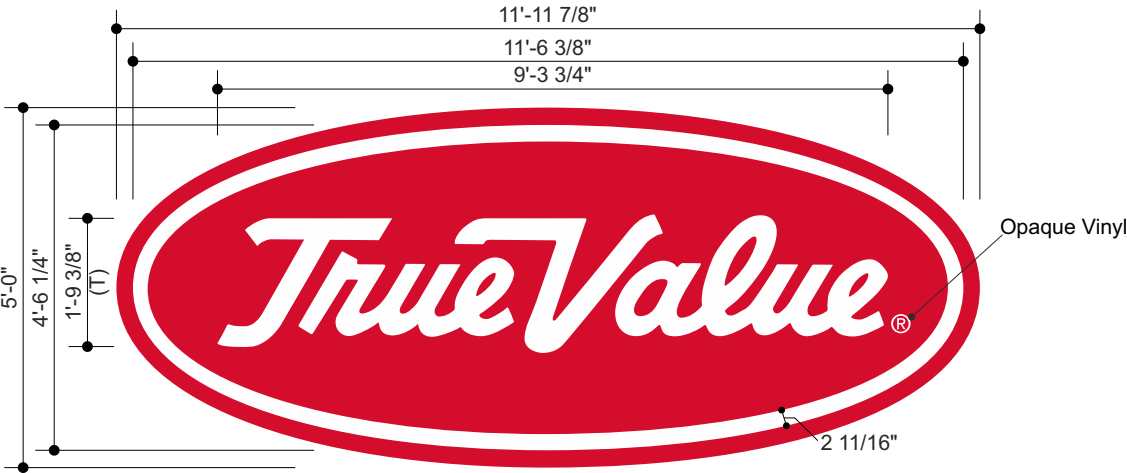
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File Name:
TV-E30659_Hoffman Estates, IL_102

Sheet Name:
Elevation

Estimate #: E30659	Job #: -
Designer: M.Jones	PM: JL
Date: 04/27/26	Sales: House

Page #:
4

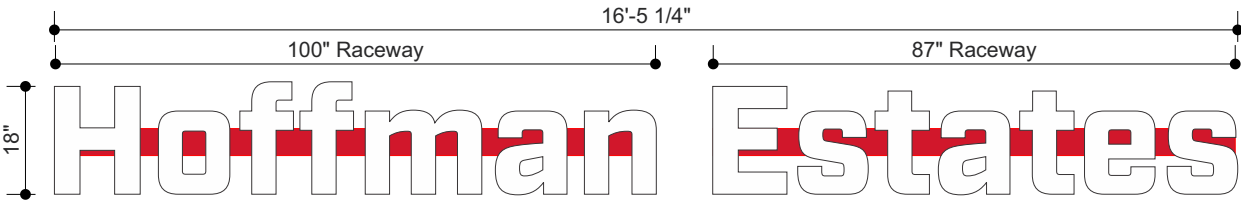


Face View

Scale: 3/8" = 1'-0"

Area

59.94 SqFt



Face View

Scale: 3/8" = 1'-0"

Area

24.65 SqFt

Material Specifications

- White Translucent acrylic
- 3M Opaque Vinyl
7725-10 | white

Color Specifications

- Akzo Nobel match PMS 186
- Akzo Nobel White

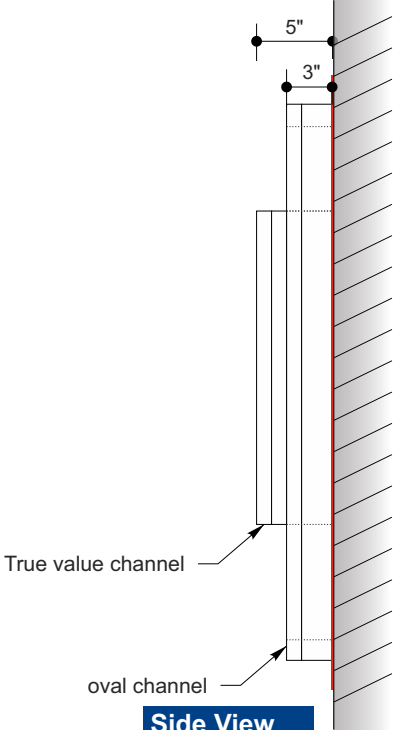
All paint finishes to be Satin
unless otherwise specified

Sign Specification

- Face:3" deep .187" 7328 White acrylic face;
.040" Alum. coil prefinished white; .063" alum back; 1" white trimcap
Raceway Mounted
- Illum:White LEDs as required by manufacturer, Remote power supplies
- Electrical:(1) 20 AMP Circuit, 120 Volts
Actual # of Circuits to be Determined by Licensed Electrical Contractor
- Wall Type:TBD
- Install:Installed Using min. 3/8" All Thread Fasteners
(or approved equivalent) and Wood Blocking as Required
- Font:Industry Black
- Quantity:(1) ONE LETTERSET REQUIRED FOR EXTERIOR ELEVATION

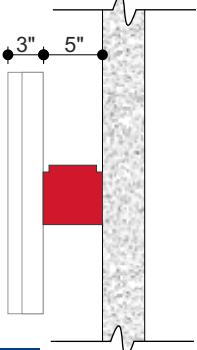
Sign Specification

- True Value:5" deep .187" 7328 White acrylic face; .040" Alum. coil prefinished white;
.063" alum back; 1" white trimcap; ©Contour Opaque White Vinyl
- Oval:3" deep .187" 7328 White acrylic face; .040" Alum. coil prefinished white;
.063" alum back; 1" white trimcap
- Backer:.080" alum painted 186 red (channel pattern on backer)
- Illum:White LEDs as required by manufacturer, Remote power supplies
- Electrical:(1) 20 AMP Circuit, 120 Volts
Actual # of Circuits to be Determined by Licensed Electrical Contractor
- Wall Type:TBD
- Install:Installed Using min. 3/8" All Thread Fasteners
(or approved equivalent) and Wood Blocking as Required
*ship in component pieces - not pre assembled
- Quantity:(1) ONE REQUIRED FOR EXTERIOR ELEVATION



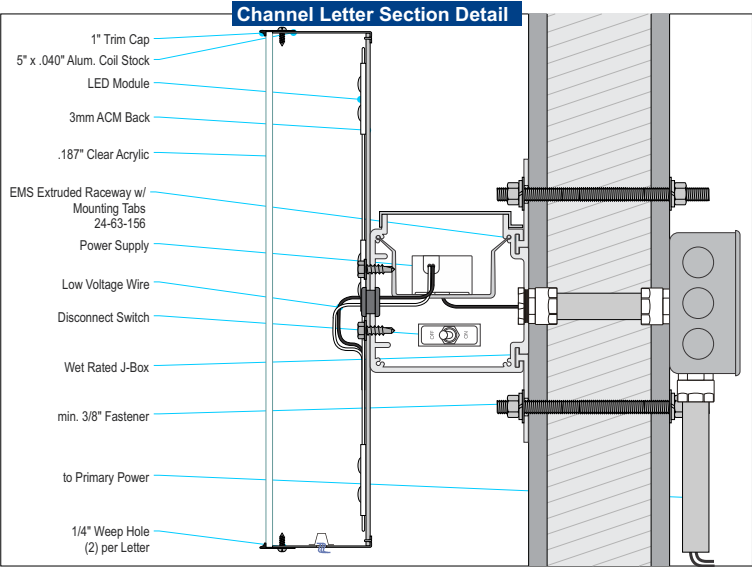
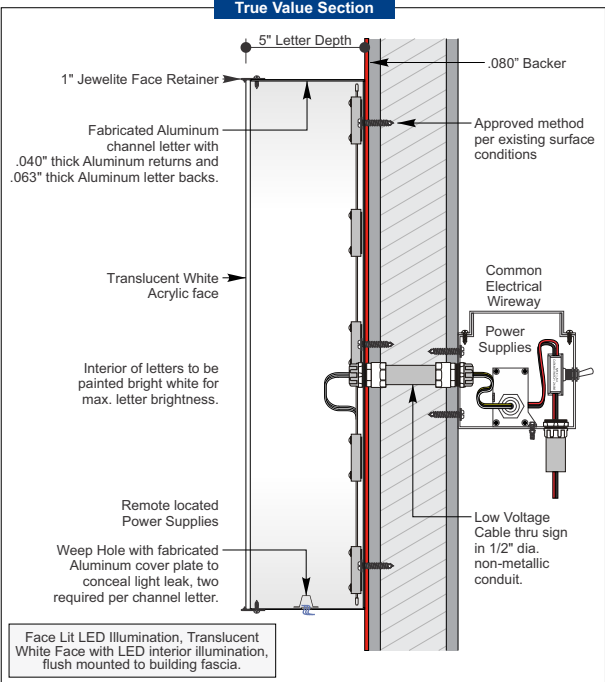
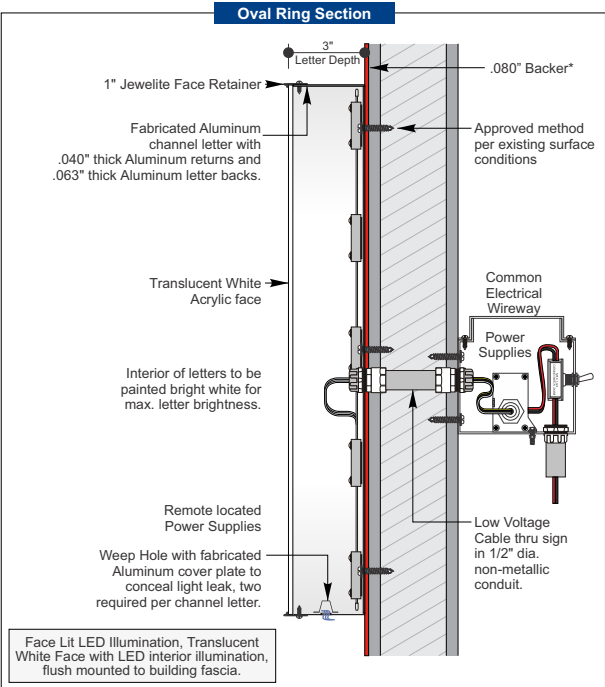
Side View

Scale: NTS



Side View

Scale: NTS



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Allen Industries

FILE NUMBER: E212503

GROUNDING ELECTRICAL CONNECTIONS

Listed MET E212503

Electric Sign Complies with UL48

All electrical components to be UL listed approved & marked per NEC 600-4. All to be electrically grounded & bonded per NEC 250-90, 250-92, 250-94, 250-96 & 600-7. All power supplies to be fused per UL 48, 28.2.1. Sign to meet NEC, UL48 and/or other applicable local codes for electrical signs.

#	Date	Description	Initial
1	05/06/26	Several Updates per Req.	MJ
2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:

True Value #T.B.D.

Address:

675 W Golf Rd.
Hoffman Estates, IL 60169

Drawing Series:

100

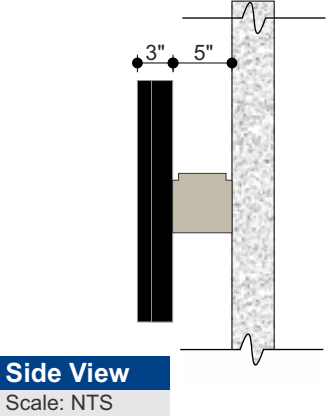
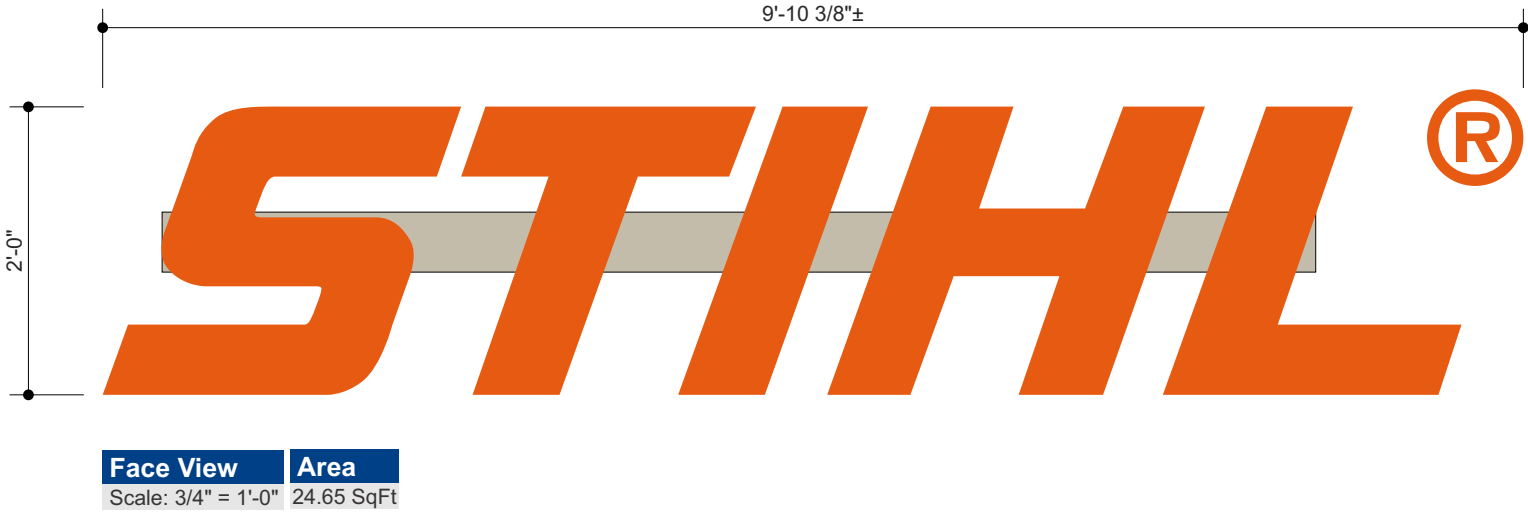
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TV-E30659_Hoffman Estates, IL_102

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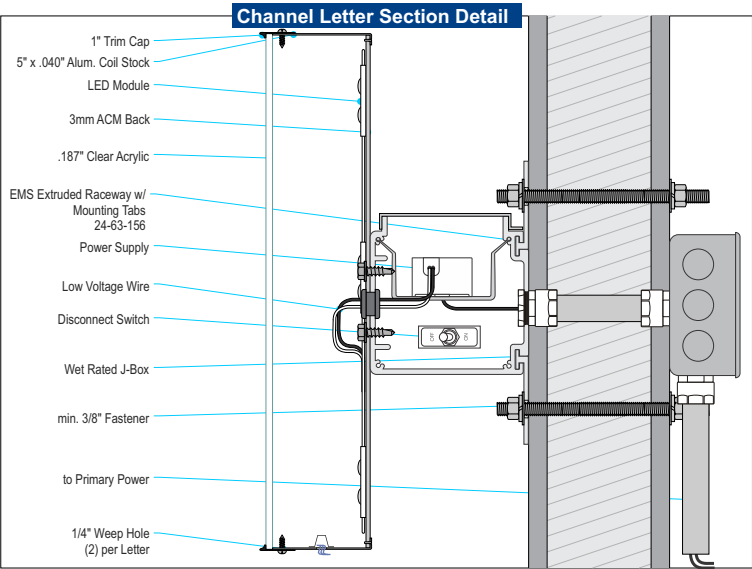
Logo Channel Letters (TV-EXT-1A)(TV-EXT-6)

Estimate #: E30659	Job #: -	
Designer: M.Jones	PM: JL	Page #: 5
Date: 04/27/26	Sales: House	



Note:

STIHL Letters by Others!





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5	-	-	-
6	-	-	-

Client: _____

True Value #T.B.D.

Address: _____

**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series: **100**

File Name: _____

TV-E30659_Hoffman Estates, IL_102

Sheet Name: _____

STIHL Letters By Others

Estimate #: **E30659**

Job #: _____

Designer: **M.Jones**

PM: **JL**

Page #: **6**

Date: **04/27/26**

Sales: **House**



TV-EXT-3A
22.46 Sq Ft

Side Elevation
Scale: NTS

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FILE NUMBER: E212503

GROUNDING ELECTRICAL CONNECTIONS

Listed
MET
E212503

Electric Sign
Complies with
UL48

All electrical components to be UL listed approved & marked per NEC 600-4. All to be electrically grounded & bonded per NEC 250-90, 250-92, 250-94, 250-96 & 600-7. All power supplies to be fused per UL 48, 28.2.1. Sign to meet NEC, UL48 and/or other applicable local codes for electrical signs.

#	Date	Description	Initial
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_100.0

Sheet Name:
Elevation

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

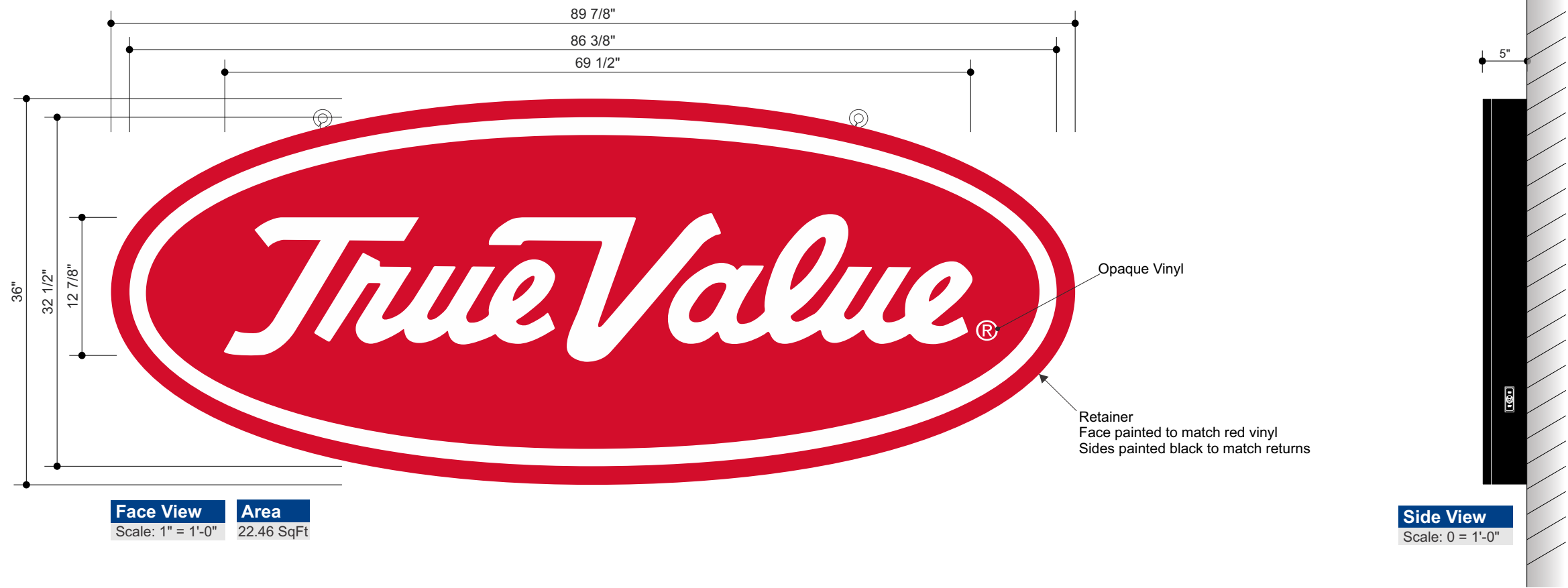
PM:
JL

Date:
05/06/26

Page #:
4

Sales:
House

TV-EXT-3A



Face View

Scale: 1" = 1'-0"

Area

22.46 SqFt

Side View

Scale: 0 = 1'-0"

Night View



Sign Specification

Face:	5" deep .177" SG Clear poly. w/ 2nd surf.; .063" Alum. coil prefinished black; .080" alum back; ®Contour Opaque White Vinyl.
Retainer:	Fabricated Retainer - portion on face painted to match PMS 186 portion on return painted black
Illum:	White LEDs as required by manufacturer, self contained power supplies
Electrical:	(1) 20 AMP Circuit, 120 Volts <i>Actual # of Circuits to be Determined by Licensed Electrical Contractor</i>
Wall Type:	TBD
Install:	Installed Using min. 3/8" All Thread Fasteners (or approved equivalent) and Wood Blocking as Required <i>Note: add pickups</i>
Quantity:	(1) ONE REQUIRED FOR EXTERIOR ELEVATION

Vinyl Specifications

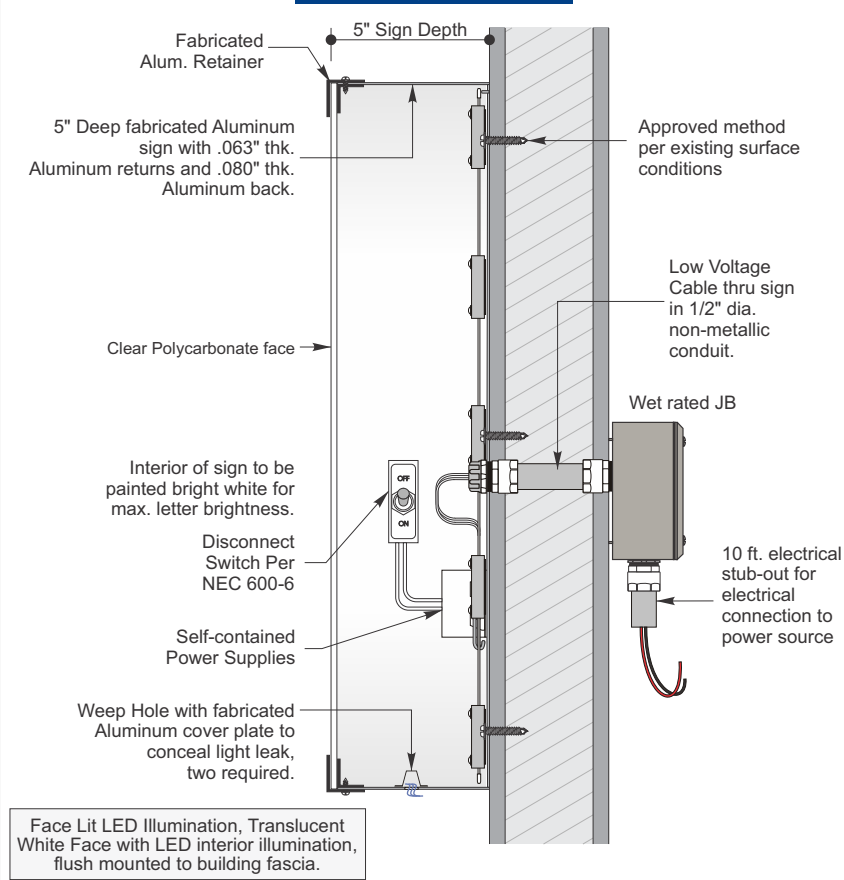
	3M White Diffuser
	3M Translucent Vinyl 3730-33L Red PMS 186c
	3M Opaque Vinyl 7725-10 white

Color Specifications

	Akzo Nobel Black
	Akzo Nobel To Match Pantone 186 C

All paint finishes to be Satin
unless otherwise specified

Wall Sign Section



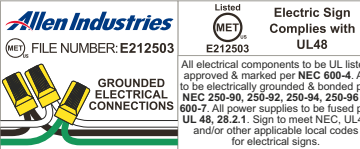
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#	Date	Description	Initial
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:
True Value #T.B.D.

Address:
**675 W Golf Rd.
Hoffman Estates, IL 60169**

Drawing Series:
100

File Name:
TV-E30659_Hoffman Estates, IL_100.0

Sheet Name:
Logo Cabinet (TV-EXT-3A)

Estimate #:
E30659

Job #:
-

Designer:
M.Jones

PM:
JL

Page #:

Date:
05/06/26

Sales:
House

5



Face View Area
Scale: 1/2" = 1'-0" 71.00 SqFt

Background not to illuminate



Face View Area
Scale: 1/2" = 1'-0" 30.00 SqFt

General Specifications

(TV) Faces:	.177" Flat Clear Polycarbonate w/ Second surface graphics
Quantity:	(2) TWO REQUIRED FOR EXTERIOR ELEVATION

General Specifications

(BM) Faces:	.177" Flat Clear Polycarbonate w/ Second surface graphics
Quantity:	(2) TWO REQUIRED FOR EXTERIOR ELEVATION

True Value

Color Specifications

- White
- Paint to Match PMS 186c
- Paint to Match PMS 2965c

All paint finishes to be Satin
unless otherwise specified

Benjamin Moore

Color Specifications

- White
- Paint to Match PMS 199c

All paint finishes to be Satin
unless otherwise specified

Existing Conditions



Proposed Conditions



Client Review Status

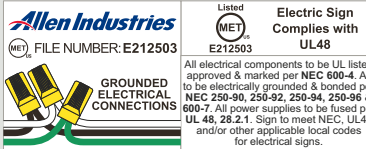
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

Client Signature:

Approval Date:

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#	Date	Description	Initial
1	05/06/26	Several Updates per Req.	MJ
2	05/27/26	Paint Notes Updated per Req.	MJ
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client:

True Value #T.B.D.

Address:

675 W Golf Rd.
Hoffman Estates, IL 60169

Drawing Series:

100

File Name:

TV-E30659_Hoffman Estates, IL_102

Sheet Name:

Face Replacements (TV-EXT-15)

Estimate #:

E30659

Job #:

-

Designer:

M.Jones

PM:

JL

Page #:

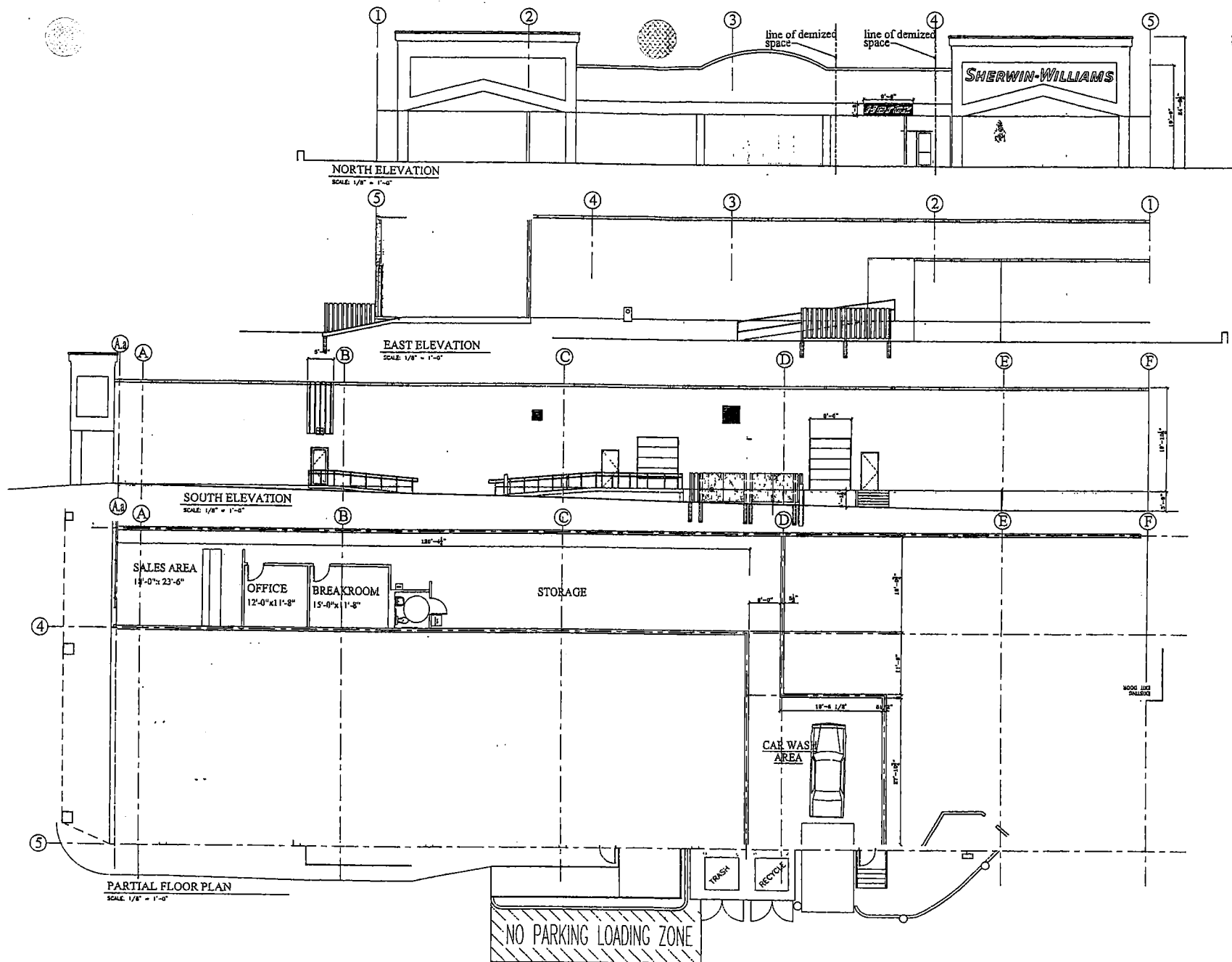
12

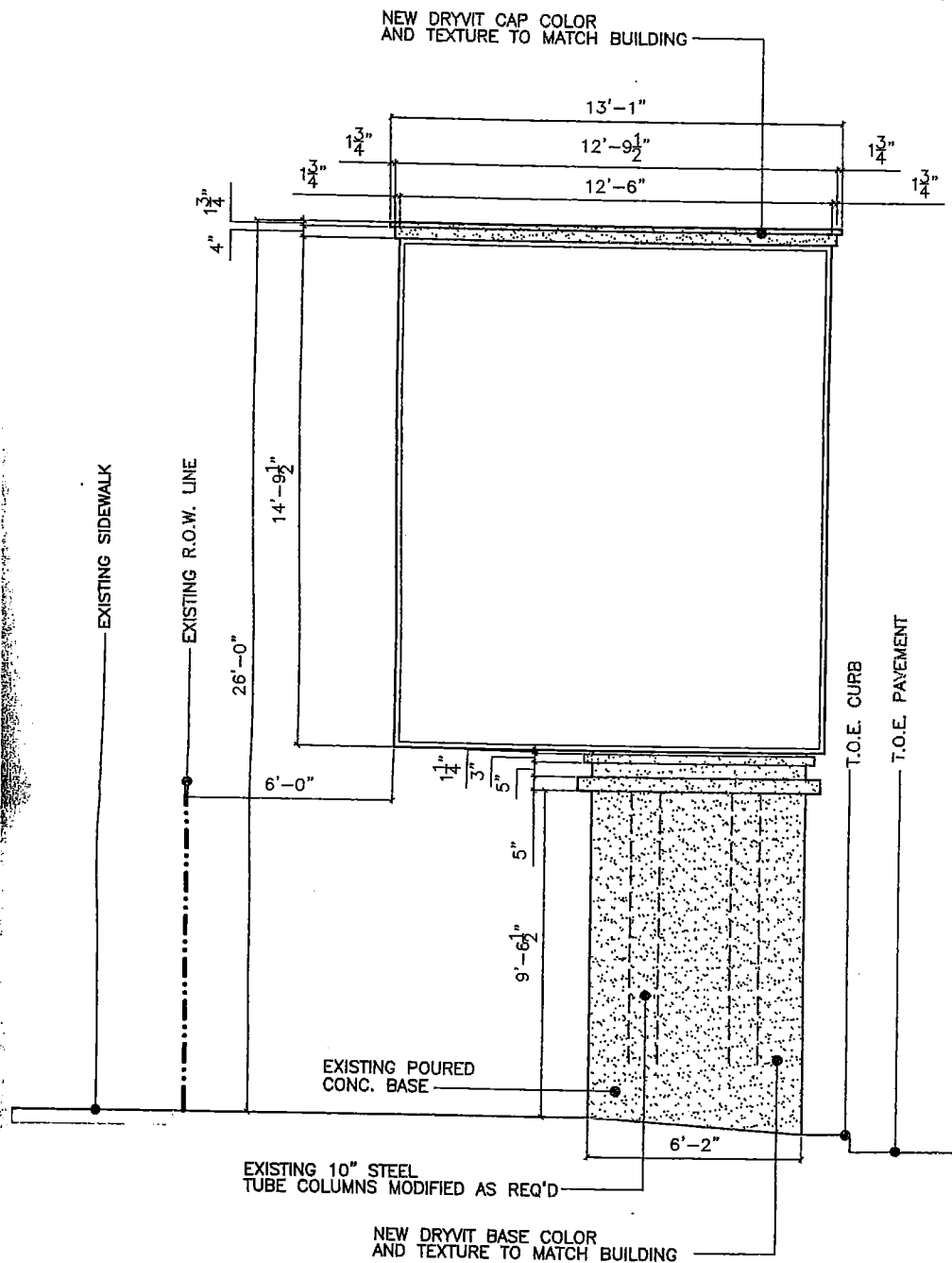
Date:

04/27/26

Sales:

House

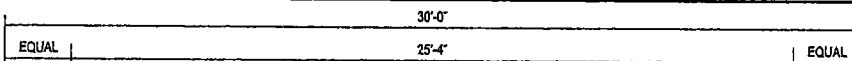




NEW SIGN PER MASTER SIGN PLAN

SIGN S.F.= 184.89

THOMAS V. SCESNIAK associates 1724 West 5th St. Road, Schaumburg, Illinois 60193 ARCHITECTS PLANNERS ENGINEERS 815.352.5112 fax@tvsassociates.com www.tvsassociates.com	
NEW MAIN SITE SIGN	
675-695 West Golf Road SOUTHWEST CORNER GOLF & HIGGINS ROADS HOFFMAN ESTATES, ILLINOIS	
11/12 04/15/10 11/12	11/12 04/15/10 11/12
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SA-1	



DESCRIPTION :

COLORS :

- SQUARE FOOTAGE:**

ALLOWABLE = 1.5 FT. PER 1 FT. OF LINEAR FRONTAGE = 200 SQ. FT.
 PROPOSED = COMPUSA = 4' x 25.3' = 101.2 SQ. FT.
 CABINET = 2' x 30' = 60 SQ. FT.
 TOTAL PROPOSED = 161.2 SQ. FT.



09010049



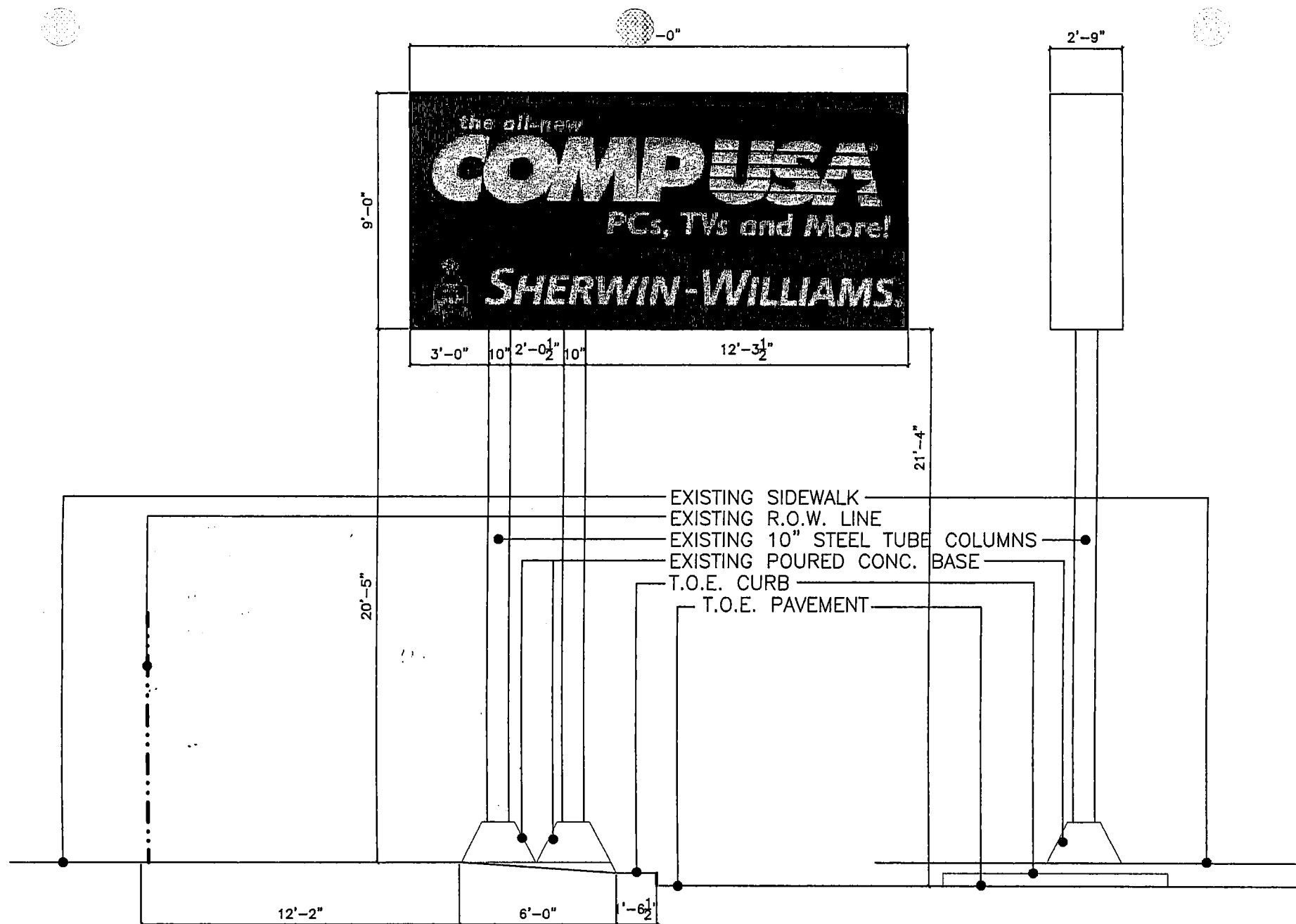
Number	Revision Description	By	Date
	Revised per comments	BH	12/01/08

Approved by _____

COMPUSA.com

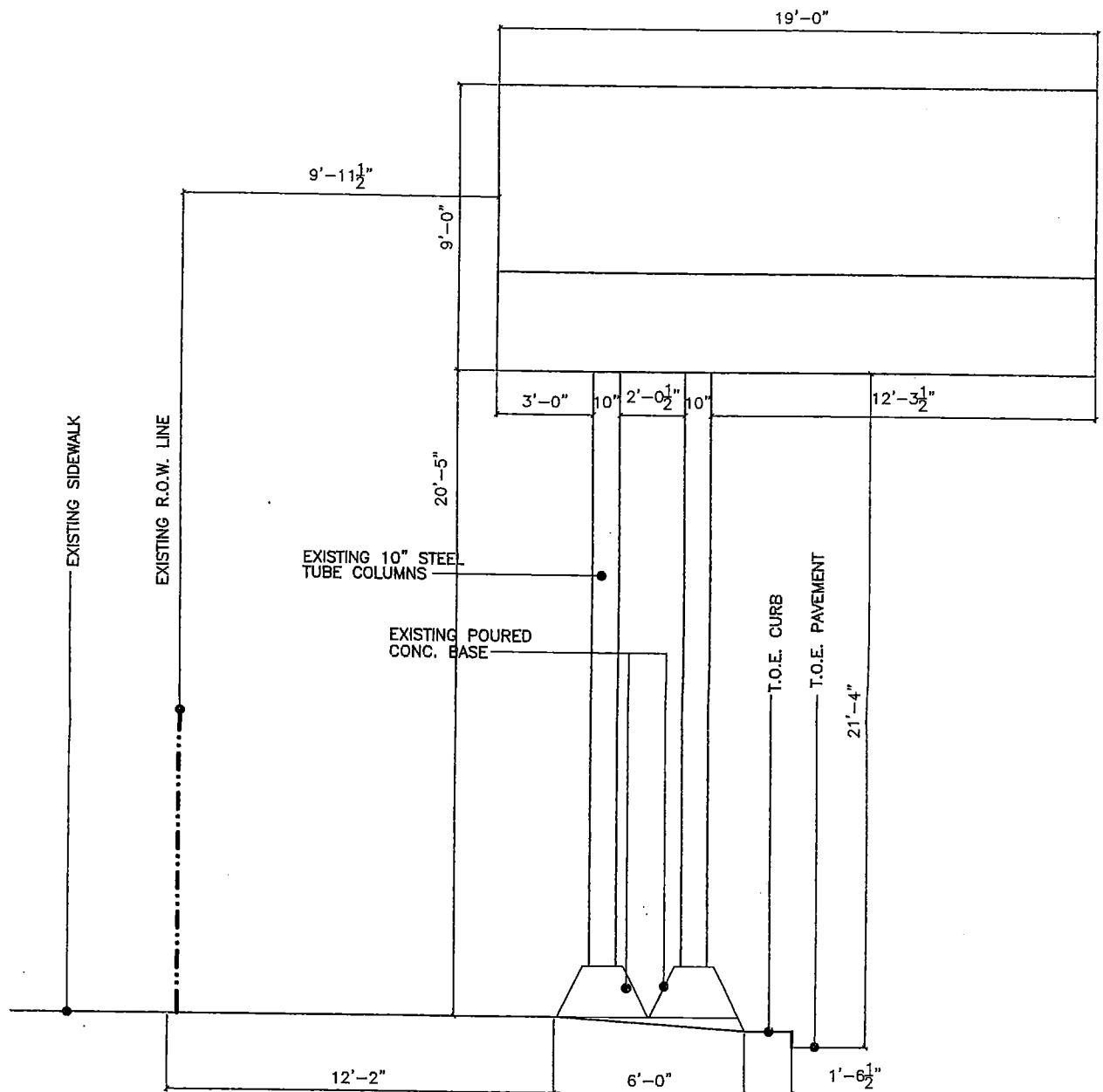
675 W. GOLF ROAD VILLAGE OF HOFFMAN ESTATES, ILLINOIS

Sell	09/30/08	Contract #	A20803
Product	S. Goldib	Model	As Shown
Model Name	J. Ronneburger	Unit	A2
Price	B. Hodge		
To Complisa.Com/Hoffman Estates IL/A20803			



EXISTING SIGN

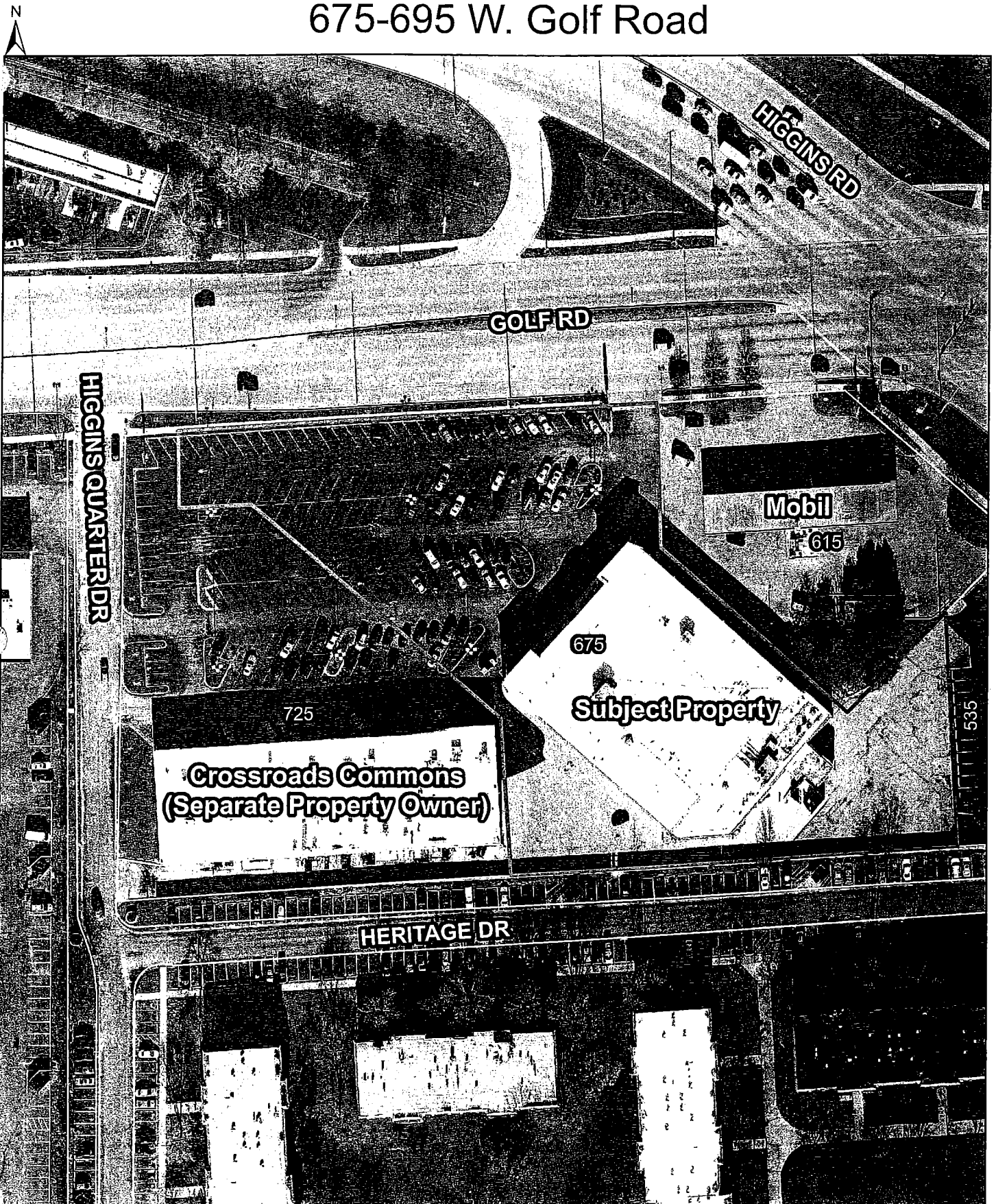
SCALE: 1"=30.00'



EXISTING-LEGAL NON-CONFORMING SIGN

EXISTING S.F. = 171.00

675-695 W. Golf Road



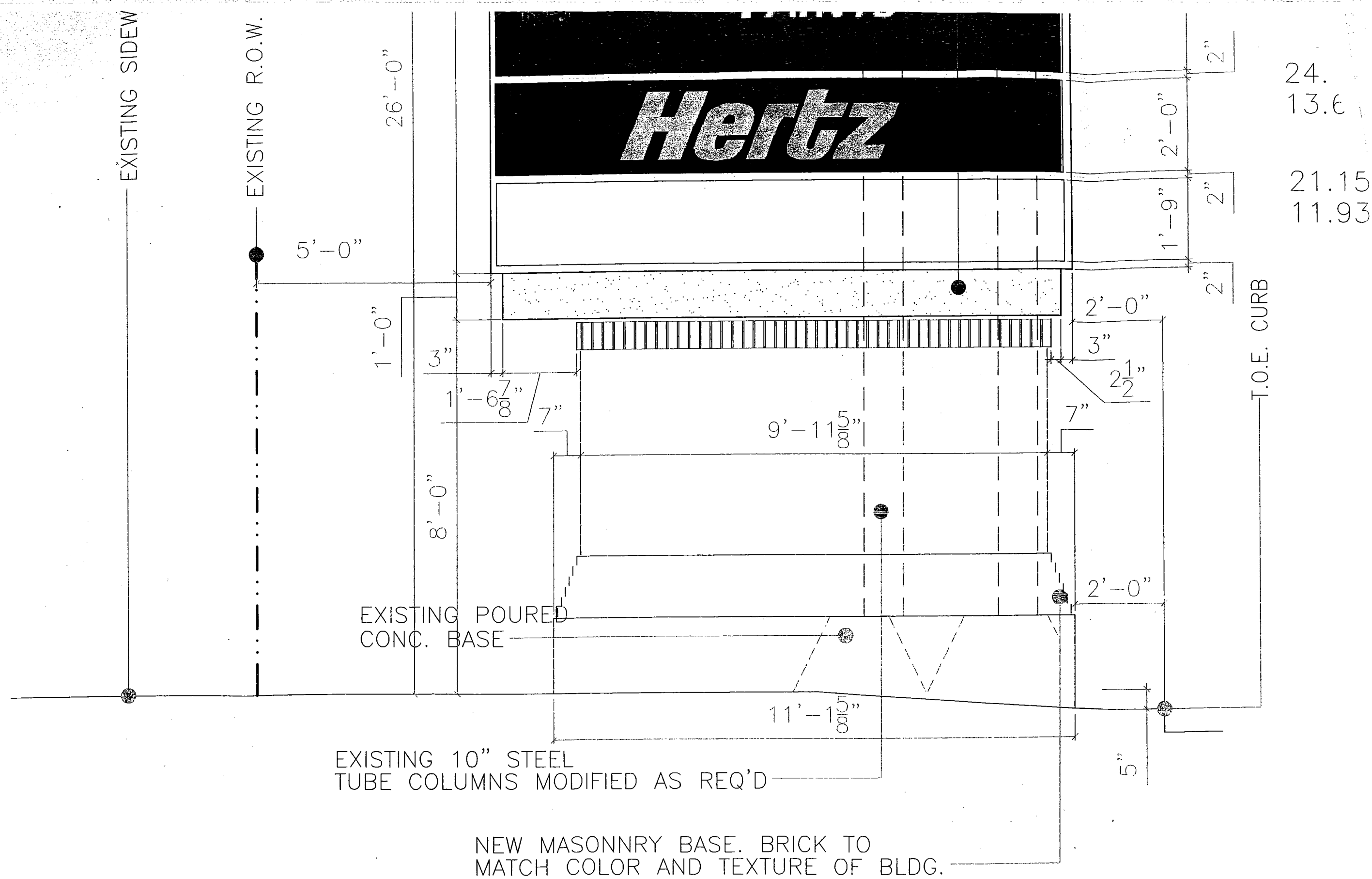
1 inch = 100 feet

Planning Division
Village of Hoffman Estates
June 2010

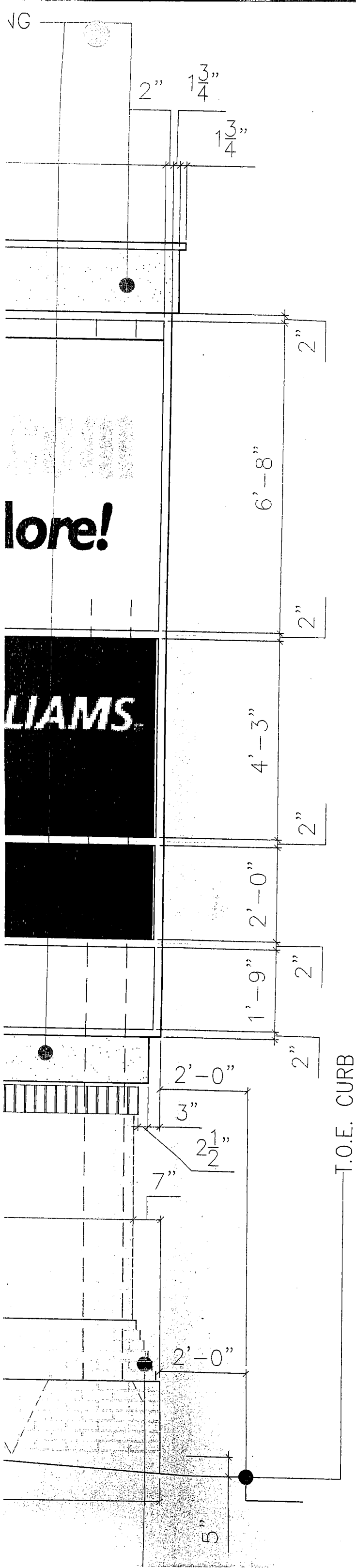
NEW DRYVIT CAP & BASE COLOR
AND TEXTURE TO MATCH BUILDING



T.O.E. CURB



NEW SIGN PER MASTER SIGN PLAN

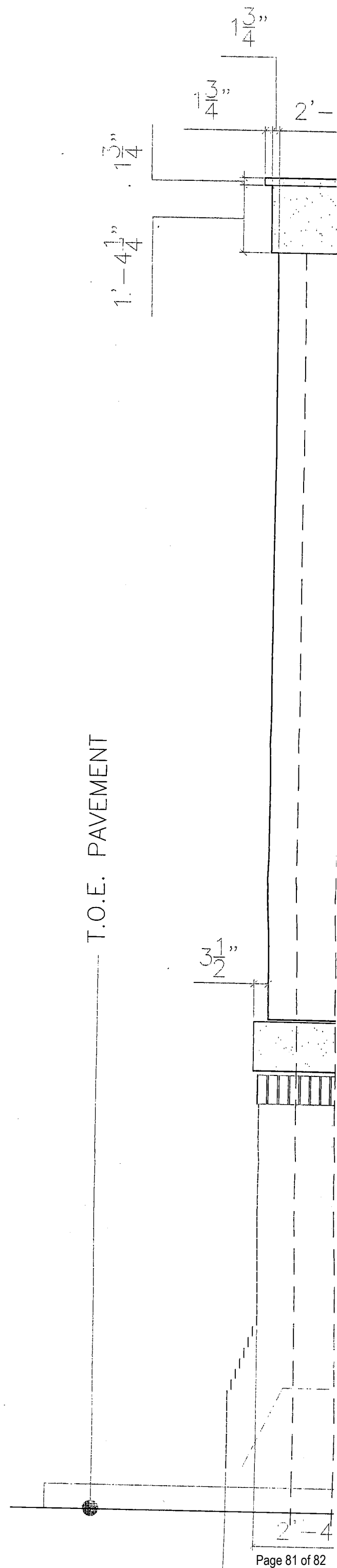


80.55sf
45.451% of TOTAL

51.35sf
28.975% of TOTAL

24.17sf
13.638% of TOTAL

21.15sf
11.934% of TOTAL



RECEIVED
JAN 04 2011
PLANNING DIVISION

RECEIVED
JAN 04 2011
PLANNING DIVISION

