



AGENDA
Planning & Zoning Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

January 15, 2025

Council Chambers

6:30 PM

1. **CALL TO ORDER/ROLL CALL**
2. **APPROVAL OF MINUTES**
 - A. Planning & Zoning Commission 12-04-2024
3. **CHAIRPERSON'S REPORT**
4. **NEW BUSINESS**
 - A. Public Hearings
 1. Variation from Section 9-5-5-D-6 of the Municipal Code to permit a rear yard setback of 9.5 feet instead of the minimum required 20 feet for the property located at 3688 Whispering Trails Drive
 2. Variation from Section 9-3-6-K-2 of the Municipal Code to permit a garage to be 1,258 square feet instead of the maximum permitted 750 square feet for the property located at 1120 Ash Road
 3. Rezoning from R-2 One-Family Residential District to R-10 Attached Single-Family Dwelling Residential District, Variations from Sections 9-5-10-D-1 and 9-5-10-D-10 of the Municipal Code, and Preliminary Concept Site Plan for the property located at 1180-1190 Apple Street
5. **STAFF DISCUSSION**
6. **PUBLIC COMMENT**
7. **ADJOURNMENT**

The next regular Planning & Zoning Commission meeting is scheduled for **Wednesday, February 05, 2025 at 6:30 p.m.**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



MINUTES
Planning & Zoning Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

December 4, 2024

Council Chambers

6:30 PM

1. CALL TO ORDER/ROLL CALL

Chairperson Combs called the meeting to order at 06:30 PM.

Commissioners Present: Eva Combs, Adam Bauske, Lon Harner, Minerva Milford, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani, Daniel Lee (arrived at 6:31pm following approval of Minutes)

Commissioners Absent: Unexcused: Lenard Henderson

A quorum was present.

Administrative Personnel Present: Kevin Anderson, Associate Planner; Daisy Dose-Adamzadeh, Assistant Planner

2. APPROVAL OF MINUTES

A. Planning & Zoning Commission 11-20-2024

Motion by Commissioner Chhatwani, seconded by Commissioner Harner, to approve November 20, 2024, regular meeting minutes. Voice vote taken. Ayes - 7, Nays - 0, (Abstain: Denise Wilson). Motion Passed.

3. CHAIRPERSON'S REPORT

Chairperson Combs stated the Site Plan Amendment and the Special Use to Clearbrook for a social service agency at 1260 W. Higgins Road was approved by the Village Board.

Commissioner Lee arrived to the meeting at 6:31 p.m.

4. NEW BUSINESS

A. Public Hearings

1. Special Use to Ivy Massage N Spa, Inc. for a massage establishment located at 1033 W. Golf Road

Motion by Commissioner Harner, seconded by Commissioner Trieb, to Open Public Hearing. Voice vote taken. Ayes - 9, Nays - 0, (Abstain: None). Motion Passed.

Chairperson Combs swore in the petitioner.

Bob Xiang (1033 W Golf Road)

Mr. Xiang presented an overview of the project.

Daisy Dose-Adamzadeh presented an overview of the staff report.

Commissioner Chhatwani inquired about there only being two therapists, and hours from Monday through Saturday, if the petitioner believed that might be a lot of hours for the therapists to work. Mr. Xiang stated the working hours might be staggered and, if needed, additional help might be hired.

Commissioner Chhatwani asked where within the plaza the salon would be located. Mr. Xiang stated it would be located near the Thai restaurant.

Commissioner Chhatwani asked how long the lease was for the establishment. Mr. Xiang stated the lease is five years with an additional five years option available.

Commissioner Harner asked how the front of house would be handled. Mr. Xiang stated that since they operate by appointment only, the customer would come out to pay once the massage is complete. Commissioner Harner clarified his question by inquiring if the front door would be locked. Mr. Xiang stated the door would be unlocked. Commissioner Harner further inquired whether that would allow anyone to just come in and have full access to the establishment without the employee knowing, since they are busy giving a massage. Mr. Xiang stated that most of the time, there are two people on staff, but that they chose the location because it is in a nice area. Commissioner Harner agreed it is a nice area, but stated they should probably consider having an employee in the front of the establishment regularly, so people do not just wander in freely.

Commissioner Trieb had no questions.

Commissioner Lee asked when they planned to open for operation. Mr. Xiang stated that there would be a little bit of remodeling, then depending on the building permit process, it might be February or March before they are open.

Commissioner Lee asked how reservations are made. Mr. Xiang stated they have an online site as well as making reservations over the phone.

Commissioner Milford had no questions.

Commissioner Wilson had no questions.

Commissioner Wise had no questions.

Vice Chairperson Bauske asked the petitioner if he agreed with the conditions of approval in the staff report. Mr. Xiang stated yes.

Chairperson Combs suggested possibly having a doorbell outside with a sign so that customers can ring the bell in order to be allowed to enter.

Chairperson Combs asked staff if there is a reason a condition that used to be made with Special Use requests which would provide an end to the Special Use if the business was no longer occupying the space is not included with this request. Ms. Dose-Adamzadeh stated that each Special Use is issued an Ordinance specific to the business, so if the business no longer occupies the space, the Ordinance is no longer valid. Chairperson Combs understood this, but again asked if there is a reason the condition is no longer explicitly stated as it was included in past years. Ms. Dose-Adamzadeh stated they no longer had to list this condition because of the Ordinance.

Chairperson Combs asked if there were any members of the audience that would like to comment on the request. There were no public comments.

Motion by Commissioner Wilson, seconded by Commissioner Harner, to Close Public Hearing. Voice vote taken. Ayes - 9, Nays - 0, (Abstain: None). Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to adopt the Findings of Fact for a Special Use as outlined in the Findings & Recommendations Summary.

Roll call vote:

Aye: Eva Combs, Adam Bauske, Lon Harner, Daniel Lee, Minerva Milford, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Nay: None

Absent: Lenard Henderson

Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to recommend a request of a Special Use to Ivy Massage N Spa, Inc. for a massage establishment located at 1033 W Golf Road, subject to the conditions as of the December 4, 2024, Staff Report.

Roll call vote:

Aye: Eva Combs, Adam Bauske, Lon Harner, Daniel Lee, Minerva Milford, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Nay: None

Absent: Lenard Henderson

Motion Passed.

Chairperson Combs stated this recommendation would be presented to the Village Board at

the next regular meeting on December 16, 2024, at 7:00 p.m.

5. STAFF DISCUSSION

Ms. Dose-Adamzadeh stated there will be a meeting on December 18, 2024, to present a rezoning request as well as a variation request for garage size. The regular meeting scheduled for January 1, 2025, has been canceled.

6. PUBLIC COMMENT

None.

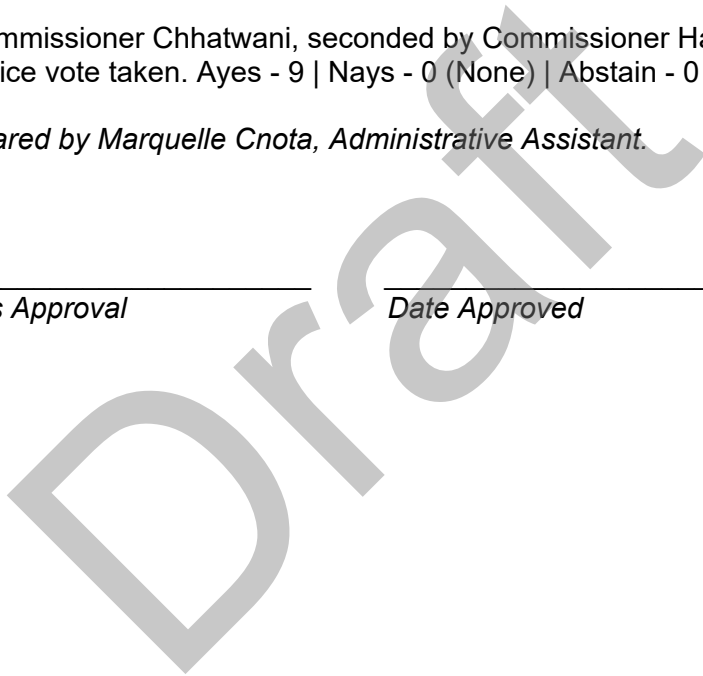
7. ADJOURNMENT

Motion by Commissioner Chhatwani, seconded by Commissioner Harner, to adjourn at 06:48 PM. Voice vote taken. Ayes - 9 | Nays - 0 (None) | Abstain - 0 (None). Motion Passed.

Minutes prepared by Marquelle Cnota, Administrative Assistant.

Chairperson's Approval

Date Approved





PLANNING & ZONING COMMISSION STAFF REPORT

Meeting Date: 1/15/2025

From: Kevin Anderson, Associate Planner

PLN24-0048

Public Hearing

Variation from Section 9-5-5-D-6 of the Municipal Code to permit a rear yard setback of 9.5 feet instead of the minimum required 20 feet for the property located at 3688 Whispering Trails Drive

REQUEST SUMMARY

The property owner is proposing a single-story addition to an existing home located at 3688 Whispering Trails Drive. The proposed addition is 706.5 square feet and is setback approximately 9.5 feet from the rear yard property line, exceeding the minimum rear yard setback of 20 feet in the R-5 zoning district. The proposed addition meets all other R-5 district zoning regulations.

Location:	3688 Whispering Trails Drive
Property Owner / Applicant:	Barbara Mlynska
Property Size:	0.25 ac
Zoning / Land Use:	R-5 One-Family Residential
Adjacent Properties:	All surrounding properties: R-5 One-Family Residential

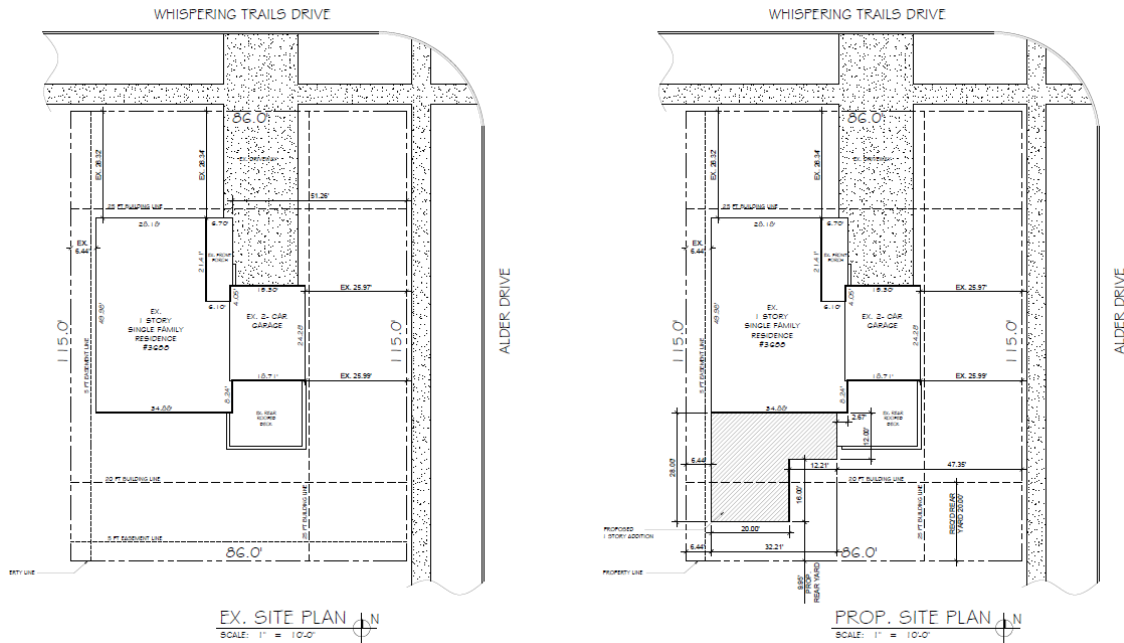
BACKGROUND / ANALYSIS

The subject property is improved with a 1,600 square foot home and attached 2-car attached garage. The owner is proposing a 706.5 square foot single-story addition in the rear of the existing single-story home. The proposed addition has a rear yard setback of 9.5 feet instead of the required 20 feet, necessitating this variation request. The addition conforms to all other bulk regulations of the R-5 district including height, side yard setback, and floor area ratio requirements.

The addition will include space for living and family rooms in an "L" shape so as to maximize the remaining yard area in the southeast corner of the lot. The home does not have a basement. The owner explored a second story addition as an alternative, but prefers a first floor addition due to costs and the desire to have a single-story home for ease of accessibility.

Depending on the value of the addition, fire suppression sprinklers may be required to be installed. This would be determined as part of the building permit review.

Proposed Site Plan:



Notification

The Village sent standard notification letters to all properties within 150' of the subject property. No objections have been received. The Petitioner has submitted letters of awareness from all surrounding property owners.

MOTIONS

The Planning & Zoning Commission shall make the following motions (a total of 2 motions are required):

1. Adopt the Findings of Fact for a Variation.
2. Recommend to the Village Board approval of a Variation from Section 9-5-5-D-6 of the Municipal Code to permit a rear yard setback to be 9.5 feet instead of the minimum required 20 feet, subject to the following conditions:
 - a. The development shall substantially conform to the plans attached hereto and submitted as part of this application except as such plans may be changed to conform to all Village Codes and Ordinances
 - b. A building permit shall be obtained within 12 months of the Village Board action on this request. Engineering plans shall be submitted as part of the building permit application.

ATTACHMENTS

1. Draft PZC Findings and Recommendations Summary
2. Location Map
3. Supporting Documents



**PLANNING & ZONING COMMISSION
FINDINGS & RECOMMENDATION SUMMARY**

Meeting Date: 1/15/2025

Prepared By: Kevin Anderson, Associate Planner

PLN24-0048

Variation from Section 9-5-5-D-6 of the Municipal Code to permit a rear yard setback of 9.5 feet instead of the minimum required 20 feet for the property located at 3688 Whispering Trails Drive

Draft Findings of Fact – Variation *(as drafted by staff and may be modified by the Commission)*

Sec. 9-1-15-C: Standards for Variations.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
FINDING: Alternatives that meet the zoning code are available but are undesirable to the petitioner.
 - b. The plight of the owner is due to unique circumstances;
FINDING: The petitioner has submitted evidence that they are one of the only units in this neighborhood of this model type, which is located on a corner lot, and does not have a basement.
 - c. The variation, if granted, will not alter the essential character of the locality.
FINDING: The proposed addition would have no impact on the neighborhood character.
2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence:
 - a. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
FINDING: No evidence has been provided to support this finding.
 - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
FINDING: The petitioner has identified 3 other units in the Whispering Trails neighborhood which are corner lots with no basement or other addition.

- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
FINDING: The petitioner has indicated they plan to remain in this residence and are seeking to enhance the usefulness of the property.
 - d. The alleged difficulty or hardship has not been created by any person presently having an interest in the property;
FINDING: The residence was constructed as it is prior to the current homeowner taking possession.
 - e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
FINDING: There is no evidence that the granting of the variation would have an impact on light, air, or congestion, endanger the public safety or diminish property values in the neighborhood.
 - f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.
FINDING: There is no evidence that the granting of the variation would have an impact on light, air, or congestion, endanger the public safety or diminish property values in the neighborhood. The petitioner has been notified that fire suppression sprinklers may be required as part of the addition.
3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefitted by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

Draft Recommendations

The Planning & Zoning Commission shall make the following motions *(a total of 2 motions are required)*:

- 1. Adopt the Findings of Fact for a Variation.

Motion by _____, seconded by _____, to adopt the findings.

Roll call vote:

Aye:

Nay:

Absent:

Motion [Passed/Failed].

- 2. Recommend to the Village Board of Trustees approval of the request for a Variation from Section 9-5-5-D-6 of the Municipal Code to permit a rear yard setback of 9.5 feet instead of the minimum required 20 feet for the property located at 3688 Whispering Trails Drive, subject to the following conditions:

- a. The development shall substantially conform to the plans attached hereto and submitted as part of this application except as such plans may be changed to conform to all Village Codes and Ordinances.
- b. A building permit shall be obtained within 12 months of the Village Board action on this request. Engineering plans shall be submitted as part of the building permit application.

Motion by _____, seconded by _____, to recommend approval.

Roll call vote:

Aye:

Nay:

Absent:



Motion [Passed/Failed].

3688 WHISPERING TRAILS DR
01-25-207-011-0000

N



Legend

-  Subject Property
-  Parcel



Department of Development Services
Village of Hoffman Estates



VILLAGE OF HOFFMAN ESTATES PLANNING & ZONING APPLICATION SUMMARY

APPLICATION INFORMATION

Project Number:	PLN24-0048
Project Name:	SFR Setback Reduction
Project Application Date:	11/27/2024
Project Manager:	Kevin Anderson

PROJECT TYPE

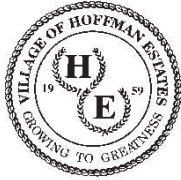
Variation - Residential;

SITE INFORMATION

Property Address:	3688 WHISPERING TRAILS DR
All Included PINs:	01-25-207-011-0000

PROJECT CONTACTS

Relationship to Project	Name / Firm	Address	Phone	E-Mail
APPLICANT	BARBARA MLYNSKA	3688 WHISPERING TRAILS DR HOFFMAN ESTATES, IL 601921551	2246284444	BARBARA@CHICAGOACCOUNTING.US
OWNER	BARBARA MLYNSKA	3688 WHISPERING TRAILS DR HOFFMAN ESTATES, IL 601921551	2246284444	BARBARA@CHICAGOACCOUNTING.US



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING VARIATION ADDENDUM

REQUIRED SUBMITTALS

✓	General Application
✓	Variation Hearing Fee <i>Commercial: \$500 per variation</i> <i>Residential: \$175</i> <i>Sign: \$500 per sign</i>
✓	Legal Description typically found on the tax bill, deed, or plat of survey.
✓	Current Plat of Survey drawn to scale showing the proposed improvement(s) and distance(s) from existing structures and property lines. For sign variations, ALL signs should be shown and labeled on the plat including the sign(s) for which the variation is being requested.
✓	A scale drawing of the floor plan and elevations, including windows and door locations.
✓	A project narrative detailing the request including whether there are other options that would not require a variation, proposed construction materials, whether removal/relocation of trees or utilities will be required and the estimated total project cost. Include any relevant plans, documents, and photos to support the request.
	If any part of your existing and/or proposed use is located in any part of a utility easement, written release(s) from the Village or utility company may be required.
✓	A Statement of Awareness from directly impacted neighbors acknowledging their awareness of your proposal (residential variations only) .

STANDARDS OF VARIATION

Zoning Code Section 9-1-15-C-2 of the Municipal Code requires that the Planning and Zoning Commission shall, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence presented. All standards must be answered in full. A separate piece of paper may be used if more room is required.

1. The particular physical surroundings and shape of topographical conditions of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out. Please provide an explanation.

If we built a first-story addition within the village's zoning code, most of our backyard would become unusable. The proposed addition's L shape allows for a bigger backyard that the family can enjoy - which is a corner lot. It also allows for fewer windows facing neighbors' yards. Moreover, the addition would be much smaller and would not accommodate the proper family, living and dining room. We considered building up, but building a second floor limits all neighbors privacy because windows would be overlooking neighbors yards, patios and decks. The stairs in the house are a problem for many elderly people, thus it is essential this house is handicapped accessible.

2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification. Please provide an explanation.

Please see narrative list.

3. The purpose of the Variation is not based exclusively upon a desire to increase the value of the property. Please provide an explanation.

Need more room for the family.

We are planning to stay in this house until we are not able to take care of it ourselves, so the value increase is not the primary reason for the addition.

4. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of the property. Please provide an explanation.

The same as above.

5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. Please provide an explanation.

1. The addition will be built with permits following the international building codes and inspections

2. This is a private residence

3. Will increase the house's value what should have a positive impact on the value of other houses in the neighborhood.

6. The proposed variation will not impair an adequate supply of light and air to adjacent properties, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood. Please provide an explanation.

Availability of the light and air is less impacted by new addition than it would have been by the new structure build by the code.

This is the smallest house in the neighborhood. The two story houses in the neighborhood are taller than the highest point in the proposed addition.

Dear Planning and Zoning Commission,

We would like to request a setback reduction for a one-story residential addition.

The size of our family has increased to 5 within the last 4 years, and the existing square footage of our house does not meet all our needs.

Most houses in our neighborhood that are the same model either have a basement or addition or are occupied by smaller families—a maximum of three families.

There are 29 ranch houses in our neighborhood (the same as ours). Only 2 of these 29 houses are occupied by a family of 4 (6%). We talked to some owners, and one is also considering building an addition. The other family plans to move out to a bigger house.

1. There are 16 houses with the basement:

ADDRESS	BASEMENT
3660 HUNTINGTON	X
3671 WHISPERING TRAILS	X
3825 WHISPERING TRAILS	X
1849 BURR RIDGE DRIVE	X
1779 BURR RIDGE DRIVE	X
1820 BURR RIDGE DRIVE	X
3719 N ALDER	X
3710 N ALDER	X
3770 N ALDER	X
3768 ALDER CT	X
1939 W ALDER DRIV	X
1779 DOGWOOD CT	X
1920 DOGWOOD DR	X
1840 DOGWOOD DR	X
3760 WINDING TRAIL	X
3681 LEATHERLEAF CT	X

2. There are 7 houses with the addition

ADDRESS	BASEMENT	ADDITION
3775 WHISPERING TRAILS		X
1779 BURR RIDGE DRIVE	X	X
3770 N ALDER	X	X
1920 DOGWOOD DR	X	X
3711 WINDING TRAIL		X
3710 LEATHERLEAF		X
3681 LEATHERLEAF CT	X	X

3. There are 9 corner lot houses, of which only 4 (including ours) do not have a basement:

ADDRESS	BASEMENT	ADDITION	CONERN LOT
3660 HUNTINGTON	X		X
3805 WHISPERING TRAILS			X
3825 WHISPERING TRAILS	X		X
3659 N ALDER			X
3770 N ALDER	X	X	X
3789 N ALDER			X
1779 DOGWOOD CT	X		X
3760 WINDING TRAIL	X		X
3681 LEATHERLEAF CT	X	X	X

4. There are 10 houses without a basement or addition, which are occupied mainly by families of 2 and 3. There are only 2 houses occupied by families of 4.

ADDRESS	BASEMENT	ADDITION	CONERN LOT	FAMILY SIZE
3690 HUNTINGTON				2
3730 WHISPERING TRAILS				2
3800 WHISPERING TRAILS				2
3805 WHISPERING TRAILS			X	3
2030 W ALDER				4
3659 N ALDER			X	2
3789 N ALDER			X	2
1960 DOGWOOD				4
3745 ARROWWOOD				3
3790 ARROWWOOD				2

The above numbers show that the house's current square footage is too small for a family of 5.

The additional 706 square feet that we are planning to add will make the house more suitable for larger families (4 or more). This house size is also more desirable in neighborhoods with good school districts. Since it is a first-story addition, it will also be a great home for people with mobility impairment.

OTHER OPTIONS NOT REQUIRING A VARIATION.

We also considered other options that would not require a variation process:

- a first-story addition within the village's zoning code, OR
- building a second floor.

If we built a first-story addition within the village's zoning code, most of our backyard would become unusable. The proposed addition's L shape allows for a bigger backyard that the family can enjoy. It also allows for fewer windows facing neighbors' yards. Moreover, the addition would be much smaller and would not accommodate the proper family, living, and dining room.

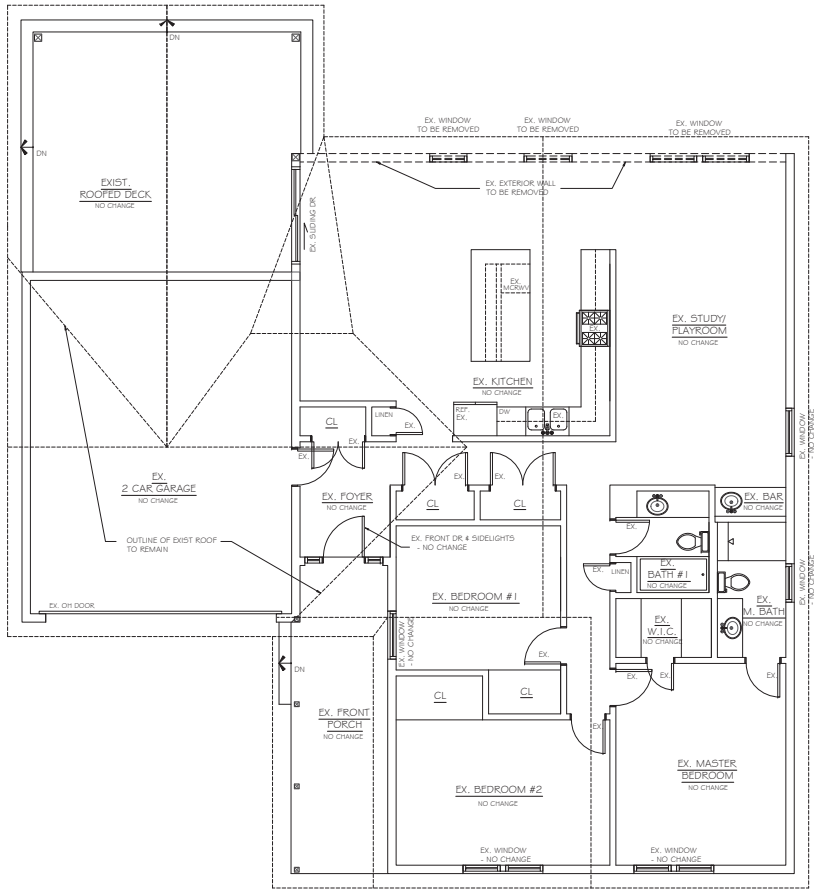
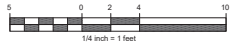
Building a second floor limits all neighbors' privacy. Our windows would overlook all three neighbors' yards, patios, and decks. When discussing the project with the three most affected neighbors, we all agreed that a first-floor addition is the best option. Right now, it is designed so that all windows are not directly facing other neighbors' yards or windows.

Also, we decided not to build a second story because we did not want the stairs. This house is our forever house. We plan to stay here until we cannot take care of it ourselves and need to downsize to a condo or a nursing home. The stairs in the house are a problem for many elderly people and one of the reasons they move out. My husband's mother, who is 70 years old, lives with us, which is also why we do not want any stairs in the house. It is essential that this house is handicapped accessible.

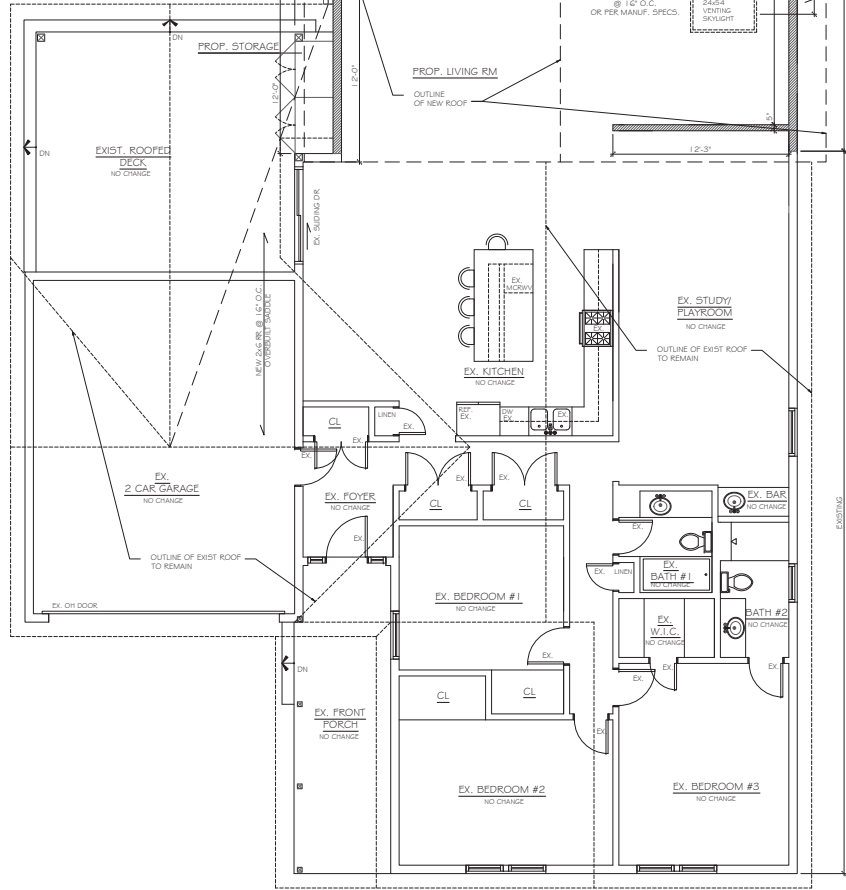
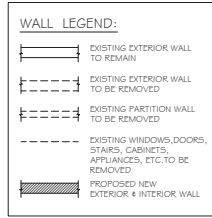
Thank you for considering our request.

Sincerely,

Barbara Mlynska & Andrzej Jozwicki



1 EX./ DEMO 1ST FL PLAN
SCALE: 1/4"=1'-0"



1 EX./ PROP. 1ST FL PLAN
SCALE: 1/4"=1'-0"

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ISSUED FOR:	
PERMIT	

THESE DRAWINGS AND SPECIFICATIONS, AND ALL DESIGNATIONS AND MANUFACTURERS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT IN CONFIDENTIALITY BY THE CONTRACTOR. THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY IN WRITING IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THESE DRAWINGS OR SPECIFICATIONS. THIS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE INSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT IN WRITING AND IMMEDIATELY IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THESE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING AND IMMEDIATELY IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THESE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING AND IMMEDIATELY IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THESE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING AND IMMEDIATELY IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THESE DRAWINGS OR SPECIFICATIONS.



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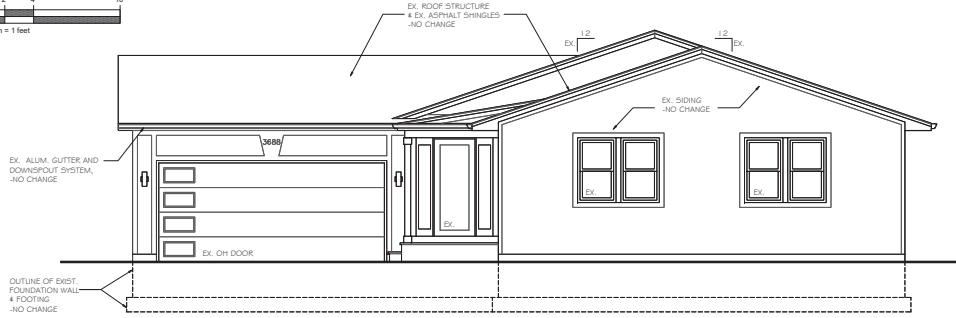
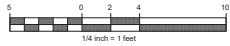
1 STORY ADDITION TO EXISTING SINGLE FAMILY RESIDENCE

At: 3688 Whispering Trails Dr, Hoffman Estates, IL 60192

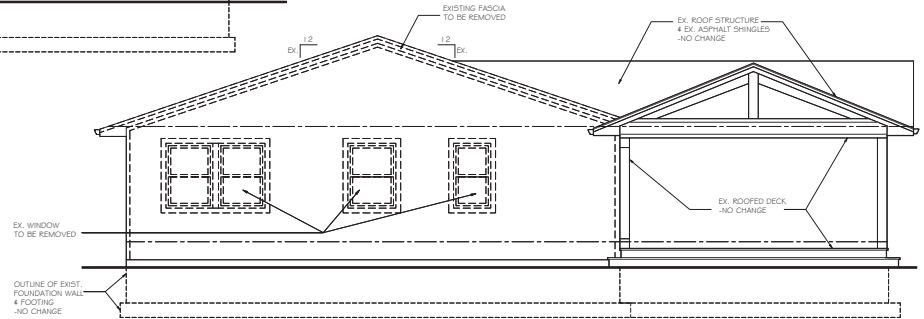
For: Barbara Mlynska

DATE:	11.26.2024
CHK'D BY:	K.C.
DRAWN BY:	K.C.
JOB #	01-10232024

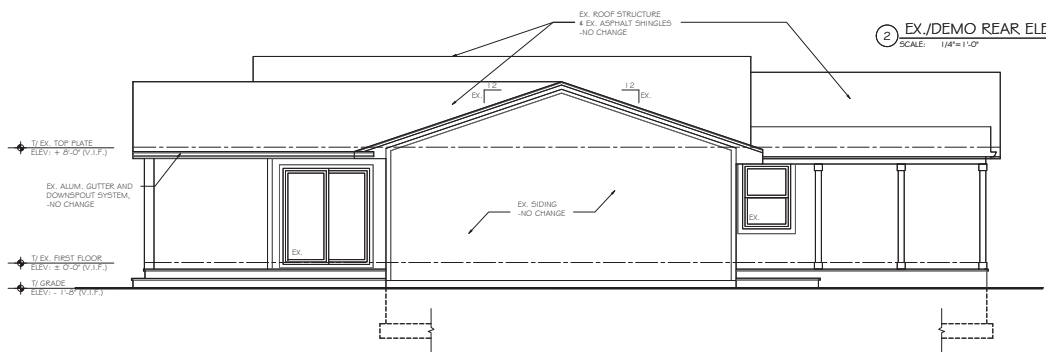
A-2



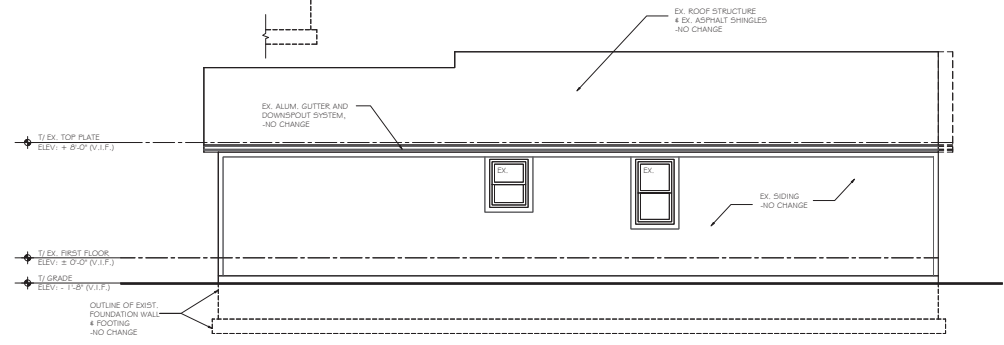
1 EX./DEMO FRONT ELEVATION (NORTH)
SCALE: 1/4"=1'-0"



2 EX./DEMO REAR ELEVATION (SOUTH)
SCALE: 1/4"=1'-0"



3 EX./DEMO SIDE ELEVATION (EAST)
SCALE: 1/4"=1'-0"



4 EX./DEMO SIDE ELEVATION (WEST)
SCALE: 1/4"=1'-0"

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ISSUED FOR:	
PERMIT	

THESE DRAWINGS AND SPECIFICATIONS, WITH ALL NOTES, REVISIONS AND AMENDMENTS REPRESENTED THEREON ARE THE PROPERTY OF K.C. ARCHITECTS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED TO THE ARCHITECT UPON COMPLETION OF THE PROJECT OR AT THE ARCHITECT'S REQUEST. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND DOES NOT INCLUDE THE PERFORMANCE OF ANY OTHER SERVICES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR DISCONTINUANCES IN THE WORK OR FOR ANY OTHER CAUSES OF DELAY OR DISCONTINUANCE. THE ARCHITECT SHALL HAVE NO LIABILITY FOR ANY DAMAGES OR LOSSES OF ANY KIND, INCLUDING BUT NOT LIMITED TO, CONSEQUENTIAL DAMAGES, ARISING OUT OF OR IN CONNECTION WITH THESE SERVICES. THE ARCHITECT'S LIABILITY SHALL BE LIMITED TO THE AMOUNT OF THE FEE RECEIVED FOR THESE SERVICES. THE ARCHITECT'S LIABILITY SHALL NOT EXCEED THE AMOUNT OF THE FEE RECEIVED FOR THESE SERVICES. THE ARCHITECT'S LIABILITY SHALL NOT EXCEED THE AMOUNT OF THE FEE RECEIVED FOR THESE SERVICES. THE ARCHITECT'S LIABILITY SHALL NOT EXCEED THE AMOUNT OF THE FEE RECEIVED FOR THESE SERVICES.

I CERTIFY THAT THESE DWGS. WERE PREPARED UNDER DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE MEET THE BLDG. CODE OF HOFFMAN ESTATES



KC ARCHITECTS CORP.
11.26.2024
2210 W. Chicago Ave
CHICAGO, IL 60622
TEL: 773/818-6140
E-MAIL: KC@architect-chicago.com

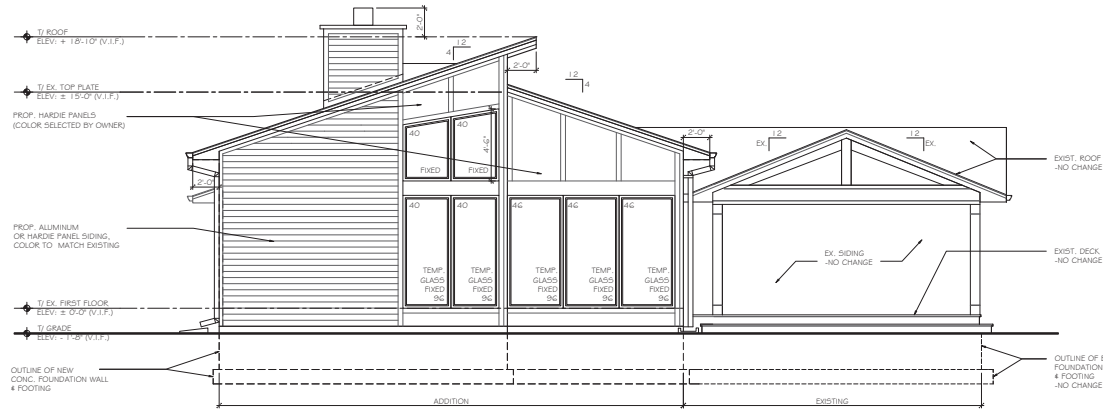
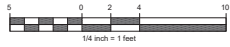
1 STORY ADDITION TO EXISTING SINGLE FAMILY RESIDENCE

At: 3688 Whispering Trails Dr, Hoffman Estates, IL 60192

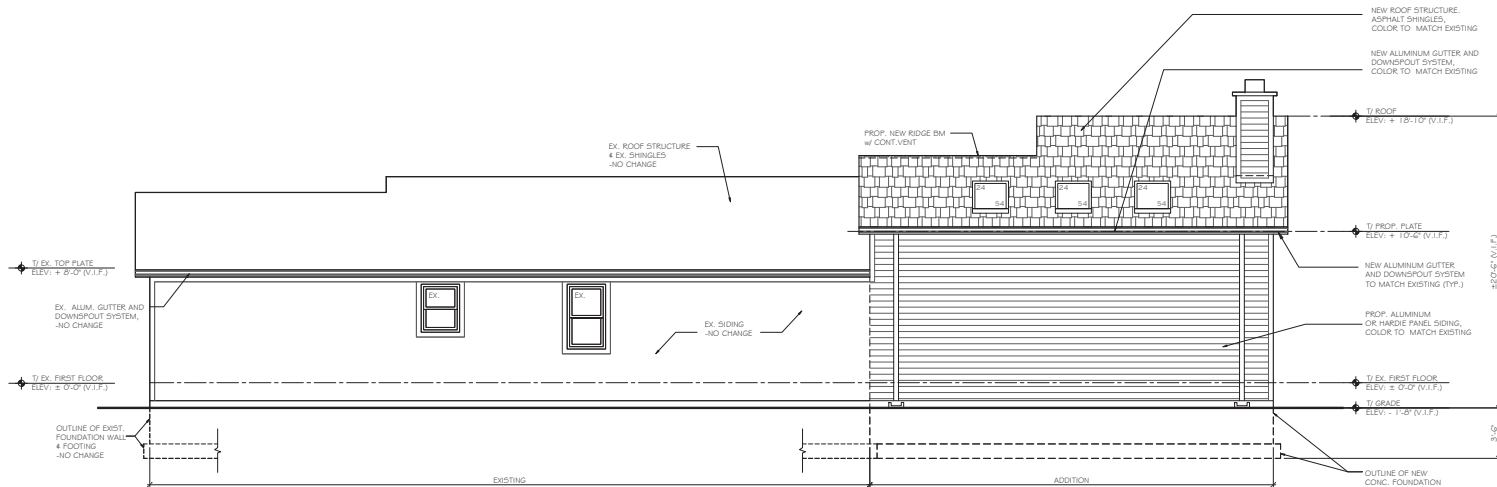
For: Barbara Mlynska

DATE:	11.26.2024
CHK'D BY:	K.C.
DRAWN BY:	K.C.
JOB #	01-10232024

A-3



1 PROP. REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



2 PROP. SIDE ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

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ISSUED FOR:

PERMIT	

NEW, REVISED DRAWINGS AND SPECIFICATIONS, WITH SEALS, STAMPS AND SIGNATURES REPRESENTED THEREON ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT IN THE ARCHITECT'S OFFICE. THE ARCHITECT'S OFFICE SHALL BE CONTACTED BY ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED. THE ARCHITECT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE INSTRUCTIONS. THE ARCHITECT'S OFFICE SHALL BE CONTACTED AT THE JOB SITE AND NOTIFY THE ARCHITECT, IN WRITING AND IN ADVANCE, OF ANY DISCREPANCIES BEFORE BEGINNING OF FABRICATING ANY MATERIALS. CONSULTATIONS ON DISCREPANCIES BEFORE BEGINNING OF FABRICATING ANY MATERIALS SHALL BE AT THE ARCHITECT'S OFFICE. THE ARCHITECT'S OFFICE SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THESE DRAWINGS.

2024 K.C. ARCHITECTS

I CERTIFY THAT THESE DWGS. WERE PREPARED UNDER DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE MEET THE BLDG. CODE OF HOFFMAN ESTATES



KC ARCHITECTS CORP.
Ill. 11.26.2024
2210 W. Chicago Ave
CHICAGO, IL 60622
TEL: 773/818-6140
E-MAIL: KC@architect-chicago.com

1 STORY ADDITION TO EXISTING SINGLE FAMILY RESIDENCE

At:
3688 Whispering Trails Dr,
Hoffman Estates,
IL 60192

For:
Barbara Mlynska

DATE:	11.26.2024
CHK'D BY:	K.C.
DRAWN BY:	K.C.
JOB #	01-10232024

A-5

STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

DATE: 11.07.2024

THIS IS TO CERTIFY THAT THE UNDERSIGNED, BEING A PROPERTY OWNER DIRECTLY AFFECTED, IS AWARE OF THE INTENTIONS OF:

BARBARA MLYNSKA

Petitioner Name

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

1ST FLOOR ADDITION

3688 WHISPERING TRAILS DR, HOFFMAN ESTATES, IL 60192

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.



Signature of Property Owner Directly Affected

3684 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Address of Property Owner Directly Affected

This form is to be completed by the property owner directly affected by the petitioner before the Planning and Zoning Commission and submitted with the Residential Variation Application.

The "property owner affected by the petition" may appear and testify for or against the petition. The date and time of the hearing will be mailed to said property owner.

Should assistance be required in determining property owners affected or in obtaining signatures, contact the Planning Division, 847/781-2660.

STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

DATE: 11.07.2024

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BARBARA MLYNSKA

Petitioner Name

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

1ST FLOOR ADDITION

ON PROPERTY LOCATED AT:

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.

Simon R. Burtov

Signature of Property Owner Directly Affected

~~3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192~~

Address of Property Owner Directly Affected

1900 W ALDER
HOFFMAN ESTATES, IL 60192

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PLANNING AND ZONING COMMISSION

DATE: 11.07.2024

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BARBARA MLYNSKA

Petitioner Name

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

1ST FLOOR ADDITION

ON PROPERTY LOCATED AT:

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.



Signature of Property Owner Directly Affected

3681 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Address of Property Owner Directly Affected

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PLANNING AND ZONING COMMISSION

DATE: 11.07.2024

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BARBARA MLYNSKA

Petitioner Name

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

1ST FLOOR ADDITION

ON PROPERTY LOCATED AT:

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.



Signature of Property Owner Directly Affected

3690 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Address of Property Owner Directly Affected

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STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

DATE: 11.07.2024

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BARBARA MLYNSKA

Petitioner Name

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

1ST FLOOR ADDITION

ON PROPERTY LOCATED AT:

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.

Jane M. Brei Lebeck

Signature of Property Owner Directly Affected

3685 WHISPERING TRAILS DR, HOFFMAN ESTATES, IL 60192

Address of Property Owner Directly Affected

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TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

DATE: 11.07.2024

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BARBARA MLYNSKA

Petitioner Name

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

1ST FLOOR ADDITION

ON PROPERTY LOCATED AT:

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.



Signature of Property Owner Directly Affected

1860 BURR RIDGE DR, HOFFMAN ESTATES, IL 60192

Address of Property Owner Directly Affected

This form is to be completed by the property owner directly affected by the petitioner before the Planning and Zoning Commission and submitted with the Residential Variation Application.

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PLANNING AND ZONING COMMISSION

DATE: 11.07.2024

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BARBARA MLYNSKA

Petitioner Name

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

1ST FLOOR ADDITION

ON PROPERTY LOCATED AT:

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.



Signature of Property Owner Directly Affected

1890 WALDER DR., HOFFMAN ESTATES, IL 60192

Address of Property Owner Directly Affected

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STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

DATE: 11.07.2024

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BARBARA MLYNSKA

Petitioner Name

3688 WHISPERING TRAILS DR., HOFFMAN ESTATES, IL 60192

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

1ST FLOOR ADDITION

3688 WHISPERING TRAILS DR, HOFFMAN ESTATES, IL 60192

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.

Joann K. Bassett

Signature of Property Owner Directly Affected

3683 WHISPERING TRAILS DR, HOFFMAN ESTATES, IL 60192

Address of Property Owner Directly Affected

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Should assistance be required in determining property owners affected or in obtaining signatures, contact the Planning Division, 847/781-2660.



PLANNING & ZONING COMMISSION STAFF REPORT

Meeting Date: 1/15/2025

From: Kevin Anderson, Associate Planner

PLN24-0042

Public Hearing

Variation from Section 9-3-6-K-2 of the Municipal Code to permit a garage to be 1,258 square feet instead of the maximum permitted 750 square feet for the property located at 1120 Ash Road

REQUEST SUMMARY

The property owner is proposing to demolish the existing garage and construct a new garage, driveway and patio on the property located at 1120 Ash Road. The proposed garage is 1,258 square feet, which includes 850 square feet of fully enclosed garage space and an additional 408 square feet of covered but unenclosed garage space. The proposed garage exceeds the maximum allowable garage size of 750 square feet.

Location:	1120 Ash Road
Property Owner / Applicant:	Sergiu Tabirta
Property Size:	0.45 ac.
Zoning / Land Use:	R-2 One-Family Residential
Adjacent Properties:	All surrounding properties: R-2 One-Family Residential

BACKGROUND / ANALYSIS

The subject property is zoned R-2 and consists of a 1,441 square foot home with a 450 square foot detached garage. The property owner is proposing to demolish the existing garage and construct a new detached garage in approximately the same location.

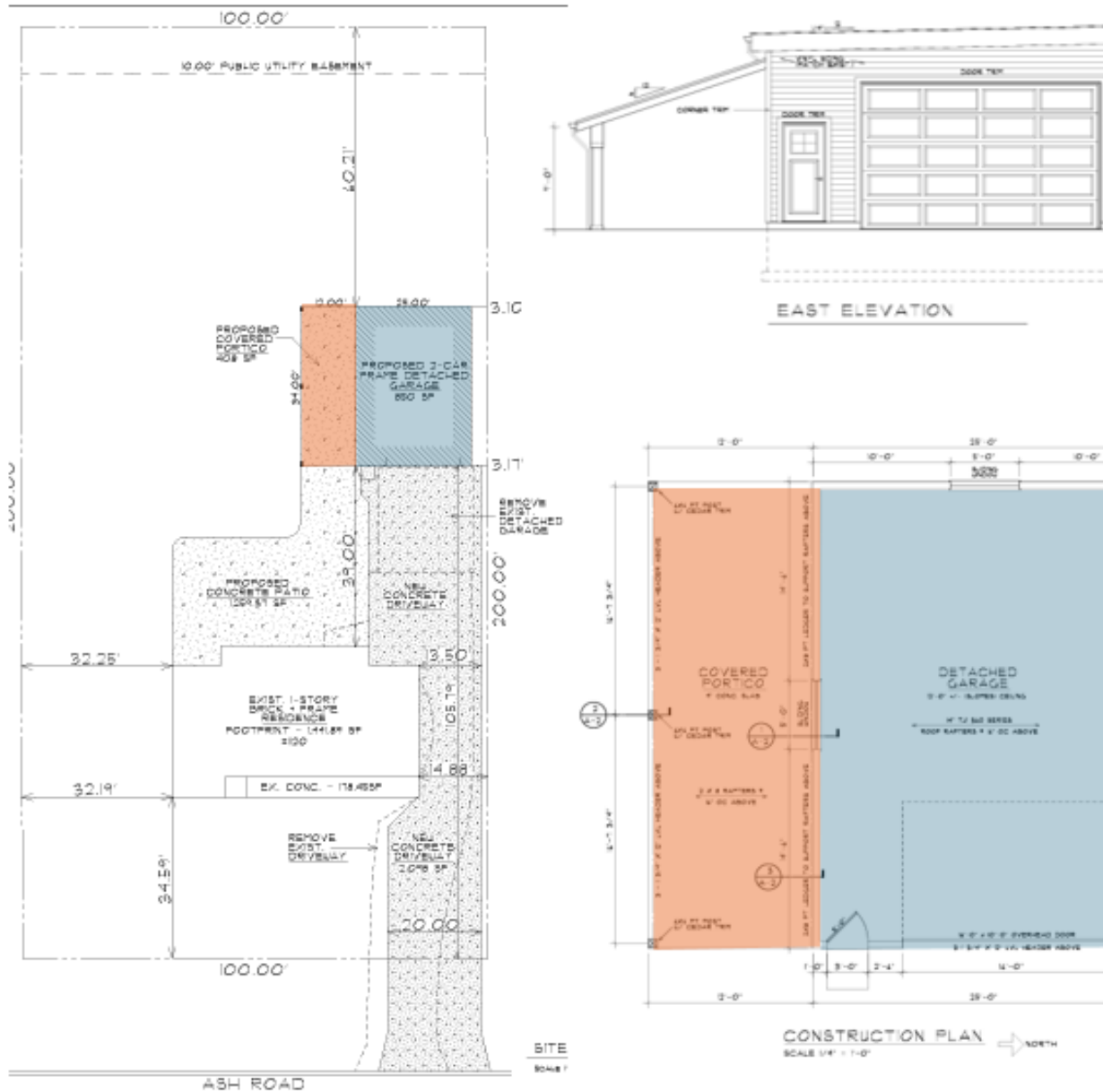
Section 9-3-6-K-2 of the Municipal Code restricts the maximum size for garages to 750 square feet. The proposed garage is 1,258 square feet (34' deep x 37' wide) of which 850 square feet is enclosed on all sides. The owner has indicated he requires this space to accommodate a wheelchair accessible van, physical therapy equipment, and one additional passenger vehicle.

The garage also includes 408 square feet of covered but unenclosed area for parking or storage. The Zoning Code does not differentiate between an unenclosed detached parking structure and a detached garage. The open-aired portion of garage would have direct access from the proposed driveway and is designed to accommodate vehicle parking and storage.

The proposed garage meets the setback requirements and height restrictions of the Zoning Code.

No modifications are proposed to the principal structure. The curb cut on Ash Road would not be changed, but the driveway would be extended and widened behind the residence.

Proposed 1,258 SF Garage at 1120 Ash Road:



Staff Analysis

Staff reviewed the proposal based upon the unique conditions the owner presented in the attached narrative. The owner has outlined a unique need or justification for an additional 100 SF of garage space beyond the maximum 750 SF due to his disability. This expansion is requested to accommodate an accessible van, physical therapy equipment and a second vehicle. Staff has interpreted the owner's described need as a request for an accommodation under the Americans with Disabilities Act (ADA).

The owner's narrative did not outline a unique need or justification for the additional 408

square feet of covered, unenclosed portion of the proposed garage. If approved as requested, the owner or future owner would have the ability to enclose this space without the need for further zoning relief.

Staff recommends that variations and accommodations under the ADA should be for the minimum deviation necessary to overcome an identified hardship.

Notification

The Village sent standard notification letters to all properties within 150'. No objections have been received.

MOTIONS

The Planning & Zoning Commission shall make the following motions (a total of 2 motions are required):

1. Adopt the Findings of Fact for a Variation.
2. Recommend to the Village Board approval of a Variation from Section 9-3-6-K-2 of the Municipal Code to permit a garage to be 1,258 square feet instead of the maximum permitted 750 square feet, subject to the following conditions:
 - a. The development shall substantially conform to the plans attached hereto and submitted as part of this application except as such plans may be changed to conform to all Village Codes and Ordinances.
 - b. A building permit shall be obtained within twelve (12) months of the Village Board action on this request.

The Planning & Zoning Commission may choose to modify Motion #2 as follows:

Recommend to the Village Board approval of a Variation from Section 9-3-6-K-2 of the Municipal Code to permit a garage to be 850 square feet instead of the maximum permitted 750 square feet, subject to the following conditions:

- a. The development plans shall be modified to eliminate the 408 square feet covered, unenclosed portion of the structure.*
- b. The development shall substantially conform to the modified plans except as such plans may be changed to conform to all Village Codes and Ordinances.*
- c. A building permit shall be obtained within twelve (12) months of the Village Board action on this request.*

ATTACHMENTS

1. PZC Findings and Recommendations - 1120 Ash Rd
2. Location Map - 1120 Ash Rd
3. Supporting Documents - 1120 Ash Rd



**PLANNING & ZONING COMMISSION
FINDINGS & RECOMMENDATION SUMMARY**

Meeting Date: 1/15/2025

Prepared By: Kevin Anderson, Associate Planner

PLN24-0042

**Variation from Section 9-3-6-K-2 of the Municipal Code for the
property located at 1120 Ash Road**

Draft Findings of Fact – Variation *(as drafted by staff and may be modified by the Commission)*

Sec. 9-1-15-C: Standards for Variations.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
FINDING: The owner has indicated that a 750 SF garage does not accommodate his needs for a wheelchair accessible van, physical therapy equipment, and a second vehicle. The request for an accommodation under the Americans with Disabilities Act may meet the Standard for a reasonable return.
 - b. The plight of the owner is due to unique circumstances;
FINDING: The owner has identified a unique circumstance related to his physical condition. The request for an accommodation under the Americans with Disabilities Act may meet the Standard as a unique circumstance.
 - c. The variation, if granted, will not alter the essential character of the locality.
FINDING: The variation would not alter the essential character of the surrounding large lot single-family neighborhood.
2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence:
 - a. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
FINDING: No evidence has been provided to support this finding.
 - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
FINDING: No evidence has been provided to support this finding.

- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
FINDING: The owner has noted the intent of this addition is to improve his own use of the property for his specific needs.
 - d. The alleged difficulty or hardship has not been created by any person presently having an interest in the property;
FINDING: No hardship was created by the owner.
 - e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
FINDING: The proposal would comply with the setback requirements and height restrictions for detached garages. There is no evidence that the granting of the variation would be detrimental or injurious to surrounding properties or the neighborhood.
 - f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.
FINDING: The proposal would comply with the setback requirements and height restrictions for detached garages. There is no evidence that the granting of the variation would have an impact on light, air, or congestion, endanger the public safety or diminish property values in the neighborhood.
3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefitted by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

Draft Recommendations

The Planning & Zoning Commission shall make the following motions *(a total of 2 motions are required)*:

- 1. Adopt the Findings of Fact for a Variation as noted in the Findings & Recommendations Summary

Motion by _____, seconded by _____, to adopt the findings.

Roll call vote:

Aye:

Nay:

Absent:

Motion [Passed/Failed].

- 2. Recommend to the Village Board of Trustees approval of the request for a Variation from Section 9-3-6-K-2 of the Zoning Code to permit a garage to be 1,258 square feet instead of the maximum permitted 750 square feet for the property located at 1120 Ash Road, subject to the following conditions:

- a. The development shall substantially conform to the plans attached hereto and submitted as part of this application except as such plans may be changed to conform to all Village Codes and Ordinances and the following conditions.
- b. A building permit shall be obtained within twelve (12) months of the Village Board action on this request.

Alternate Motion #2

The Planning & Zoning Commission may choose to modify Motion #2 as follows:

Recommend to the Village Board approval of a Variation from Section 9-3-6-K-2 of the Municipal Code to permit a garage to be 850 SF instead of the maximum permitted 750 SF, subject to the following conditions:

- a. *The development plans shall be modified to eliminate the 408 SF covered, unenclosed portion of the structure.*
- b. *The development shall substantially conform to the modified plans except as such plans may be changed to conform to all Village Codes and Ordinances.*
- c. *A building permit shall be obtained within twelve (12) months of the Village Board action on this request.*

Motion by _____, seconded by _____, to recommend approval.

Roll call vote:

Aye:

Nay:

Absent:

Motion [Passed/Failed].

1120 ASH RD
PIN: 07-15-204-011-0000

N



Legend

-  Subject Property
-  Parcel
-  VillageBoundary



Department of Development Services
Village of Hoffman Estates



VILLAGE OF HOFFMAN ESTATES PLANNING & ZONING APPLICATION SUMMARY

APPLICATION INFORMATION

Project Number:	PLN24-0042
Project Name:	Detached Garage Variation
Project Application Date:	10/3/2024
Project Manager:	Kevin Anderson

PROJECT TYPE

Variation - Residential; Master Sign Plan - New; Plat - Residential Final;

SITE INFORMATION

Property Address:	1120 ASH RD
All Included PINs:	07-15-204-011-0000

PROJECT CONTACTS

Relationship to Project	Name / Firm	Address	Phone	E-Mail
APPLICANT	Sergiu Tabirta	1120 Ash Rd Hoffman Estates, IL 60169	7736821292	tabirtasergiu@yahoo.com
OWNER	SERGIU TABIRTA	1120 ASH RD HOFFMAN ESTATES, IL 601694404	7736821292	tabirtasergiu@yahoo.com

STANDARTS OF VARIATION

1.

The specific property in question features a 0.46 acre lot which is uniquely larger than most properties in the neighborhood. Frankly, there isn't any unique hardship on the property that prevents me from building a garage which meets the size restriction of 750 square feet besides the fact that the existing garage is in a very poor structural condition and has a cracked foundation. Due to the nature of the circumstances it is impossible to provide an explanation as to why I'm asking for 100 square feet over the limit without implicating my personal situation. I am disabled in a wheelchair and I need the extra square footage to house my large specialized vehicle. It has a ramp that opens up to the side, which allows me to safely enter and exit the vehicle. I need space for my wife's vehicle and my gym equipment for physical therapy that was prescribed by my doctor. The extra space will be extremely helpful and necessary and it will make my life significantly less challenging. Given the size of the property lot i am hopeful that you would consider my request for the additional 100 sqf, which will have a great impact on the quality of my life. I will be very grateful for any decision you make, thank you.

2.

The floor area ratio (F.A.R.) and impervious coverage for this property remain well below the required limits, and the proposed square footage exceeds the maximum allowed by only a marginal amount. The specific circumstances of this property, including its current underutilization of allowable space, make this variation unique and generally applicable to other properties within the same zoning classification. This emphasizes the minimal impact of the requested variation and focuses on the unique nature of the property.

3.

The purpose of this variation is not to increase the property value, but rather to accommodate my personal needs as a double amputee in a wheelchair. I require the extra space in the garage to park my van, which has an extendable ramp for accessibility. To ensure I can safely enter and exit the van, I cannot park any other vehicle next to it. The additional square footage is necessary to park my wife's car, store gym equipment for physical therapy, and provide the space needed for daily activities. The variation is essential for accessibility and functionality, rather than for any financial gain.

4.

The hardship requiring this variation stems from the poor condition of the existing garage, which was not caused by the current property owners. The deteriorating state of the garage is due to being an old structure that was neglected over time and not properly maintained and has made it unsafe and unusable, necessitating its removal and replacement.

5.

The granting of this variation will not negatively impact public welfare or neighboring properties. The new garage is well within the property lines and will be built in a manner that is consistent with the aesthetics and character of the neighborhood.

6.

The proposed garage will not impair the supply of light or air to adjacent properties and will not increase traffic congestion or fire hazards. The design follows all safety standards. In fact, replacing the deteriorating structure with a modern, aesthetically pleasing garage is likely to enhance property values in the area, improving the overall appearance of the property and its surroundings.

HORIZON SURVEY, LLC

P.O. BOX 438607
Chicago, IL 60643
Office: 312-972-7185
horizonsurveychicago@gmail.com

PLAT OF SURVEY

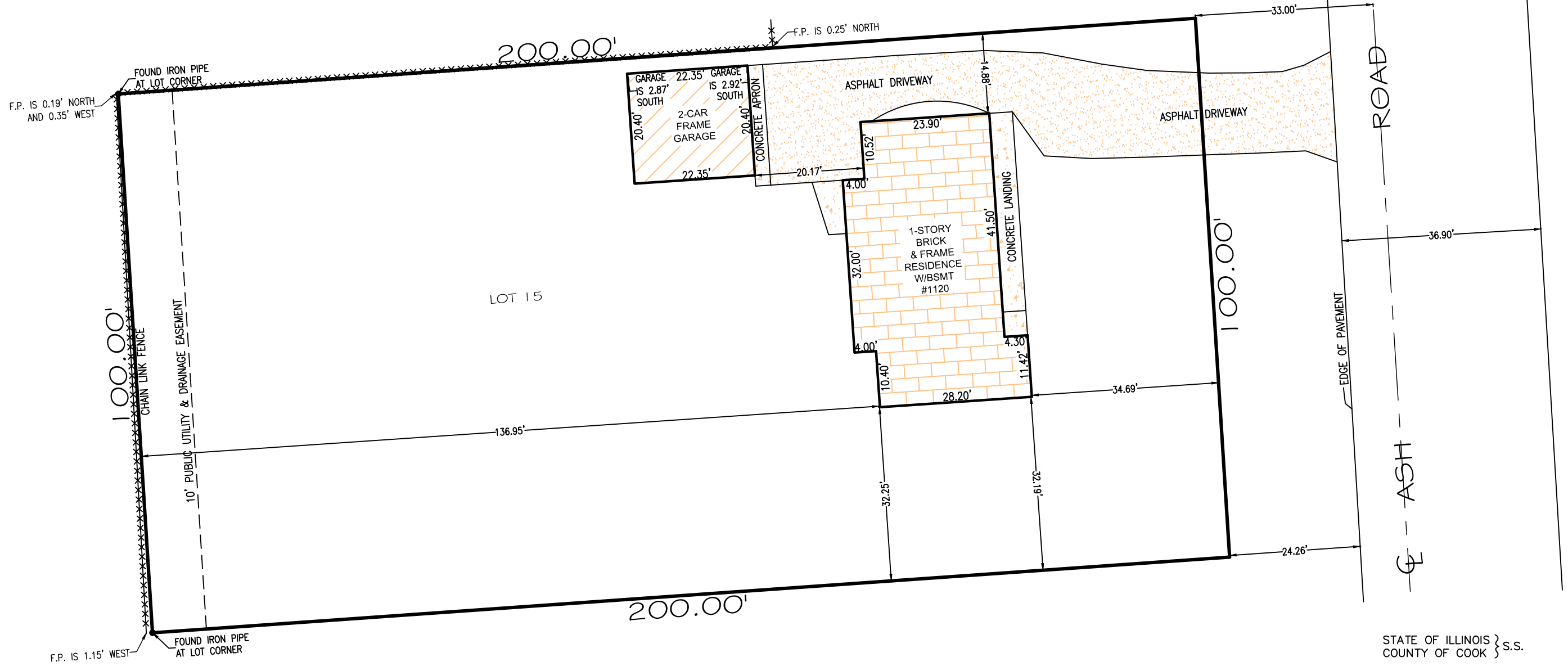
PLAT OF SURVEYS
ATLA/NSPS
LAND DEVELOPMENT

LOT 15 IN BLOCK 5 IN HOFFMAN ESTATES 1, BEING A SUBDIVISION OF THAT PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 AND THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, TOGETHER WITH THAT PART OF THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON AUGUST 5, 1955 AS DOCUMENT NUMBER 1612242, IN COOK COUNTY, ILLINOIS.

PROPERTY ADDRESS: ADD ADDRESS, CHICAGO, ILLINOIS.

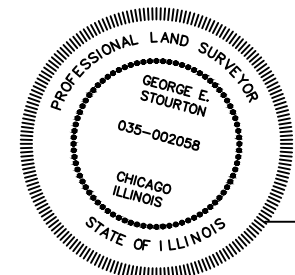


SCALE: 1" = 20'



JOB #: 1120ASHROAD
 DATE OF COMPLETION IN THE FIELD: APRIL 21, 2024
 PREPARED FOR: CHICAGOLAND PROPERTY LAW
 P.I.N # 07-15-204-011-0000 COOK COUNTY, ILLINOIS
 COMMONLY KNOWN AS: 1120 ASH ROAD., HOFFMAN ESTATES, ILLINOIS

COMPARE ALL POINTS BEFORE BUILDING, NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. CRITICAL FIELD MONUMENTATION SHOULD BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF ANY AND ALL CONSTRUCTION. PLEASE REFER TO DEED, TITLE POLICY AND/OR LOCAL ORDINANCES FOR BUILDING LINE RESTRICTIONS AND/OR EASEMENTS NOT SHOWN HEREON. PLEASE CHECK LEGAL DESCRIPTION WITH DEED AND IMMEDIATELY REPORT ANY DISCREPANCY TO THE SURVEYOR FOR EXPLANATION AND/OR CORRECTION. ALL DIMENSIONS AND MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, AND ARE CORRECTED TO A TEMPERATURE OF 62 DEGREES FAHRENHEIT.



STATE OF ILLINOIS } S.S.
 COUNTY OF COOK }
 1" = 20'
 SCALE
 This is to certify that HORIZON SURVEY, LLC., by its managing agent George E. Stourton, P.L.S., Professional Land Surveyor #2058, whose licensure expires November 30, 2024, hereby certifies that the property described on this plat has been surveyed and that the results of the survey are shown on this plat. Dimensions are in U.S. Standard Feet and Decimals thereof, sexagesimal bearings based as assumed north. This Professional Service conforms to the current Illinois minimum standards for a boundary survey.
 DATED THIS 22ND DAY OF APRIL, 2024
George E. Stourton
 GEORGE E. STOURTON PLS No. 2058
 LICENSE EXPIRATION DATE: NOVEMBER 30, 2024

CONCRETE AND EXCAVATION

- FOOTINGS SHALL BEAR ON UNDISTURBED, INORGANIC SOIL WITH MINIMUM BEARING CAPACITY OF 3000 PSF.
- ALL EXCESS SOIL SHALL BE REMOVED FROM SITE.
- FOUNDATION CONCRETE TO ACHIEVE COMPRESSIVE STRENGTH OF 3000PSI AT 28 DAYS; MIN. 5 1/2 BAG MIX. SIDEWALKS, PATIOS, & STEPS TO BE AIR-ENTRAINED WITH COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS, MIN. 4 BAG MIX.
- BACK-FILL SOIL SO THAT GRADE SLOPES AWAY FROM FOUNDATION 4" WITHIN FIRST 10'-0" (MIN).
- EXISTING GROUND ELEVATIONS WILL NOT BE ALTERED ANYWHERE ON THE SITE IN ORDER TO MAINTAIN THE EXISTING DRAINAGE PATTERN AND NOT OBSTRUCT ANY TRIBUTARY DRAINAGE FROM THE SURROUNDING PROPERTIES.
- ALL EXCAVATED SOIL/MATERIALS NOT TO BE USED FOR BACKFILL & TO BE IMMEDIATELY REMOVED FROM SITE. NO ON-SITE STOCKPILING OF EXCAVATED MATERIALS WILL BE ALLOWED, WITH THE EXCEPTION OF TOPSOIL FOR FINAL GRADING.
- GRAVEL BASE ON CONCRETE SLABS TO HAVE A BASIC COURSE CONSISTING OF CLEAN GRADE SAND, GRAVEL, CRUSHED STONE, OR CRUSHED BLAST-FURNACE SLAG PASSING A 2" SIEVE AND RETAINED ON 1/4" SIEVE SHALL BE PLACED ON THE PREPARED SUBGRADE WHEN THE SLAB IS BELOW GRADE. FEA GRAVEL IS NOT ALLOWED.
- PLEASE TAKE CARE WHEN DIGGING FOR THE FOOTINGS. THE USE OF ROCK UNDER FOOTINGS CAN FACILITATE WATER ACCUMULATION UNDER THE FLOOR SLAB/BASEMENT AND CONTRIBUTE TO FLOODING AS THE GROUND WATER LEVEL RISES DURING EXTREMELY WET PERIODS. THEREFORE, CRUSHED ROCK CANNOT BE PERMITTED UNDER FOUNDATIONS UNLESS A SOILS REPORT BY AN ILLINOIS LICENSED SOILS ENGINEER SPECIFICALLY ADDRESSES THE EXISTING AND POTENTIAL HIGH LEVELS OF GROUND WATER TABLE AND ADEQUATE PREVENTIVE MEASURES TO PROTECT THE HOMEOWNER.
- SLABS-ON-GRADE REQUIRE A MINIMUM OF #10 WELDED WIRE FABRIC LOCATED IN THE UPPER ONE THIRD OF THE THICKNESS.
- PORCHES & STEPS EXPOSED TO WEATHER SHALL HAVE CONCRETE W/ A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI AND SHALL BE AIR ENTRAINED NOT LESS THAN 5% OR MORE THAN 1%.
- CONTROL JOINTS FOR 4" SLABS SHALL BE AT A MAXIMUM OF 8' INTERVALS (12'-0" FOR 4" SLABS)
- FIELD VERIFY SAW CUT CONTROL JOINTS ARE INSTALLED WITHIN 24 HOURS OF FINAL FINISHING OF CONC.

ELECTRICAL

- ALL WIRING 25 VOLTS OR GREATER TO BE IN ELECTRIC METALLIC TUBING. PVC IS NOT PERMITTED.
- ALL NEW 125 VOLT, 15- AND 20-AMP RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- GARAGES ARE TO BE ON A SEPARATE 20 AMP CIRCUIT.
- RECEPTACLE RATING FOR A 20 AMP CIRCUIT SHALL BE 20 AMPS.
- EACH GENERAL LIGHTING CIRCUIT SHALL NOT HAVE MORE THAN 10 POWER CONSUMING DEVICES CONNECTED TO IT & THE CIRCUIT BREAKER SHALL NOT EXCEED 15 AMPS.
- ALL CEILING BOXES IN HABITABLE AREAS SHALL BE LISTED & APPROVED FOR FAN INSTALLATIONS.
- GROUNDS FOR SERVICE DISTRIBUTION PANELS SHALL GO TO STREET SIDE OF WATER METER AND BE SO IDENTIFIED.
- ELECTRICAL RECEPTACLES ARE REQUIRED TO BE SELF-GROUNDING.
- ALL ELECTRICAL CONDUCTORS ARE TO BE SOLID OR STRANDED COPPER IN ELECTRICAL METALLIC TUBING.
- A MIN. OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- SURFACE MOUNTED INCANDESCENT FIXTURES INSTALLED NO CLOSER THAN 12" TO THE NEAREST STORAGE SPACE. SURFACE MOUNTED FLUORESCENT FIXTURES INSTALLED NO CLOSER THAN 4" TO THE NEAREST STORAGE SPACE. RECESSED INCANDESCENT AND FLUORESCENT FIXTURES W/ COMPLETELY ENCLOSED LAMP NO CLOSER AND FLUORESCENT FIXTURES W/ COMPLETELY ENCLOSED LAMP NO CLOSER THAN 4" TO THE NEAREST STORAGE SPACE.
- CEILING MOUNTED ELECTRICAL OUTLETS INSTALLED IN THE GARAGE SHALL BE GFCI PROTECTED.
- ALL RECEPTACLES REQUIRE A PIGTAIL GROUNDING WIRE TO THE BOX.
- PROVIDE A GROUND WIRE IN ALL RACEWAYS.
- PROVIDE A NEUTRAL WIRE AT EACH SWITCH BOX LOCATION.
- 14AWG CU CONDUCTORS CANNOT BE USED FOR A BRANCH CIRCUIT LARGER THAN 15A.

STRUCTURAL

- ALL WALLS WILL BE PROVIDED WITH A DOUBLE TOP PLATE LAPPED AT THE CORNERS.
- CONSTRUCTION LUMBER TO BE SPF CONSTRUCTION GRADE NO. 2
F_b = 1000 PSI MODULUS OF ELASTICITY 1,000,000
- LUMBER WITH SPANS GREATER THAN 20' TO BE DOUGLAS FIR CONSTRUCTION GRADE NO. 2
F_b = 1200 PSI MODULUS OF ELASTICITY 1,000,000
- PROVIDE 1 X 4 LET-IN CORNER BRACING AT WALL OVER 8' HIGH
- ALL INTERIOR WALL FRAMING, UNLESS OTHERWISE NOTED, TO BE 2 X 4 STUDS @ 16" OC W/ 1/2" DRYWALL EACH SIDE.
- PROVIDE 2 - 2 X 12 HEADER WITH 1/2" PLYWOOD AND SINGLE CRIPPLE FOR SPANS UP TO 4'. SEE PLAN FOR SPANS GREATER THAN 4'; PROVIDE DOUBLE CRIPPLE FOR SPANS EXCEEDING 4'.
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED. (SECTION: R502.8.2)
- EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 1/4 GAGE AND 1 1/2 INCHES (1 1/2") WIDE FASTENED TO EACH PLATE. (SECTION: R402.4.1)
- EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE. (SECTION R402.4)

THERMAL AND MOISTURE PROTECTION

ROOFING:

- SHINGLES SHALL COMPLY W/ASTM D225 OR D2442. PROVIDE NO LESS THAN 4 NON-CORROSIVE FASTENERS PER STRIP. BASE FLASHING TO BE CORROSIVE-RESISTANT METAL MIN. .019 INCH THICK OR MINERAL SURFACE ROLL 11#/100 SF. CAP FLASHING TO BE CORROSIVE-RESISTANT METAL MIN. .019 INCH THICK. OPEN VALLEYS TO BE LINED W/ METAL 24" (MIN.) WIDE OR 2 PLYS OF MINERAL SURFACE ROLL 3/4" (MIN.) WIDE. CLOSE VALLEY THE SAME AS OPEN VALLEY OR ONE PLY MIN. 3/4" WIDE.
- ICE AND WATER SHIELD IS REQUIRED IN ALL VALLEYS (UP 18" ON EACH SIDE) AND ON EAVES, A MINIMUM OF 2'-0" BEYOND THE INTERIOR WALL LINE.

SITE NOTES:

- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT. IT SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 4" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM.
- SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 4" IN 10'. PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 4'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 4'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.

TABIRTA RESIDENCE

1120 ASH ROAD
HOFFMAN ESTATES
ILLINOIS 60169

INDEX OF DRAWINGS	
SHEET	DESCRIPTION
G-1	SITE PLAN + GENERAL NOTES
A-1	FOUNDATION, CONSTRUCTION + ELECTRICAL PLANS
A-2	EXTERIOR ELEVATIONS + WALL SECTIONS

DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE W/ THE VILLAGE OF HOFFMAN ESTATES AND AMENDMENTS AS LISTED BELOW.

INTERNATIONAL RESIDENTIAL CODE/2021 AND APPENDIX AC AND APPENDIX AJ

INTERNATIONAL EXISTING BUILDINGS CODE/2021.

INTERNATIONAL FIRE CODE/2021.

INTERNATIONAL PROPERTY MAINTENANCE CODE/2021.

NATIONAL ELECTRICAL CODE - NFPA 70/2020.

ILLINOIS ENERGY CONSERVATION CODE/ILLINOIS ADMINISTRATIVE CODE TITLE 11 PART 600.

GENERAL NOTE:

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS IS TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.

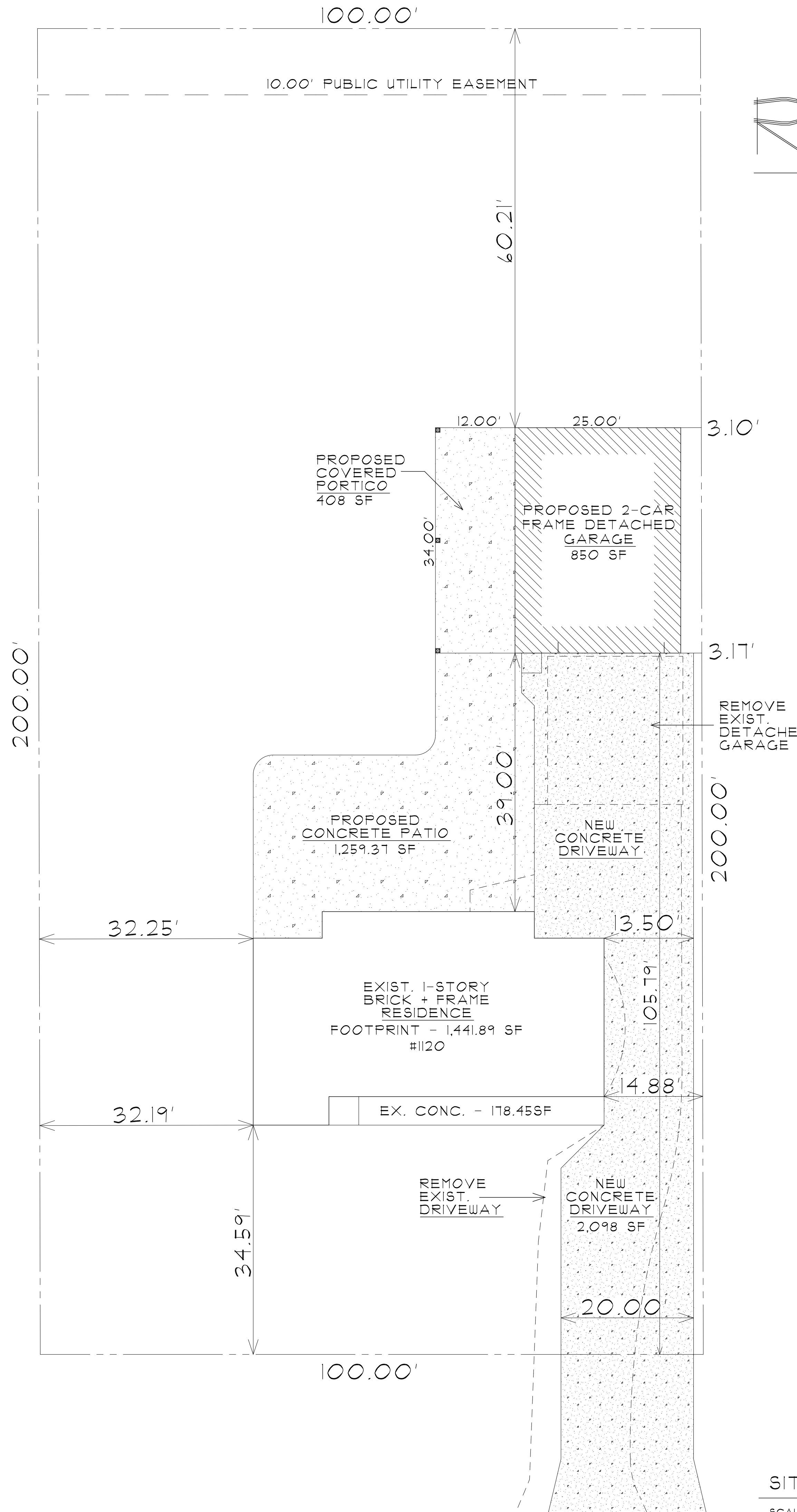
STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOURS NOTICE IS REQUIRED.

ZONING CALCULATIONS - [R-2]

LOCATION	REQUIRED AREA (SQ. FT.)
LOT	20,000
MAX. FLOOR AREA RATIO (20%)	4,000
PROPOSED FLOOR AREA RATIO	NO CHANGE (GARAGE)
LOCATION	PROPOSED AREA (SQ. FT.)
EXISTING HOUSE FOOTPRINT	1,441.89
PROPOSED DETACHED GARAGE	850
PROPOSED COVERED PORTICO	408
TOTAL	1,258
MAXIMUM DETACHED GARAGE	750

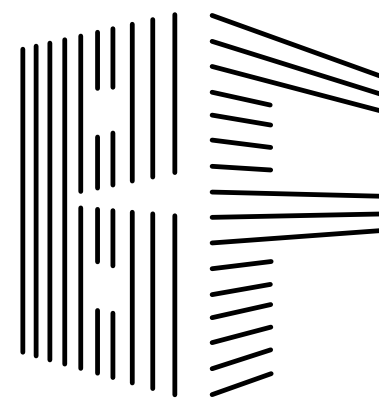
SETBACKS - [R-2 ACCESSORY]

LOCATION	REQUIRED DIMENSION	PROPOSED DIMENSION
FRONTYARD	140.00'	105.19'
INTERIOR SIDEYARD	3.00'	3.10'
REARYARD	---	60.21'
HEIGHT	15'-0"	14'-0"



SITE PLAN

SCALE 1" = 10'-0"



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ILLINOIS, 60169

PROPOSED DETACHED GARAGE

10-3-2024 RELEASED FOR PERMIT SUBMITTAL

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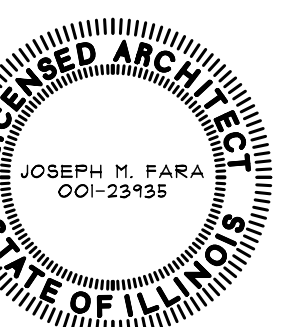
DATE	DESCRIPTION
8-16-2024	PRELIMINARY
10-3-2024	PERMIT

ARCHITECT'S CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECTION AND THAT TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.

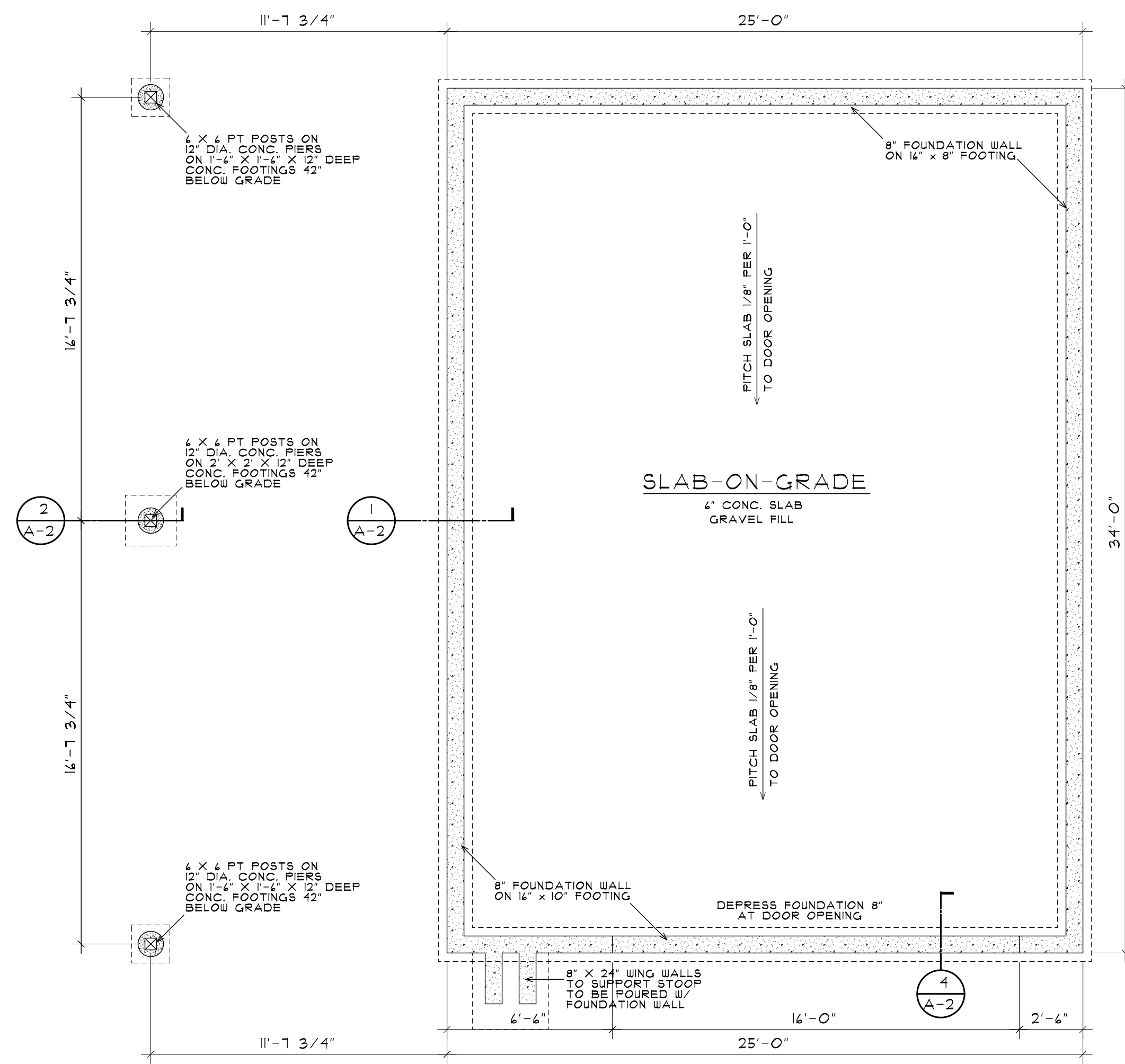
Joseph Fara

CERT NO. 001.23935
EXP. 11-30-2024 DATE: 10-3-2024

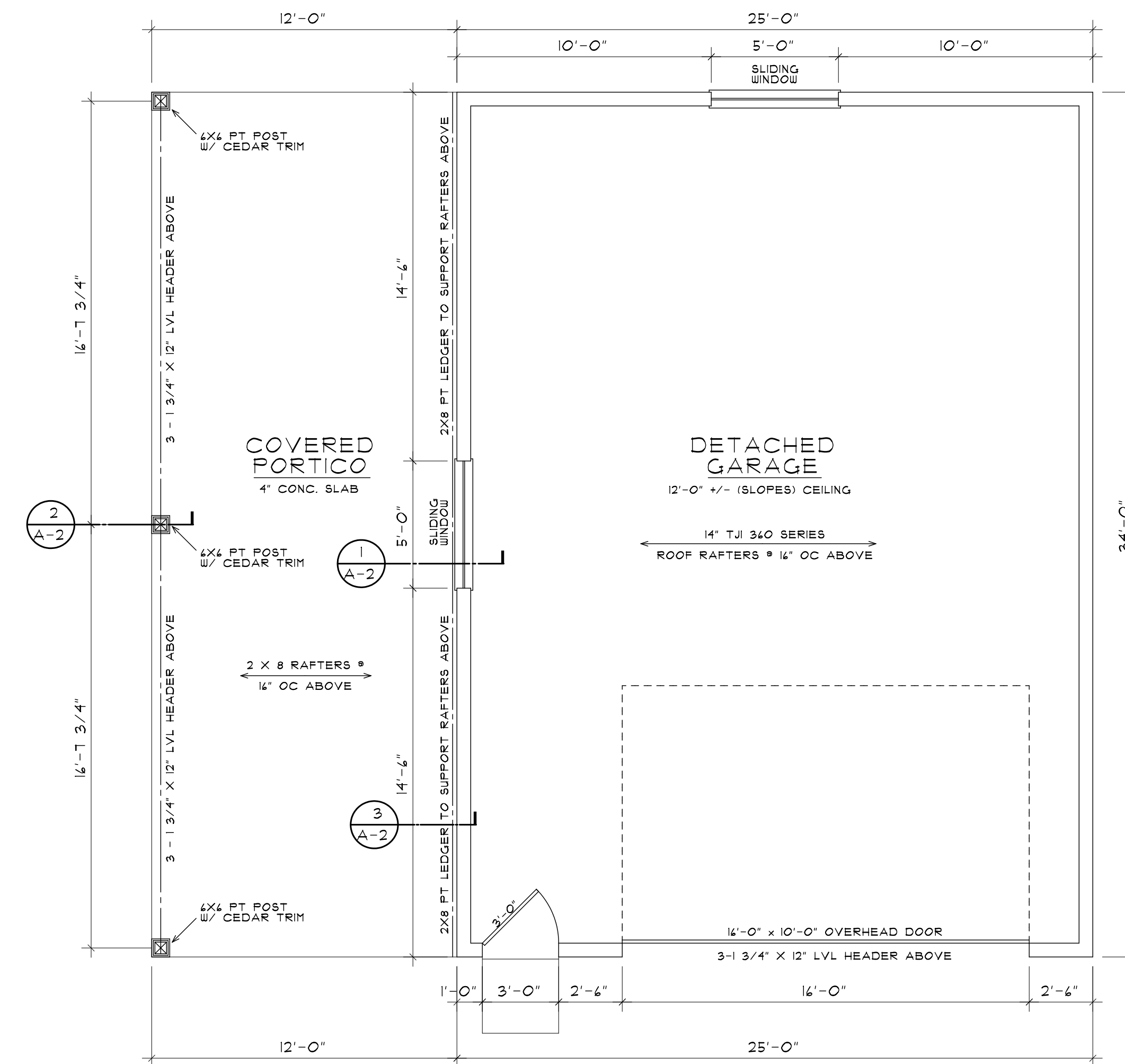


G-1 OF THREE

DESIGN CRITERIA	
FLOOR	
SLEEPING ROOMS	30# LL - 10# DL
OTHER ROOMS	40# LL - 10# DL
VEH. GARAGES	50# LL - 10# DL
WALL	
	40# PLF OR ACTUAL LOAD
	20 PSF WIND 0'-20' HEIGHT
	25 PSF WIND 21'-29' HEIGHT
	30 PSF WIND 30' HEIGHT AND ABOVE
CEILING	
UNHAB W/O STOR	10# LL - 10# DL
UNHAB LIM STOR	20# LL - 10# DL
HAB W/ FX STAIR	30# LL - 10# DL
WIND SPEED	115 MPH 3 SECOND GUST & 89 MPH NOMINAL
ROOF	
	25# LL (SNOW) - 10# DL (ALL SLOPES)
CATHEDRAL	30# LL - 15# DL (ALL SLOPES)
EXT. DECK	40# LL - 10# DL
EXT. BALCONY	40# LL - 10# DL
STAIRS	40# LL + 300# CONCENTRATED LOAD
GUARDHANDRAILS	200# LL AT ANY DIRECTION APPLIED AT THE TOP
FROST DEPTH	42" (3'-6")
STRUCTURAL FRAMING LUMBER	
BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)	
GRADE # 2 SPECIES SPF DOMESTIC OR CANADIAN BASE F _b 1000	
SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, F _b AND E VALUES PER MANUFACTURER	
MANUFACTURER	TRUS-JOIST
PRODUCT	LVL HEADERS & BEAMS MICRO=LAM



FOUNDATION PLAN
SCALE 1/4" = 1'-0" NORTH



CONSTRUCTION PLAN
SCALE 1/4" = 1'-0" NORTH

DOOR + WINDOW WOOD HEADER SIZES (UNLESS NOTED DIFFERENTLY ON PLANS)		
SPAN/OPENING	HEADER SIZE	# JACKS
LESS THAN 3'	2-2X6s	2
3' - 3'-8"	2-2X8s	2
3'-8" - 4'-6"	2-2X10s	2
4'-6" - 4'-0"	2-2X12s	2
GREATER THAN 4'-0"	SEE PLAN	

WOOD HEADER/BREAM SUPPORT COLUMNS			
BEAM/HEADER	COLUMN (IN 2X4 WALL)	COLUMN (IN 2X6 WALL)	DETAIL
DIMENSIONAL LUMBER (2X12, 2X10, 2X8, 2X4, 2X4)	(EA END) (2) 2X4 JACK 2X4 KING STUD	(EA END) (2) 2X4 JACK 2X4 KING STUD	2x LUMBER (2) 2x JACK 2x KING
2-1 3/4" LVLs	(ONE EA END) 4X4 PSL POST 2X4 KING STUD	(ONE EA END) 4X4 PSL POST 2X4 KING STUD	2x LVL 4x PSL 2x KING
3-1 3/4" LVLs	(ONE EA END) 4X4 PSL POST 2X4 KING STUD	(ONE EA END) 4X4 PSL POST 2X4 KING STUD	3x LVL 4x PSL 2x KING

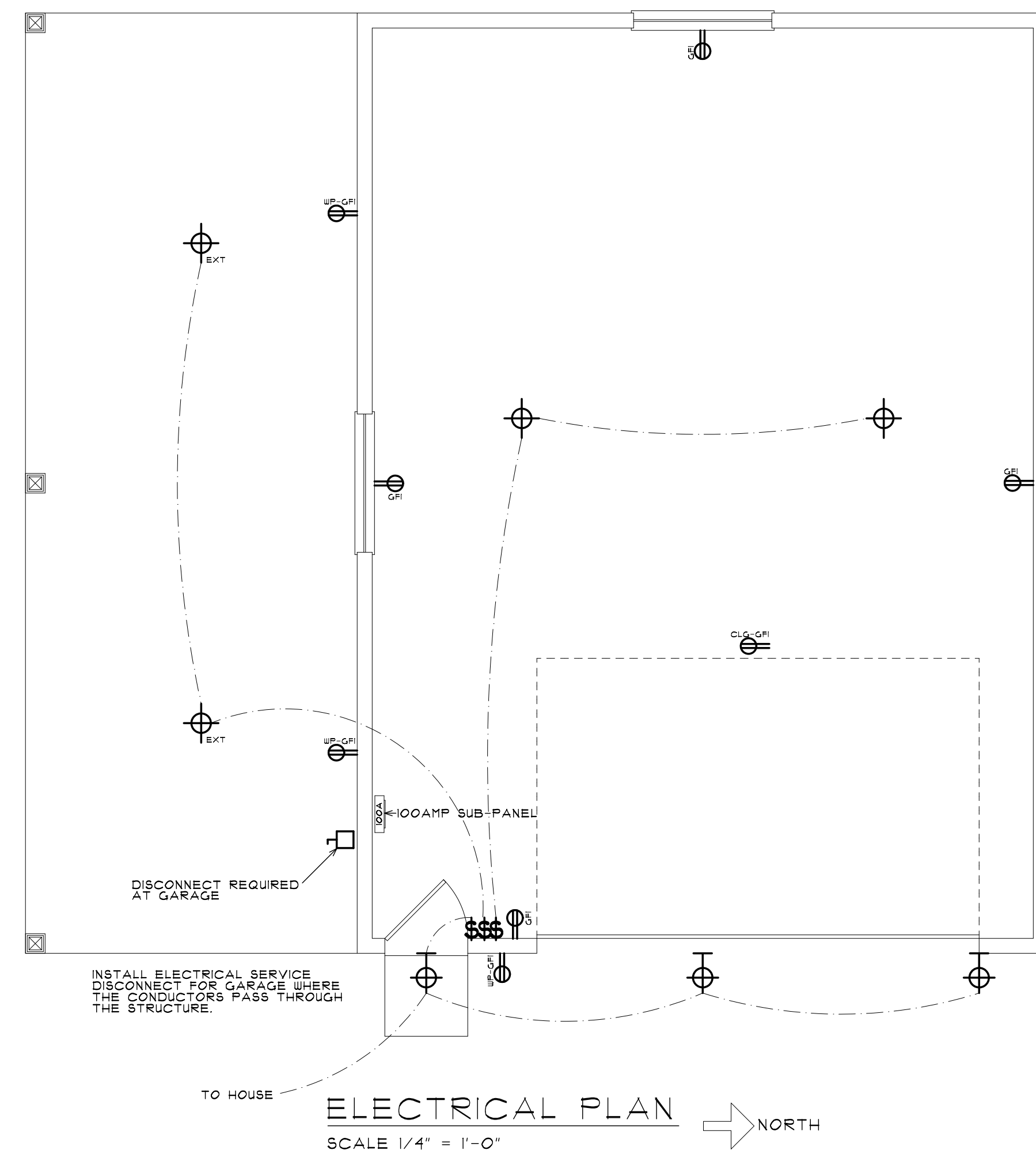
WALL LEGEND - FOUNDATION				
LOCATION	UL NO.	FIRE RATING	CONSTRUCTION	DESCRIPTION
EXTERIOR (1)	---	---	8" CONCRETE FOUNDATION WALL W/ 2" REBAR TOP, MID & BOTTOM ON 14" X 10" CONCRETE FOOTING	

WALL LEGEND - 1ST FLOOR				
LOCATION	UL NO.	FIRE RATING	CONSTRUCTION	DESCRIPTION
EXTERIOR (1)	---	---	2X4 W/D STUDS @ 16" OC W/ 1/2" OSB (EXTERIOR)	

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
\$	SWITCH
⊕	CEILING FIXTURE W/ FAN-APPROVED JUNCTION BOX
⊕ _{EXT}	CEILING MOUNTED LIGHT FIXTURE (EXTERIOR GRADE)
⊕	WALL-MOUNTED LIGHT FIXTURE
⊕	DUPLEX RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTED
⊕	DUPLEX RECEPTACLE WEATHERPROOF + GROUND-FAULT CIRCUIT INTERRUPTED

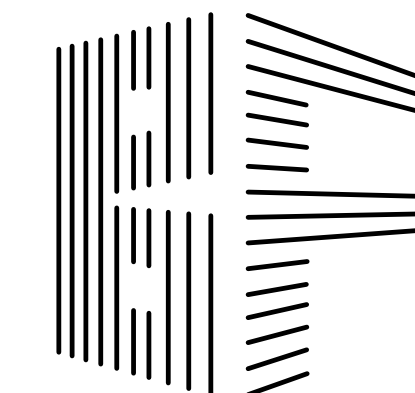
225.31 DISCONNECTING MEANS:
MEANS SHALL BE PROVIDED FOR DISCONNECTING ALL UNGROUNDED CONDUCTORS THAT SUPPLY OR PASS THROUGH THE BUILDING OR STRUCTURE.

225.32 LOCATION:
THE DISCONNECTING MEANS SHALL BE INSTALLED EITHER INSIDE OR OUTSIDE OF THE BUILDING OR STRUCTURE SERVED OR WHERE THE CONDUCTORS PASS THROUGH THE BUILDING OR STRUCTURE. THE DISCONNECTING MEANS SHALL BE AT A READILY ACCESSIBLE LOCATION NEAREST THE POINT OF ENTRANCE OF THE CONDUCTORS.



ELECTRICAL PLAN
SCALE 1/4" = 1'-0" NORTH

NEW ELECTRICAL LINES TO DETACHED GARAGE TO BE MINIMUM BURIAL DEPTH OF 6" FOR INTERMEDIATE CONDUIT, 18" FOR PVC, 12" IF GFCI-PROTECTED



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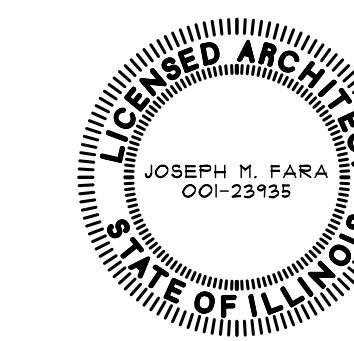
PROPOSED
DETACHED GARAGE

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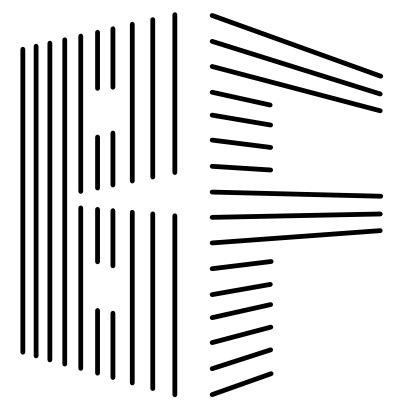
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10-3-2024	PERMIT



A-1
OF THREE



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PROPOSED
DETACHED GARAGE

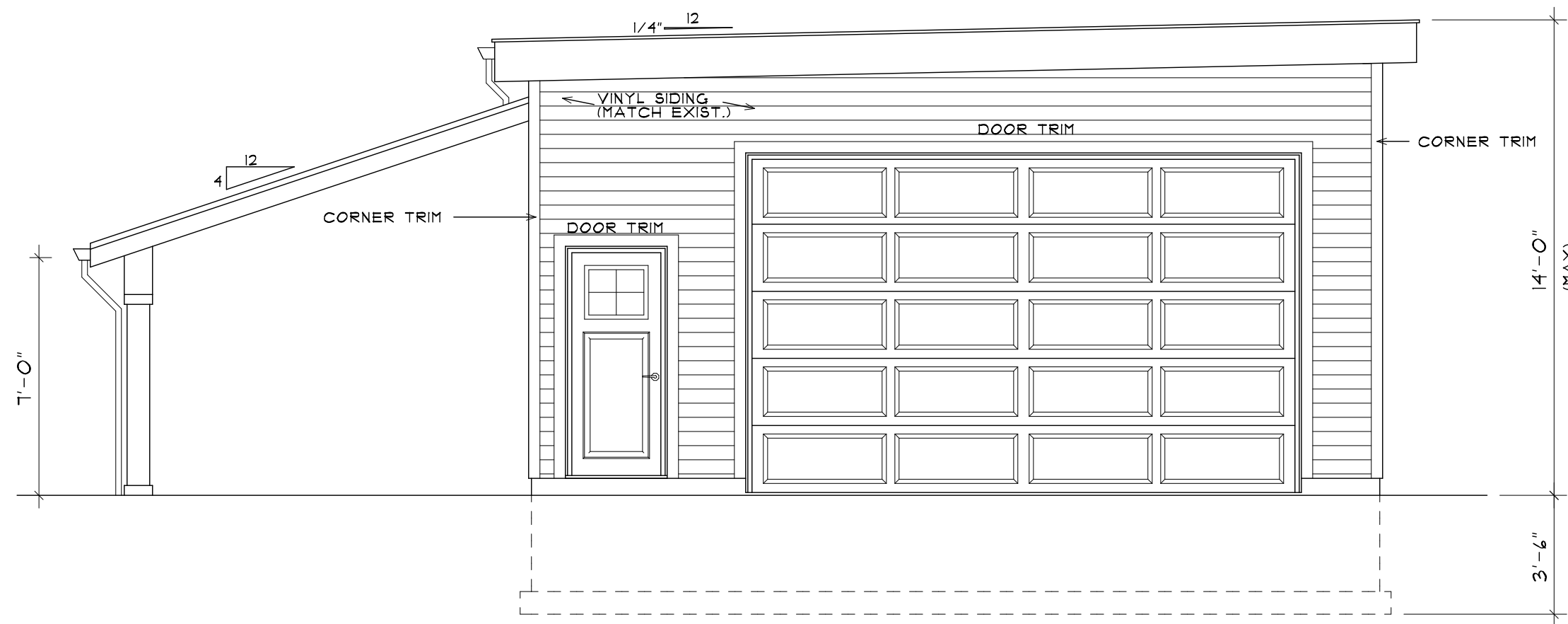
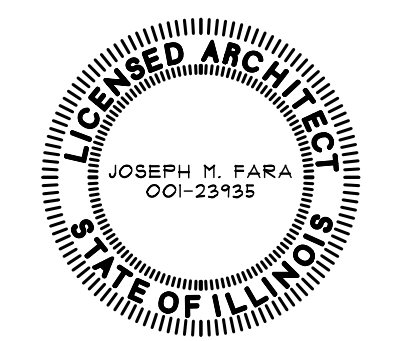
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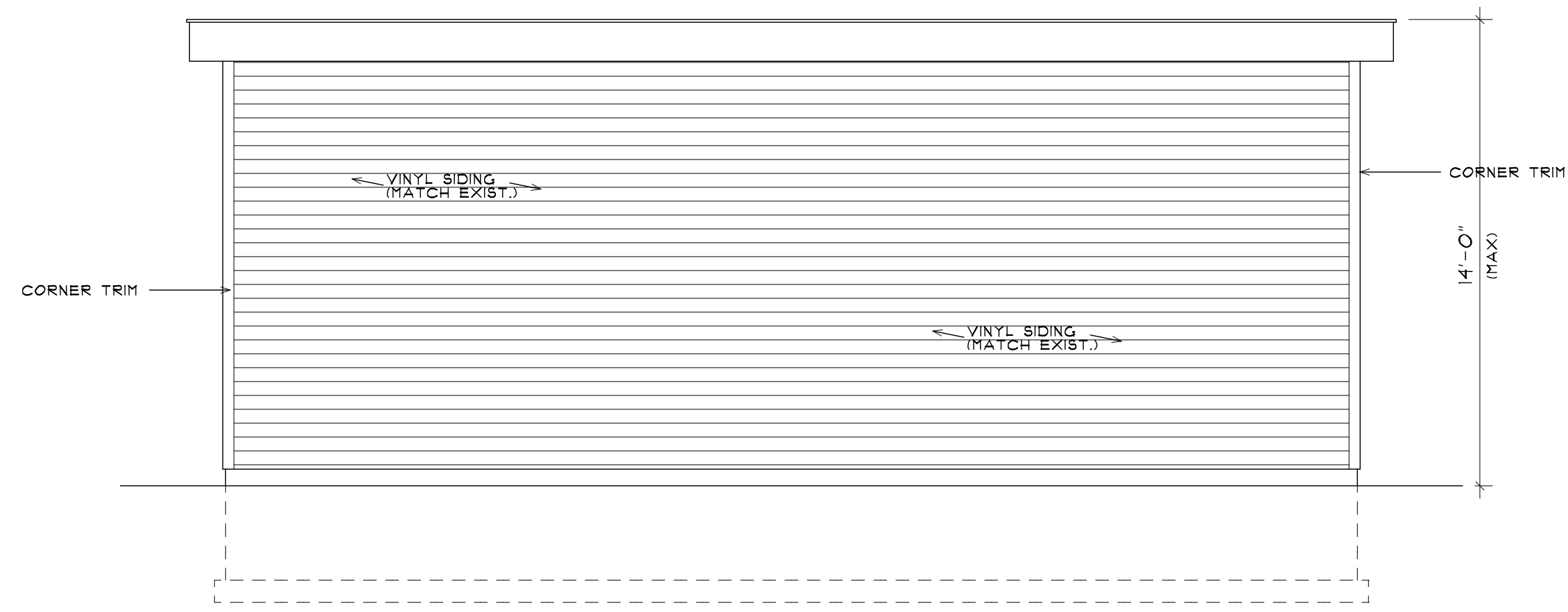
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DATE	DESCRIPTION



EAST ELEVATION

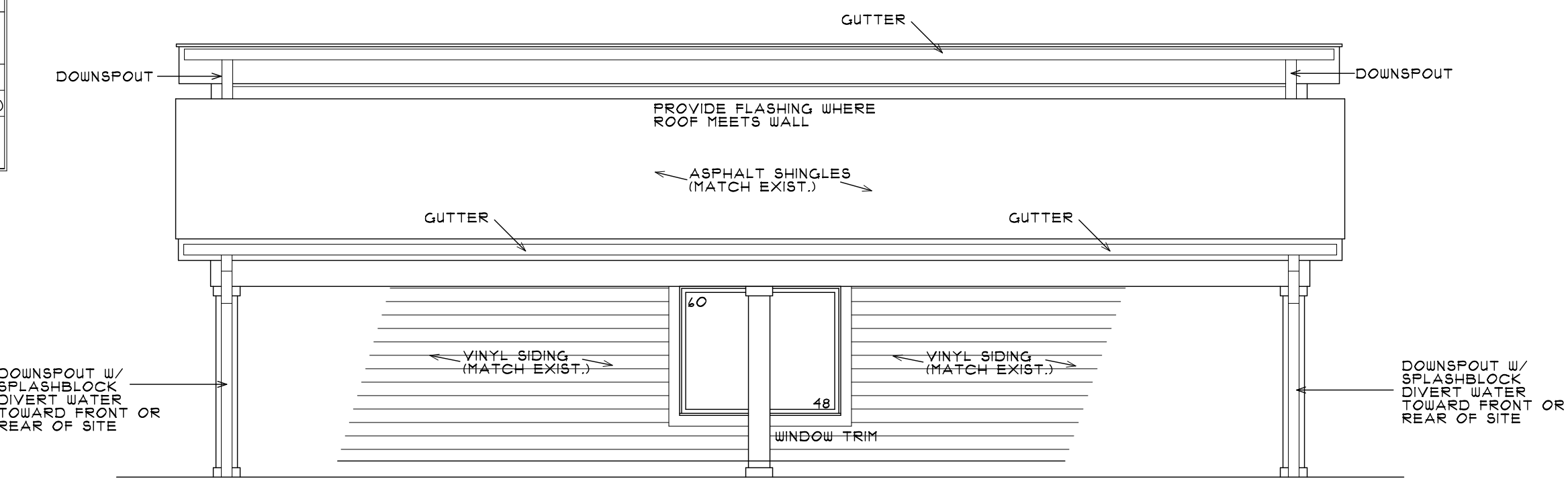
SCALE 1/4" = 1'-0"



NORTH ELEVATION

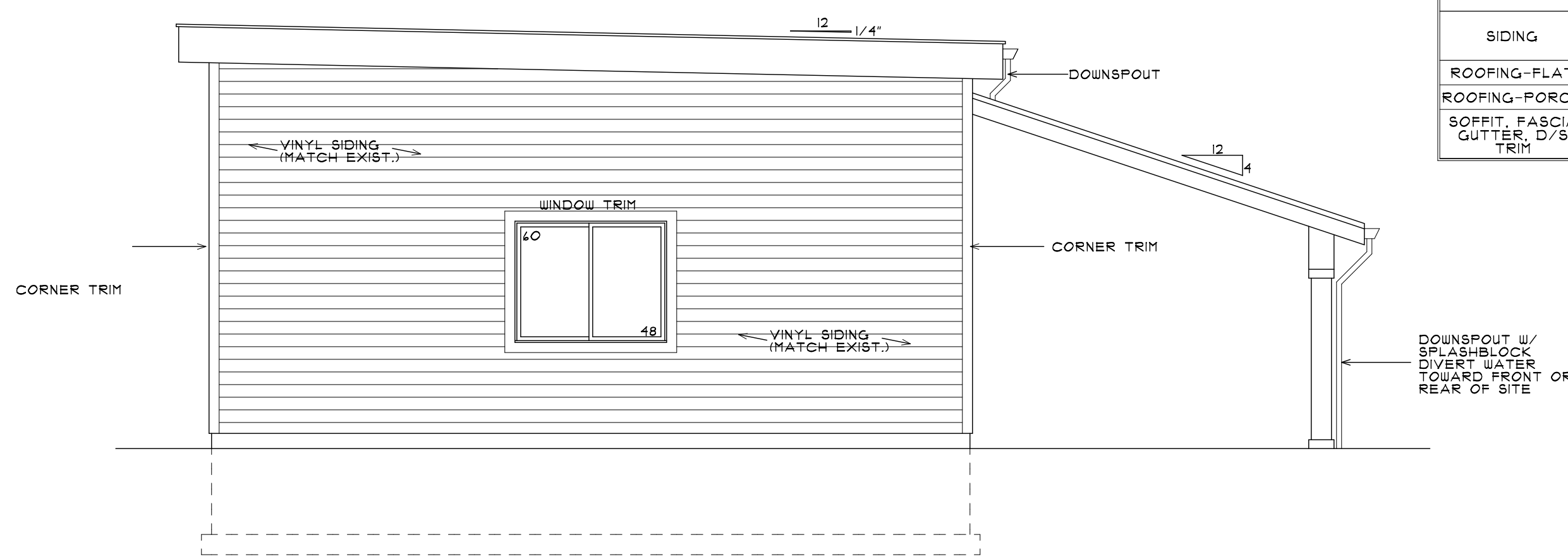
SCALE 1/4" = 1'-0"

ELEVATION MATERIALS		
LOCATION	HATCH	DESCRIPTION
SIDING		HORIZONTAL VINYL SIDING (MATCH EXISTING)
ROOFING-FLAT		MODIFIED BITUMEN
ROOFING-PORCH		ASPHALT SHINGLES (MATCH)
SOFFIT, FASCIA GUTTER, D/S TRIM		(MATCH EXISTING)



SOUTH ELEVATION

SCALE 1/4" = 1'-0"

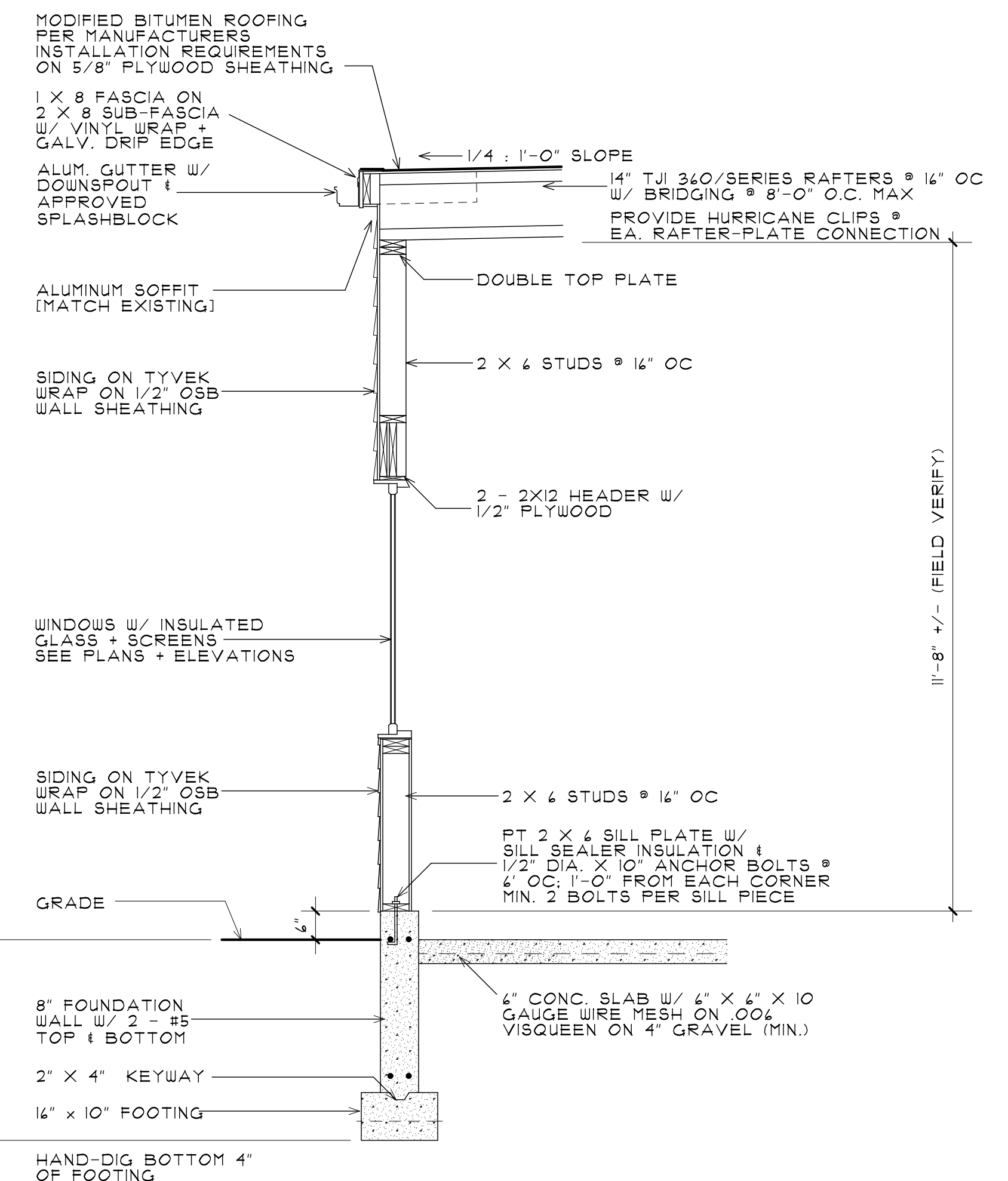


WEST ELEVATION

SCALE 1/4" = 1'-0"

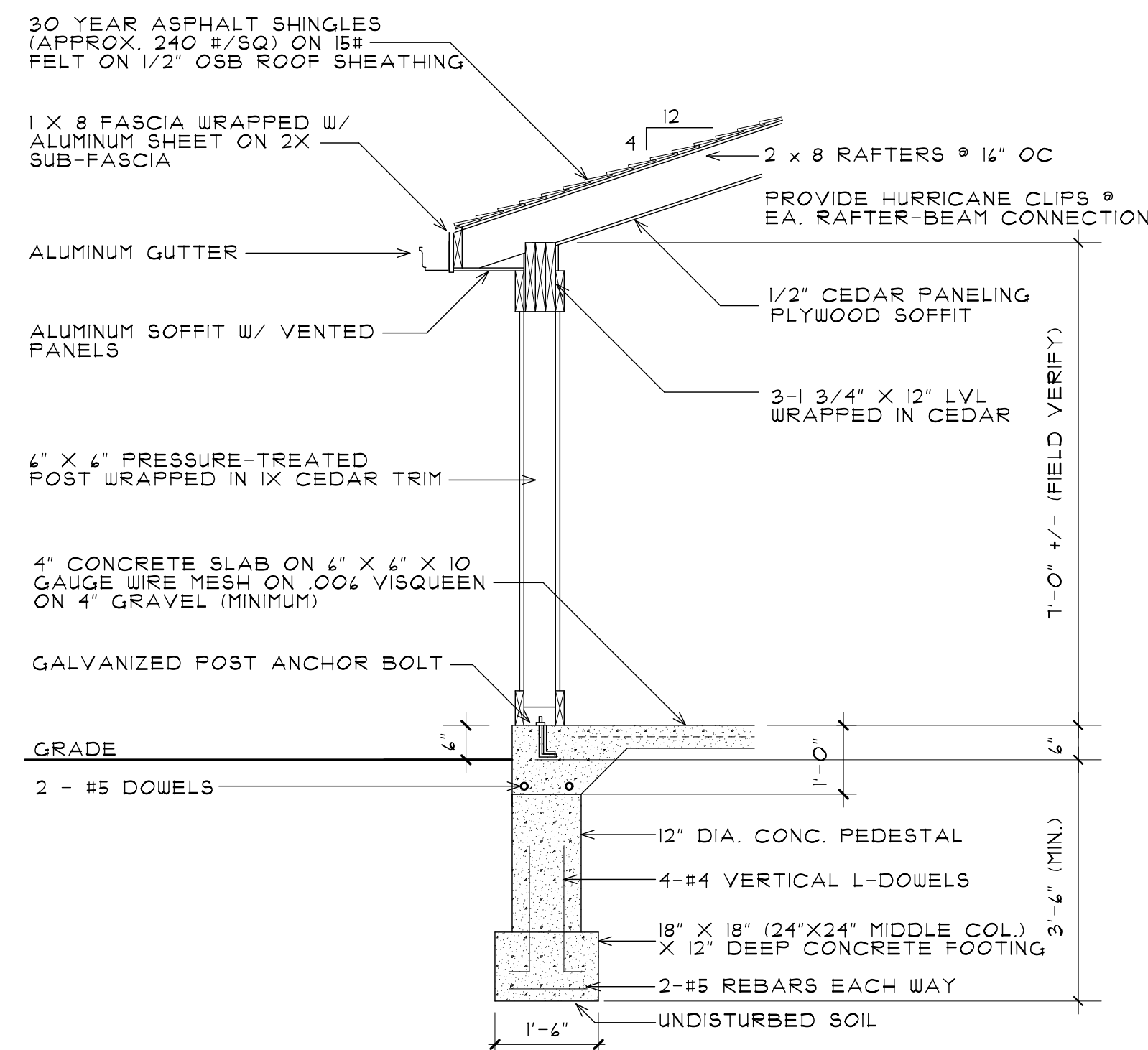
ELEVATION NOTES:

- WINDOW SIZES BASED ON FRAME SIZES; ROUGH OPENINGS TO BE VERIFIED W/ CHOSEN WINDOW MANUF. + CONTRACTOR PRIOR TO CONSTRUCTION
- FRAME SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
- ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.30



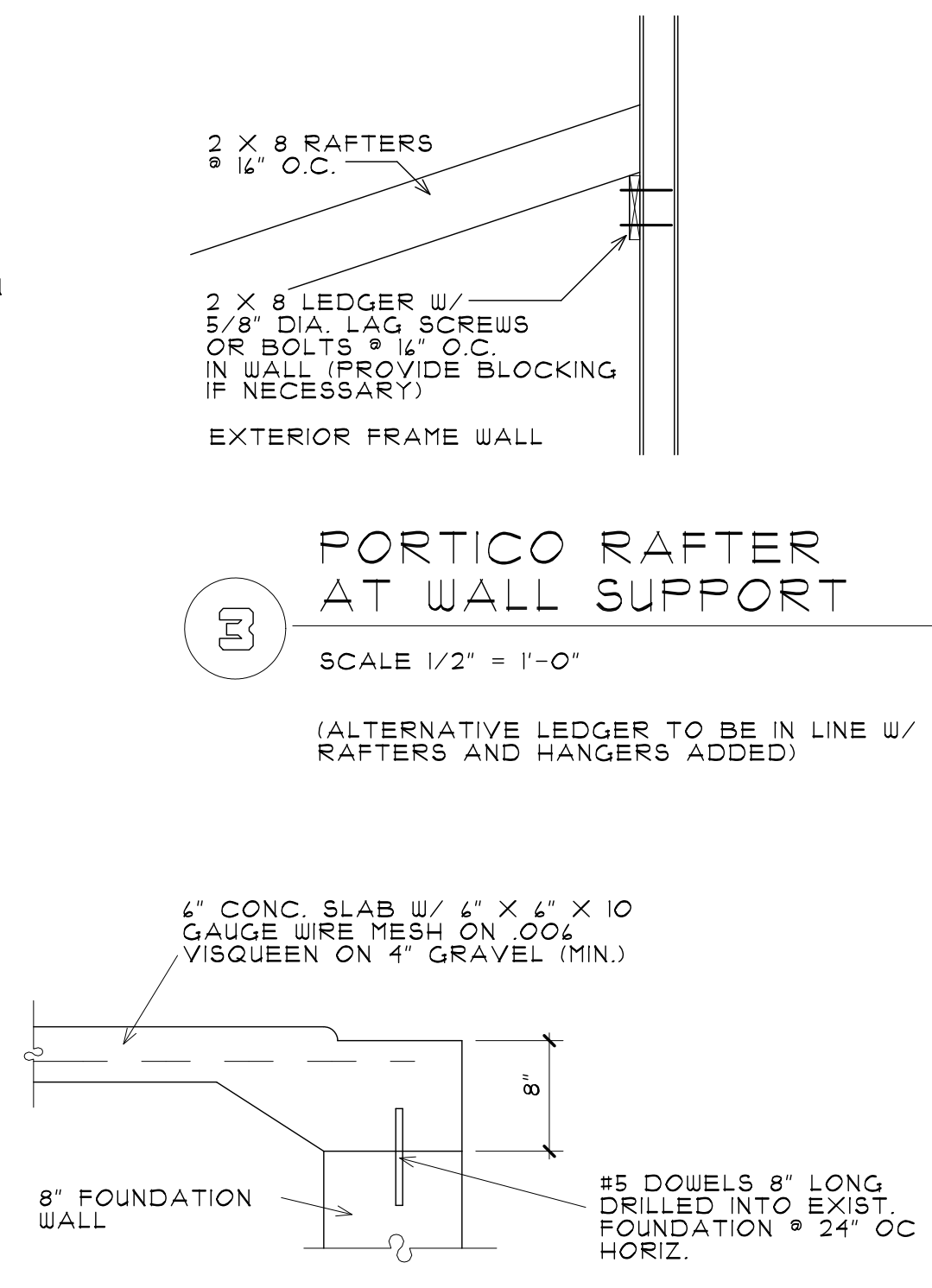
1 WALL SECTION

SCALE 1/2" = 1'-0"



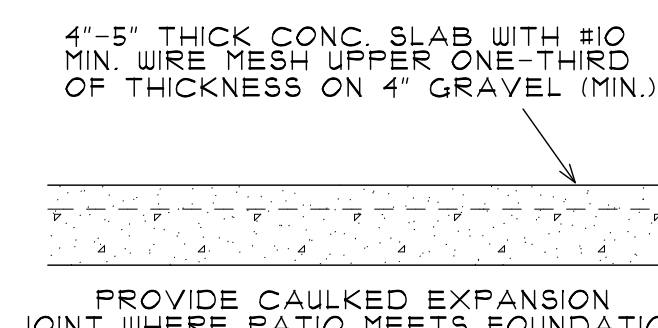
2 PORTICO WALL SECTION

SCALE 1/2" = 1'-0"



4 OH DOOR OPENING FOUNDATION DETAIL

SCALE 1" = 1'-0"



5 PATIO SLAB DETAIL

SCALE 1" = 1'-0"



PLANNING & ZONING COMMISSION STAFF REPORT

Meeting Date: 1/15/2025

From: Daisy Dose-Adamzadeh, Assistant Planner

PLN24-0013

Public Hearing

Rezoning from R-2 One-Family Residential District to R-10 Attached Single-Family Dwelling Residential District, Variations from Sections 9-5-10-D-1 and 9-5-10-D-10 of the Municipal Code, and Preliminary Concept Site Plan for the property located at 1180-1190 Apple Street

REQUEST SUMMARY

Property owner, Sam Akmakjian, is seeking the following approvals to accommodate development of 10-unit townhome development on the property located at 1180-1190 Apple Road:

1. Rezoning from R-2 One-Family Residential District to R-10 Attached Single-Family Dwelling Residential District.
2. Variation from Section 9-5-10-D-1 to reduce the minimum development area to 0.9 acres instead of the minimum required 10 acres.
3. Variation from Section 9-5-10-D-10 to increase the gross density to 10.9 units per acre instead of the maximum density of 6 units per acre.
4. Preliminary Concept Site Plan.

Location	1180-1190 Apple Street
Property Owner / Applicant	Sam Akmakjian
Property Size	40,128 SF (0.9 acres)
Zoning / Land Use	R-2 One Family Residential / single-family home
Adjacent Properties	NORTH: Golf Road ROW / Village of Schaumburg (B-2 District) SOUTH: Hoffman Plaza service drive (B-2 District) EAST: single-family home (R-2 District) WEST: car wash (B-2 District)

Planning & Zoning Commission Review Process

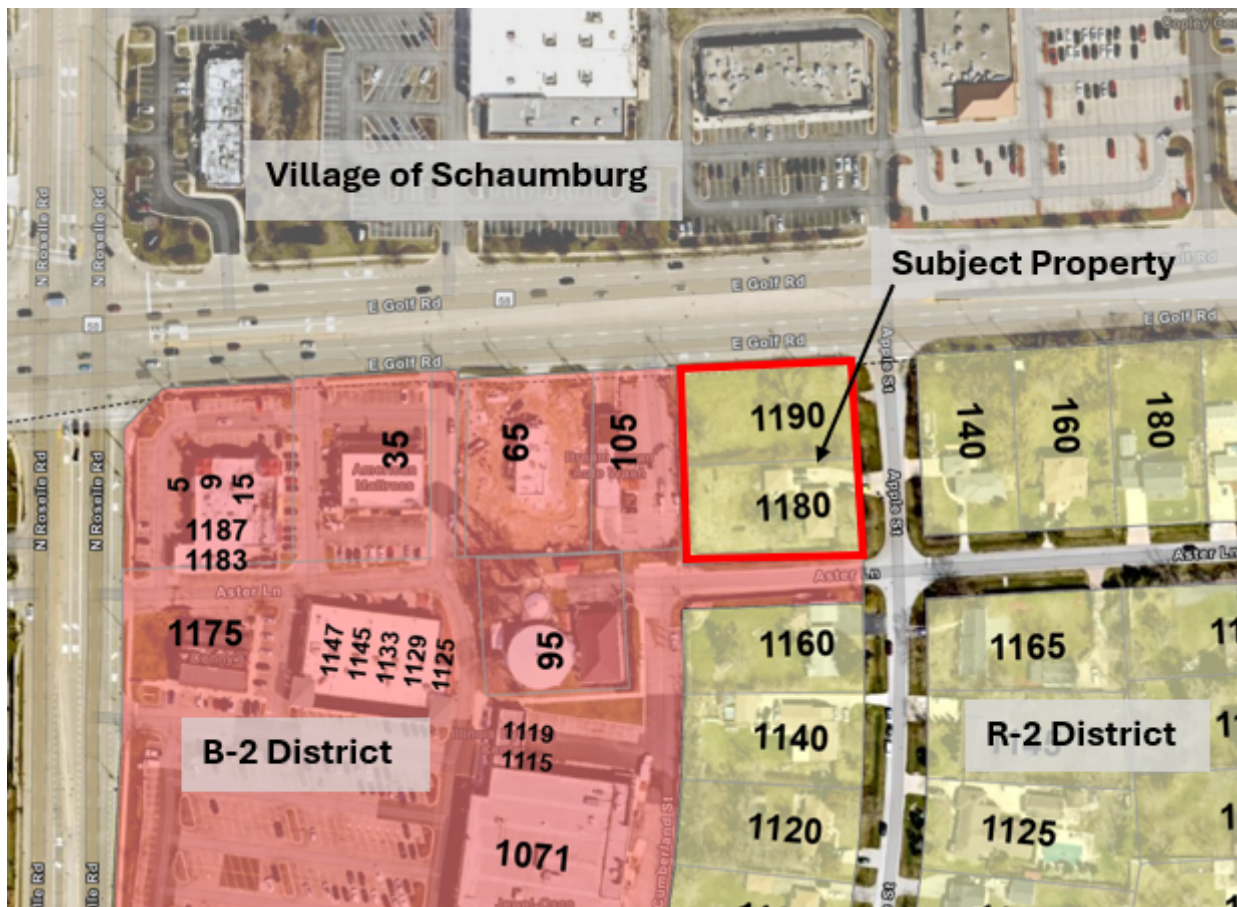
The Planning & Zoning Commission will hold a public hearing on January 15, 2025 to gather testimony and public comment on these requests. After closing the public hearing, the Commission will be asked to provide feedback on the Findings of Fact for each request. **Based on Commission feedback, the Findings of Fact will be drafted for consideration, along with formal recommendations, at the regular meeting scheduled for February 19, 2025.**

BACKGROUND / ANALYSIS

The subject property at 1180-1190 Apple Street totals 40,128 square feet in size (0.9 acres). The parcels were platted in 1955, prior to the incorporation of the Village. The property was platted as part of the Hoffman Estates I Subdivision, which included approximately 250 single-family detached lots (R-2 district), and one large parcel intended for commercial use, now the Hoffman Plaza Shopping Center and various retail outlets (B-2 district).

The subject property is surrounded by commercial uses to the north and west, with the Golf Road right-of-way and Village of Schaumburg retail to the north, and a car wash to the west. Immediately south of the property is the private service drive which is part of the Hoffman Plaza Shopping Center property. The Golf Road corridor has experienced significant commercial development in recent decades, necessitating the widening of Golf Road in 1999.

1190 Apple Street was previously improved with a single-family residence, which was demolished in 2018, leaving the lot vacant. There is one single-family home at 1180 Apple Street.



Proposal

The proposal consists of a 10-unit townhome development on the 0.9 acre site. The preliminary concept design includes two 33 foot tall townhome buildings, each with five attached units, for a total of 10 units. The units range between 2,200 and 2,600 square

feet and include a two-car, rear-loaded garage. A two-way access drive is proposed with curb cuts on Apple Street on the east and a private service drive serving the Hoffman Plaza Shopping Center on the south.

As part of the Preliminary Concept Site Plan request, final site and engineering plans have not been submitted. If the rezoning and variation requests are approved, the owner shall prepare the necessary plans for Preliminary and Final Site Plan and Subdivision approvals required prior to site development.

Preliminary Concept Site Plan:



Rezoning

The owner is seeking to rezone the property from the R-2 One-Family Residential District to the R-10 Attached Single-Family Dwelling Residential District which would allow for the proposed townhome use. The following table is a comparison of the current R-2 district regulations, R-10 district regulations, and the proposed preliminary concept plan:

Regulation	R-2 District	R-10 District	Proposed Project
Permitted Uses	Single-family	Single-family <i>and</i> attached single-family	Attached single-family
Setbacks	Front: 30' Side/Corner: 15'/30' Rear: 30'	Front: 25' Side/Corner: 25' Rear: 25'	Front: 25' Side/Corner: 25' Rear: 55'
Height	35'	35'	33'
Development Area	Min. 25 acres	Min. 10 acres	0.9 acres
Density	Max. 2.2 units/acre	Max. 6 units/acre	10.9 units/acre

As highlighted in the table above, the proposed plan does not meet R-10 district regulations for minimum development area or maximum density. Therefore, the owner is seeking the following:

Variation for Development Area

Section 9-5-10-D-1 of the Municipal Code requires a minimum development area of 10 acres in the R-10 district. The owner is seeking a variation to reduce the minimum development area to 0.9 acres from the required 10 acres.

Variation for Density

Section 9-5-10-D-10 limits gross density in the R-10 district to 6 units per acre. The owner is seeking variation to allow increased density of 10.9 units per acre.

There are three existing townhome developments in the Village with the R-10 zoning designation, summarized below. Two of the three are compliant with the R-10 development area and density regulations. In 1994, the Blackberry Creek townhome development was granted variations for development area and density.

R-10 District Development	Development Area	Density
Blackberry Creek (Hassell Rd. and Blackberry Ln.)	8 acres	6.5 units/acre
Canterbury Fields (Shoe Factory Rd. and Maureen Dr.)	47 acres	5.8 units/acres
Princeton Unit 2 (Shoe Factory Rd. and Ivy Ridge Dr.)	33 acres	5.3 units/acre
Proposed Project (1180-1190 Apple Street)	.9 acres	10.9 units/acre

Preliminary Concept Site Plan

In addition to the rezoning and variation requests, the owner is seeking Preliminary Concept Site Plan consideration. The plans submitted are intended to illustrate the potential layout and general character of the development. Preliminary Concept Site Plan approval does not authorize any development or construction activity. If the rezoning and variation requests are approved, the owner would be required to obtain

Preliminary and Final Site Plan and Subdivision approval for the project, which would include final site, engineering, landscape, architectural and other plans, studies and documents as required by the Municipal Code. While not an exhaustive list, staff has identified a number of items to be addressed as part of any future zoning request:

- The architectural plans and civil engineering plans should be reconciled to address discrepancies between plans.
- The grass emergency paver fire lane has not been approved by the Fire Department. Any future submittals should ensure that emergency access and safety standards are met.
- Proposed sidewalks widths and locations to be revised to provide adequate pedestrian connectivity and ingress/egress for police/fire response.
- A Plat of Subdivision is required.
- Plans must address all applicable regulations and design requirements of the Municipal Code.
- Hoffman Plaza ownership must be a co-applicant on any future requests for Preliminary and Final Site Plan approval if access is proposed on the private service drive.

Findings of Fact

Provided below are the standards required to be met for rezoning and variations as outlined in the Municipal Code. Upon conclusion of the public hearing, the Commission should discuss each request to determine if the standards have been met. Draft Findings of Fact for each request will be drafted based on this discussion and provided to the Commission for consideration at the February 19, 2025 meeting.

Rezoning – R-2 to R-10 District

Sec. 9-1-17-E: Standards.

1. Where the purpose and effect of the proposed amendment is to change the zoning classification of a particular property, the Planning and Zoning Commission, shall make findings based upon the evidence presented to it in each specific case with respect to the following:

- a. Existing uses of property within the general area of the property in question;
- b. The zoning classification of property within the general area of the property in question;
- c. The suitability of the property in question for the uses permitted under the existing zoning classification;
- d. The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was placed in its present zoning classification.

2. The Planning and Zoning Commission shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such amendment is in the public interest and is not solely for the interest of the applicant.

Variations – Development Area & Density

Sec. 9-1-15-C: Standards.

1. The Planning and Zoning Commission shall not recommend the variation of the

regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
- b. The plight of the owner is due to unique circumstances;
- c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence:

- a. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
- b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
- d. The alleged difficulty or hardship has not been created by any person presently having an interest in the property;
- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

Notification

Legal notice has been published by the Daily Herald Newspaper and standard notification letters have been sent to residents within 300 feet of the proposed project. The applicant has placed two notification signs on the property. One letter of objection has been submitted (included in the attachments).

Note: The public hearing for this meeting was originally scheduled for PZC consideration on 12/18/24 PZC however was cancelled due to a newspaper publishing issue.

MOTIONS

Motions for approval of Findings of Fact and recommendations will be considered by the Commission at the February 19, 2025 meeting.

ATTACHMENTS

1. Draft PZC Findings and Recommendations Summary
2. Location Map
3. Supporting Documents
4. Objector's Exhibit



**PLANNING & ZONING COMMISSION
FINDINGS & RECOMMENDATION SUMMARY**

Meeting Date: 1/15/2025

Prepared By: Daisy Dose-Adamzadeh, Assistant Planner

PLN24-0013

Rezoning from R-2 One-Family Residential District to R-10 Attached Single-Family Dwelling Residential District, Variations from Sections 9-5-10-D-1 and 9-5-10-D-10 of the Municipal Code, and Preliminary Concept Site Plan for the property located at 1180-1190 Apple Street

For discussion at the December 18, 2024 meeting. Based on the discussion, draft findings and recommendations will be prepared for consideration at the February 19, 2025 meeting.

Draft Findings of Fact – Rezoning from R-2 to R-10

Sec. 9-1-17-E: Findings of Fact and Recommendations

1. Where the purpose and effect of the proposed amendment is to change the zoning classification of a particular property, the Planning and Zoning Commission, shall make findings based upon the evidence presented to it in each specific case with respect to the following:
 - a. Existing uses of property within the general area of the property in question;
FINDING:
 - b. The zoning classification of property within the general area of the property in question;
FINDING:
 - c. The suitability of the property in question for the uses permitted under the existing zoning classification;
FINDING:
 - d. The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was placed in its present zoning classification.
FINDING:
2. The Planning and Zoning Commission shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such amendment is in the public interest and is not solely for the interest of the applicant.
FINDING:

Draft Findings of Fact – Variation for Minimum Development Area

Sec. 9-1-15-C: Standards for Variations.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;

FINDING:

b. The plight of the owner is due to unique circumstances;

FINDING:

c. The variation, if granted, will not alter the essential character of the locality.

FINDING:

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence:

a. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;

FINDING:

b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;

FINDING:

c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;

FINDING:

d. The alleged difficulty or hardship has not been created by any person presently having an interest in the property;

FINDING:

e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and

FINDING:

f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

FINDING:

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefitted by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

Draft Findings of Fact – Variation for Maximum Density

Sec. 9-1-15-C: Standards for Variations.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
FINDING:
 - b. The plight of the owner is due to unique circumstances;
FINDING:
 - c. The variation, if granted, will not alter the essential character of the locality.
FINDING:
2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence:
 - a. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
FINDING:
 - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
FINDING:
 - c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
FINDING:
 - d. The alleged difficulty or hardship has not been created by any person presently having an interest in the property;
FINDING:
 - e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and

FINDING:

- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

FINDING:

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

Draft Recommendations

The following motions will be considered by the Planning & Zoning Commission on January 15, 2025 (*a total of 5 motions will be required*):

1. Adopt the Findings of Fact for Rezoning and Variations as noted in the Findings & Recommendations Summary.
2. Recommend to the Village Board approval of Rezoning from R-2 One-Family Residential District to R-10 Attached Single-Family Dwelling Residential District, subject to the following condition:
 - a. All use of the existing structure shall cease immediately following Village Board approval, and the existing structure shall be demolished (in accordance with applicable building permits) within twelve (12) months from the date of Village Board approval.
3. Recommend to the Village Board approval of a Variation from Section 9-5-10-D-1 to reduce the minimum development area to 0.9 acres instead of the minimum required 10 acres.
4. Recommend to the Village Board approval of a Variation from Section 9-5-10-D-10 to increase the gross density to 10.9 units per acre instead of the maximum density of 6 units per acre.
5. Recommend to the Village Board approval of Preliminary Concept Site Plan, subject to the following conditions:
 - a. Preliminary Concept Site Plan approval does not authorize any development or construction activity. Future development of this property is subject to approval of Preliminary and Final Site Plan in accordance with the Village's Municipal Code requirements. The owner may choose to sell the property, and any subsequent purchaser or developer shall be bound by the conditions of approval.
 - b. The Preliminary Concept Site Plan approval is intended to illustrate a potential layout and general character of the development. All plan details are subject to further review and revision through the Preliminary and Final Site Plan process. To comply with the Municipal Code,

changes may be required to access, circulation, landscaping, site layout, lighting, building appearance, and any other site detail.

- c. No development waivers are granted with this approval. All details of the site plan are conceptual in nature and do not imply that any waivers or variations will be approved.
- d. Development of this property is subject to meeting all requirements of the Village Municipal Code any and all and other requirements of other jurisdictions such as IDOT and MWRD.
- e. A preliminary and final Plat of Subdivision shall be submitted prior to or concurrently with a request for Preliminary and Final Site Plan Approval.

1180 - 1190 APPLE ST
07-15-200-004-0000 & 07-15-200-005-0000

N



Village of Schaumburg

E GOLF RD

1190

1180

ASTER LN

ROSELLE RD

Hoffman Plaza Shopping Center

APPLE ST

Legend

-  Subject Property
-  Parcel
-  VillageBoundary



Department of Development Services
Village of Hoffman Estates



VILLAGE OF HOFFMAN ESTATES PLANNING & ZONING APPLICATION SUMMARY

APPLICATION INFORMATION

Project Number:	PLN24-0013
Project Name:	Apple - Golf Rezoning, Variations & Concept Site Plan
Project Application Date:	3/12/2024
Project Manager:	Daisy Dose

PROJECT TYPE

Variation - Residential; Site Plan Review - Concept; Rezoning;

SITE INFORMATION

Property Address:	1190 APPLE ST
All Included PINs:	07-15-200-004-0000, 07-15-200-005-0000

PROJECT CONTACTS

Relationship to Project	Name / Firm	Address	Phone	E-Mail
APPLICANT	SAM AKMAKJIAN	4160 RFD SUITE 102 LONG GROVE, IL 60047	8477780463	DRSAM001@AOL.COM
AUTHORIZED AGENT	GROUP A ARCHITECTURE	1100 LANDMEIER RD # 202 ELK GROVE VILLAGE, IL 60007	8479521100	RKIRK@GROUPAARCH.COM
OWNER	SAM AKMAKJIAN	4160 RFD LONG GROVE, IL 60047	8477780463	DRSAM001@AOL.COM



OWNER CONSENT FOR APPLICATION

ACKNOWLEDGEMENTS AND VERIFICATION

I hereby certify that I am the current owner of record of the subject property. I certify that the statements or information made in any paper or plans are true and correct to the best of my knowledge. I understand that any false, inaccurate, or incomplete information provided by me, or the applicant may result in the denial, revocation, or withdrawal of the request and/or approval.

Furthermore, I acknowledge the following:

- Owner, applicant and primary contact may include other team members (consultants, brokers, tenants, etc.) that may be called upon to present at public meetings before the Planning and Zoning Commission and Village Board. Owner acknowledges that it is bound by and must act in accordance with any statements, promises, or assurances given by such team members (consultants, brokers, tenants, etc.).
- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

Required Disclosures:

1. Proof of Ownership
 - a. Proof of current ownership must be submitted with the application. Examples of proof of ownership may include a deed, current tax bill, or title commitment.
2. Disclosure of Beneficiaries
 - a. If the owner or applicant is a Partnership, Corporation, Joint Venture, LLC, Trust, or publicly traded company, the Village of Hoffman Estates Owner or Applicant Disclosure of Beneficiaries found on the application portal must be submitted with the application.
3. Other Interested Parties
 - a. If someone other than the owner has a property interest in the subject property such a mortgage or lease, such property interest and individual or entity holding such interest must be disclosed.

The Owner and Applicant, by signing this Application, certifies the correctness of the application and all submittals and represents that it has the legal authority to do so.

1180/1190 APPLE, 1180-1190 APPLE, HOFFMAN ESTATES, IL.

Property Address

Property PIN

DR. SAM AKMAKJIAN

Owner's Name (Please Print)

Owner's Signature

9.22.2024

Date

ROBERT W. KILAK

Applicant's Name (Please Print)

Applicant's Signature

9.22.2024

Date



GROUP A ARCHITECTURE, INC.
1100 Landmeier Road, Suite 202, Elk Grove Village, IL 60007
P: 847.952.1100
F: 847.952.1158
W: www.groupaarch.com

Project Narrative for Apple / Golf Redevelopment

July 30, 2024

Dr. Sam Akmakjian, the current owner, has owned the property for the past 10+ years. There were two (2) single-family residences on the two (2) lots. These residences were constructed in the mid-1950's, prior to the incorporation of Hoffman Estates to a village. Golf Rd. was a 2-lane access road and was just a shadow of its current commercial thoroughfare we know it to be today.

Numerous proposals to redevelop the parcels have been submitted to develop the property into commercial, retail, and professional office uses. There was severe local resistance and opposition to the rezoning the parcels to commercial use.

The land owner and the project developer have taken all of the comments and concerns of the local residents very seriously. The proposed project will be for residential uses, as single-family attached units. The higher-density residential uses will be a buffer between the commercial uses along Golf Rd. and the single-family development along Apple St. to the south.

The project is designed to be a buffer between the intense retail and commercial uses on Golf Rd. to the north, the car wash activity to the west, and single-family uses in the R-2 zoning districts to the south and the east.

The project is seeking a rezoning from the existing R-2 district to the R-10, attached single-family district. All setbacks, height restrictions, and yard restrictions imposed by the R-10 zoning district are being adhered to. Two (2) variations of the R-10 district are being requested. The first is that there shall be a minimum of ten (10) acres required in an R-10 zoning district. The proposed project is .92 acre. The second variation to the R-10 zoning district is to allow six (6) attached single-family units per acre. The project is proposing a density of 10.6 units per acre.

Ten (10) units are proposed with two (2) buildings. All access to the project will be from Apple St. and will lead to an auto central court, which will be the vehicle access to the 2-car garages.

There will be three (3) guest parking spaces, two (2) parking spaces enclosed in garages, and two (2) outside parking spaces for each unit.

The front yard (Apple St.) setback is 25'-0", the side yard (Golf Rd.) setback is 28'-8 ¾" and 26'-9 1/8" setback on Aster, private lane. The rear yard setback, adjacent to the commercial car wash rear yard setback is 55'-0".

The proposed building style is clean, flush, and contemporary. Exterior masonry, large windows, horizontal maintenance-free exterior siding, and stucco accents highlight the exterior building character.

The project will have individual land owners, be single-family uses, and will be a part of an active HOA, who will oversee the exterior maintenance of the property.

Trash for the site will be serviced from the northwest portion of the site. An additional service access drive has been provided to allow for trash trucks to service the site from the private drive on Aster Lane.

The project will fit the site, meet the market demands, and be the correct solution to fit the needs of a difficult and unique land parcel.

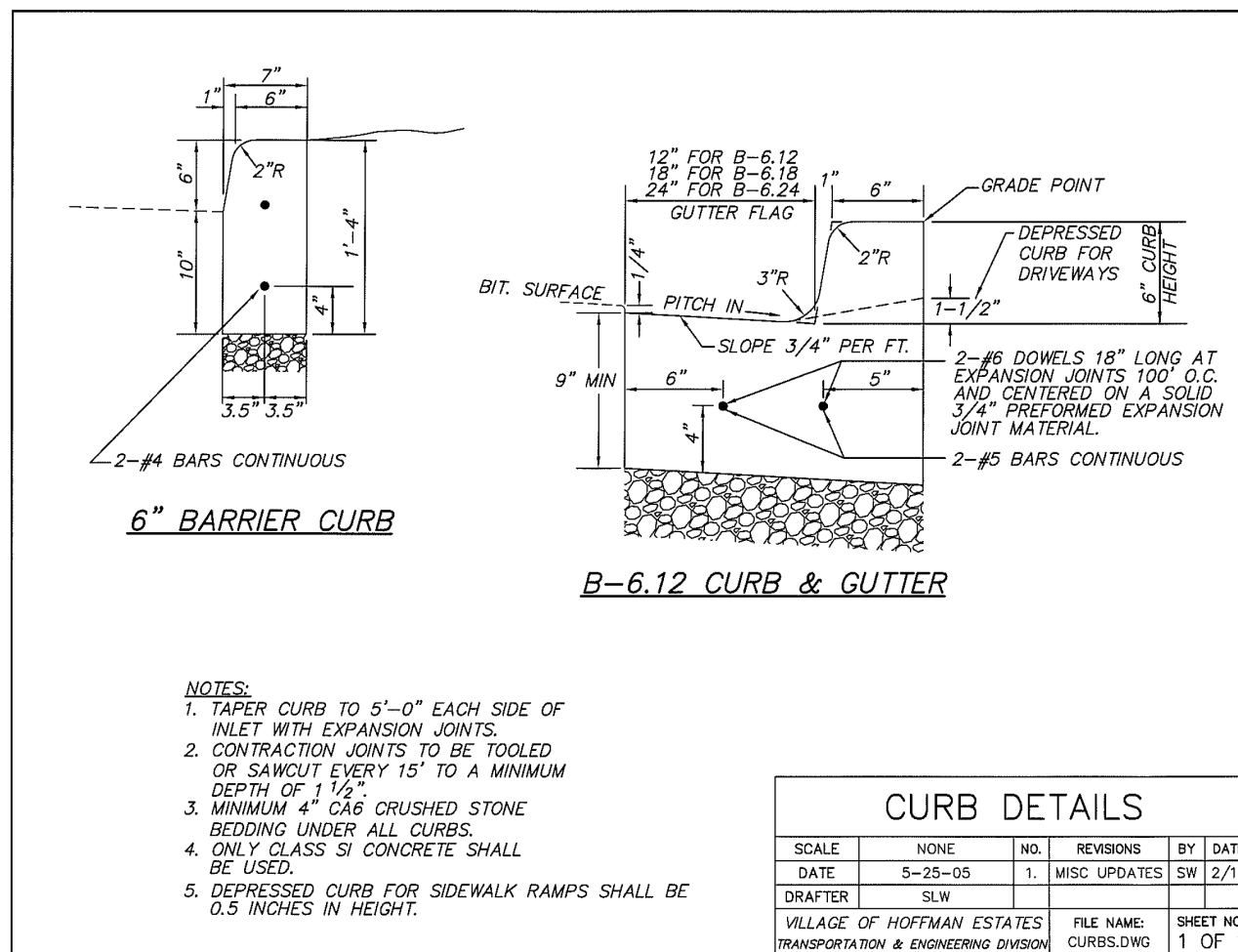
Please call with any questions or needed clarifications.



Robert W. Kirk, AIA, Architect
President
Group A Architecture, Inc.

RWK:dlg

APPLE GOLF



EXISTING R-2 ZONING INFORMATION		PROPOSED R-10 ATTACHED SINGLE FAMILY ZONING	
LOT AREA: 40,148 SQ FT	REQUIRED/ ALLOWED	REQUIRED/ ALLOWED	PROPOSED
ZONING:	R-2	R-10	R-10
SETBACK:	30'-0" FRONT 30'-0" FROM APPLE ST 20'-0" SIDE 30'-0" REAR	25'-0" FRONT 25'-0" FROM APPLE ST 25'-0" SIDE 25'-0" REAR	26'-8 3/4" FRONT 25'-0" FROM APPLE ST 26'-9 1/8" SIDE 55'-0" REAR
FAR:	20% - 8,029 SQ FT	BUILDING LOT AREA TO BE DETERMINED BY THE VILLAGE BOARD	(4)2,666.28 SF (2)2,614.66 SF (4)2,203.44 SF TOTAL:24,708.2 SF
BUILDING HT:	35 FT	35 FT	33 FT

R-10 ATTACHED SINGLE FAMILY ZONING INFORMATION

	ALLOWED	PROPOSED	
MIN. DEVELOPMENT AREA	10 ACRES MIN. 6UNITS/ACRE	40,148 SQ FT 10 UNITS	
LOT AREA/DENSITY	7,260/UNIT	4,356/UNIT	
SETBACK:	FRONT SIDE REAR	25'-0" FRONT 25'-0" FROM APPLE ST 25'-0" 25'-0"	26'-8 3/4" FRONT 25'-0" FROM APPLE ST 26'-9 1/8" SIDE 55'-0" REAR
DENSITY:	NOT EXCEED SIX DWELLING UNITS/ACRE	10 DWELLING UNITS ON 40,148 SQ FT LOT	
SQ FT/UNIT:		(4)2,666.28 SF (2)2,614.66 SF (4)2,203.44 SF	
NUMBER OF UNITS:		10	
TOTAL SQ FT:		24,708.2 SF	
LOT COVERAGE:		BLDG FOOTPRINT 9,113.84 SF DRIVEWAY/PARKING 12,374.72 SIDEWALK 1,345.12 SF TOTAL: 22,833.68 SF	
LANDSCAPED PERVIOUS SURFACE AREA:	MIN. 20%= 8,030 SQ FT	17,314.32 SF (12 TREES: 2.5 INCH DBH)	
BUILDING HT:	35 FT	33 FT	
TOTAL PARKING SPACES:	1 GUEST SPACE/4 UNITS	3	



A Professional Corporation
1100 Landmeier Rd. Suite 202,
Elk Grove Village, IL 60007

Phone: 847.952.1100
Fax: 847.952.1158
Web: www.groupaarch.com

COVER SHEET

1180/1190 APPLE STREET

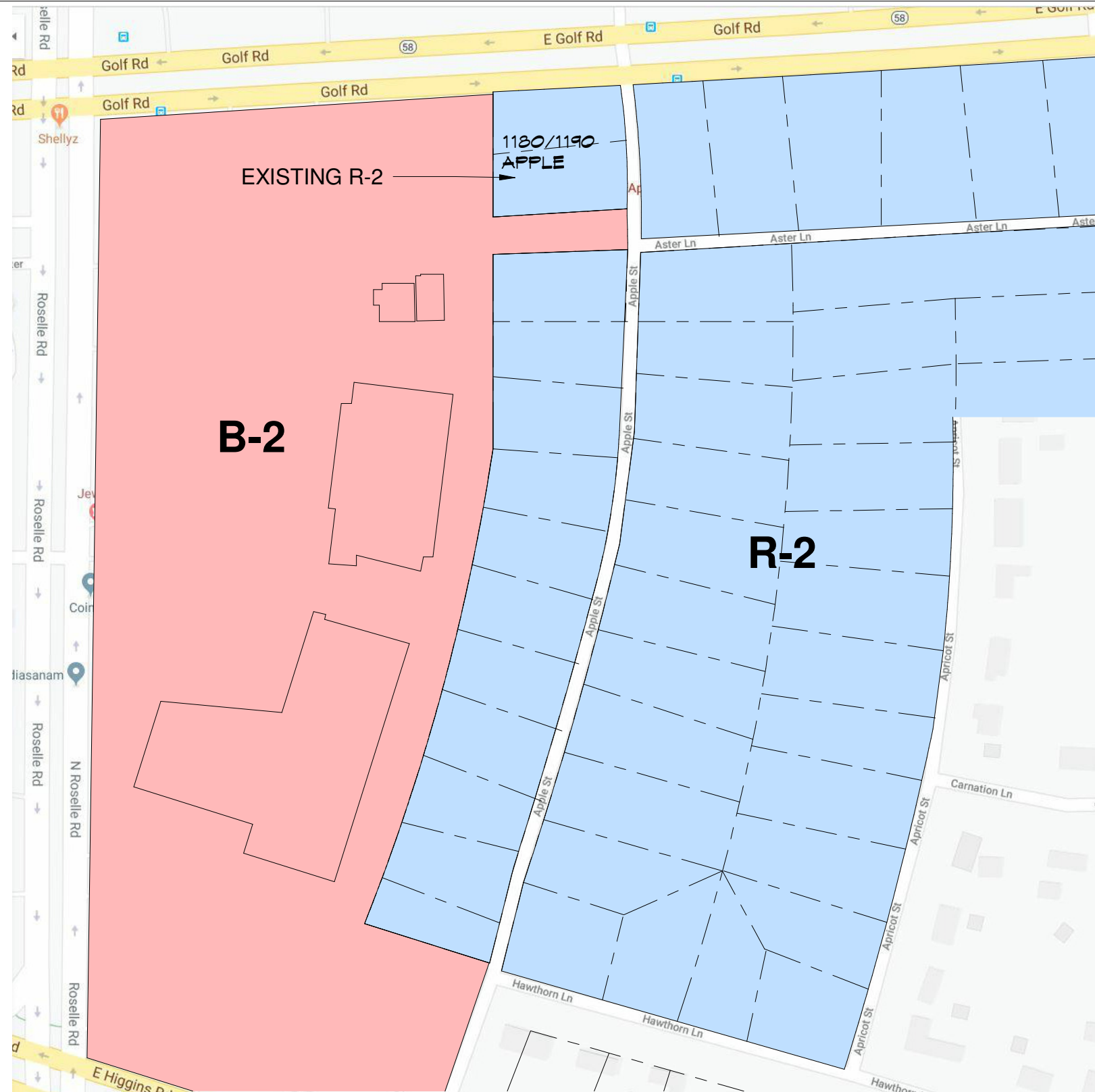
HOFFMAN ESTATES, ILLINOIS

**APPLE
GOLF**

D1

JOB NUMBER: 23048

DATE: 09/24/2024



GROUP



ARCHITECTURE

A Professional Corporation
 1100 Landmeier Rd. Suite 202,
 Elk Grove Village, IL 60007

Phone: 847.952.1100
 Fax: 847.952.1158
 Web: www.groupaarch.com

EXISTING ZONING

1180/1190 APPLE STREET

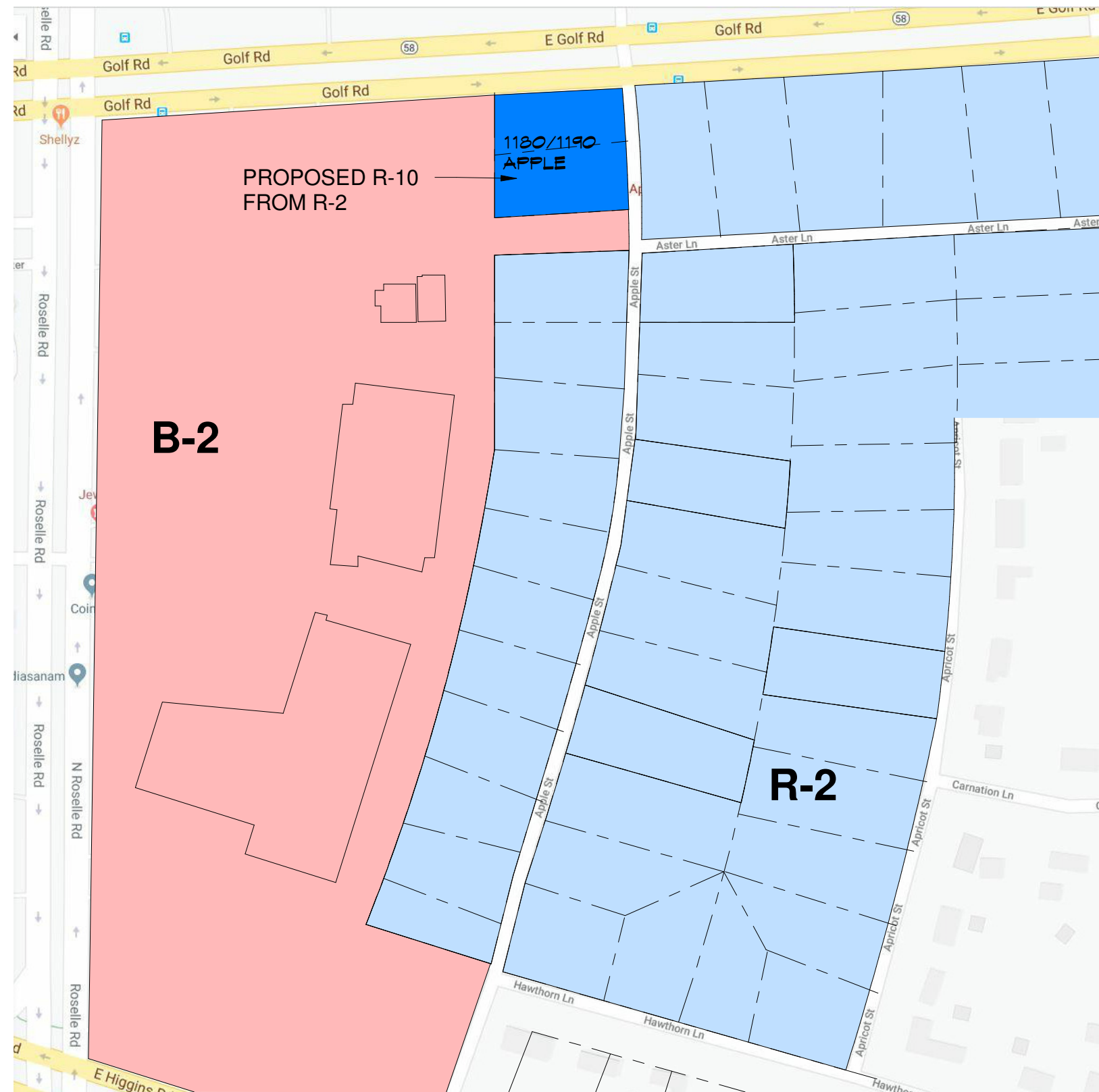
HOFFMAN ESTATES, ILLINOIS

**APPLE
 GOLF**

JOB NUMBER: 23048

DATE: 09/24/2024

D2



GROUP



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PROPOSED ZONING

1180/1190 APPLE STREET

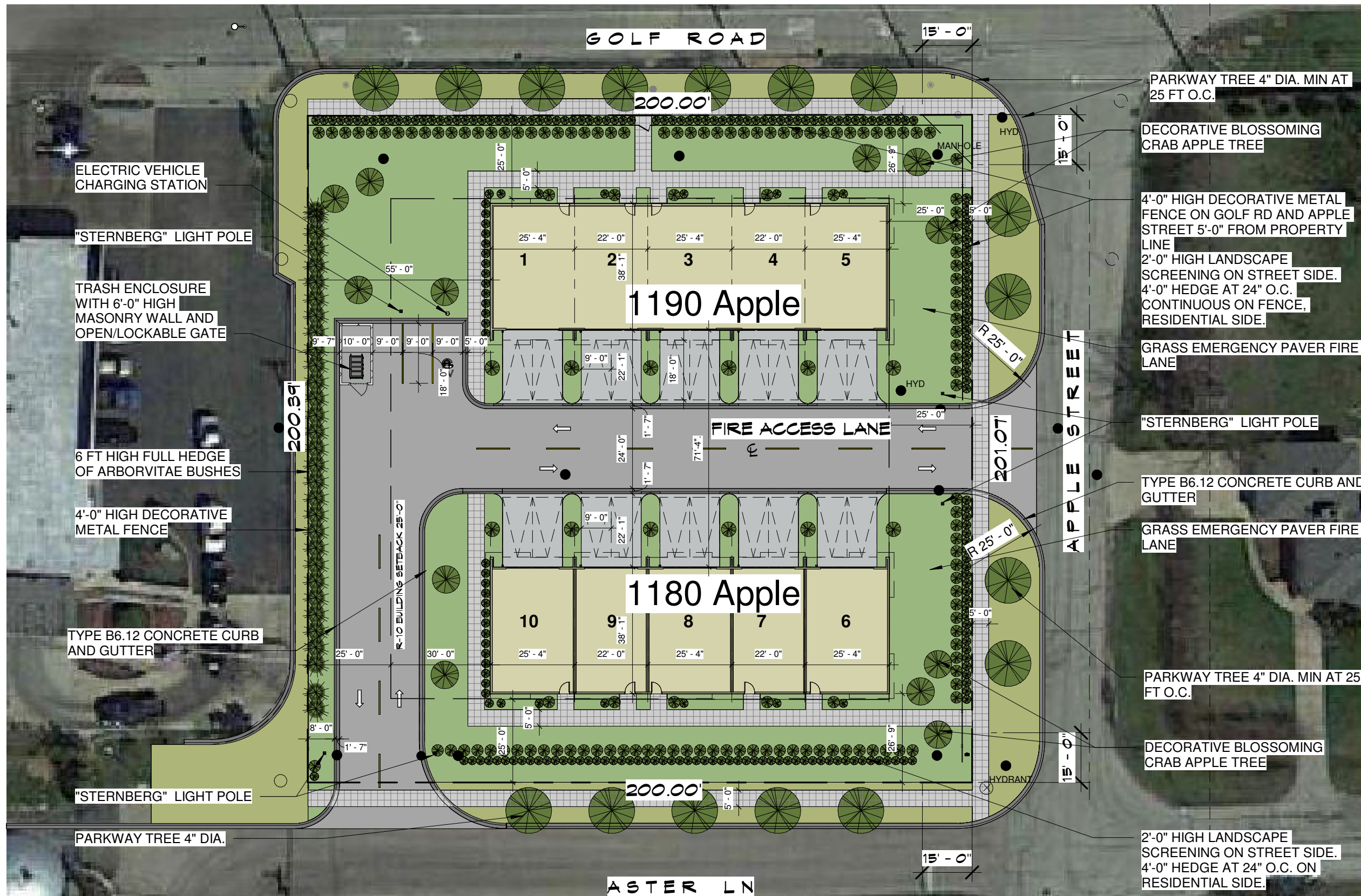
HOFFMAN ESTATES, ILLINOIS



JOB NUMBER: 23048

DATE: 09/24/2024

D3



ELECTRIC VEHICLE CHARGING STATION

"STERNBERG" LIGHT POLE

TRASH ENCLOSURE WITH 6'-0" HIGH MASONRY WALL AND OPEN/LOCKABLE GATE

6 FT HIGH FULL HEDGE OF ARBORVITAE BUSHES

4'-0" HIGH DECORATIVE METAL FENCE

TYPE B6.12 CONCRETE CURB AND GUTTER

"STERNBERG" LIGHT POLE

PARKWAY TREE 4" DIA.

PARKWAY TREE 4" DIA. MIN AT 25 FT O.C.

DECORATIVE BLOSSOMING CRAB APPLE TREE

4'-0" HIGH DECORATIVE METAL FENCE ON GOLF RD AND APPLE STREET 5'-0" FROM PROPERTY LINE
2'-0" HIGH LANDSCAPE SCREENING ON STREET SIDE. 4'-0" HEDGE AT 24" O.C. CONTINUOUS ON FENCE, RESIDENTIAL SIDE.

GRASS EMERGENCY PAVER FIRE LANE

"STERNBERG" LIGHT POLE

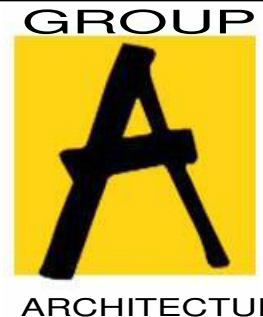
TYPE B6.12 CONCRETE CURB AND GUTTER

GRASS EMERGENCY PAVER FIRE LANE

PARKWAY TREE 4" DIA. MIN AT 25 FT O.C.

DECORATIVE BLOSSOMING CRAB APPLE TREE

2'-0" HIGH LANDSCAPE SCREENING ON STREET SIDE. 4'-0" HEDGE AT 24" O.C. ON RESIDENTIAL SIDE.



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SITE PLAN

1180/1190 APPLE STREET

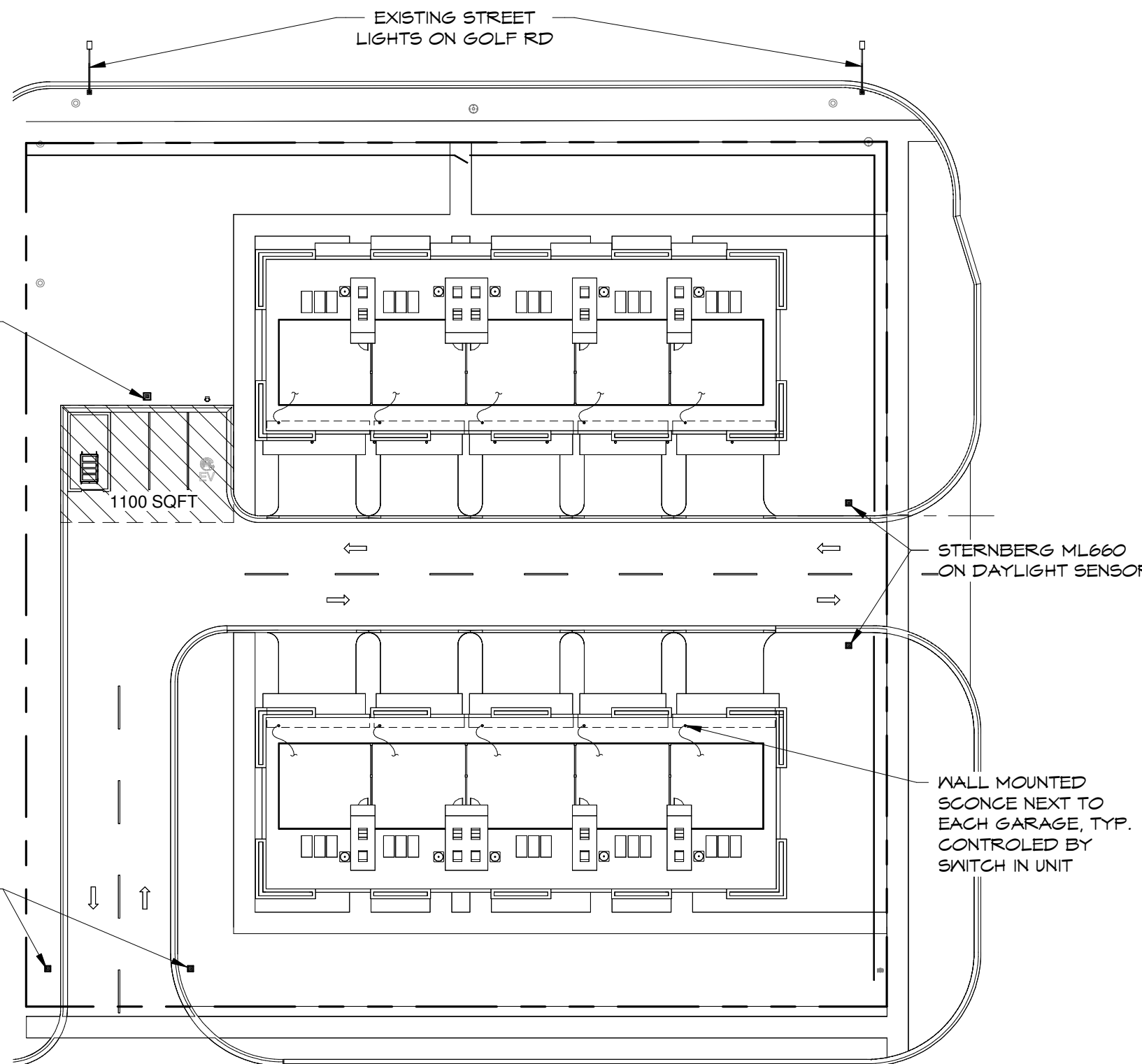
HOFFMAN ESTATES, ILLINOIS



D4


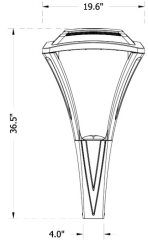
JOB NUMBER: 23048

DATE: 09/24/2024




Specification Sheet **Millenia™**
ML760 Large Post Top

Project Name _____ Qty _____
 Type _____ Catalog / Part Number _____

CCT - Color Temp (K)
 2,700K 3,000K 3,500K 4,000K 5,000K

7 Year Warranty

Certifications


Description
 The Millenia™ ML760 large post top luminaire is a breakthrough in modern area lighting technology utilizing a die-cast housing. Its new world urban design transcends traditional lighting convention by seamlessly interweaving form and function to yet another level. Available with a myriad of options, the Millenia™ is perfect for commercial, institutional and municipal markets.

EPA: 1.4 (#*) | WEIGHT: 50 LBS

Features

Mounting Configuration	1W: Wall Mount	PT: Post Top
1A: 1 Arm Mount	1A: 1 Arm Mount @ 180°	1APT: 1 Arm & Post Top
2A: 2 Arm @ 180°	2APT: 2 Arm @ 180° & Post Top	2A90: 2 Arm Mount @ 90°
3A: 3 Arms @ 120°	3APT: 3 Arm @ 120° & Post Top	3A90: 3 Arms @ 90°
4A: 4 Arms @ 90°	4APT: 4 Arm @ 90° & Post Top	4A90: 4 Arms @ 90°
1AM: 1 Arm Mid-Mount	2AM: 2 Arm Mid-Mount @ 180°	

Optional Control Receptacle R7: 7-Pin control receptacle only

Optional Control
 PE: Twist-Lock Photocontrol (120V-277V)
 FE4: Twist-Lock Photocontrol (347V-480V)
 SC: Shorting Cap
 PEC: Electronic Button Photocontrol (120V-277V)
 PEC4: Electronic Button Photocontrol (480V)

Optional Fuse FHD: Double Fuse and Holder

Optional House Side Shield BLOC: Back Light Optical Control

Optional Fixed Dimming Resistor Board FDRB: Fixed Dimming Resistor Board

Physical
 Fixture ML760: Large Millenia Post Top

Sternberg 555 Lawrence Ave, Rosele, IL 60172, US | T 847-588-3400 | contactus@sternberglighting.com
 www.sternberglighting.com www.sternberglighting.com/products/361

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SITE PLAN - LIGHTING

1" = 30'-0"

1
D4.1



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1180/1190 APPLE STREET

HOFFMAN ESTATES, ILLINOIS

SITE PLAN - LIGHTING

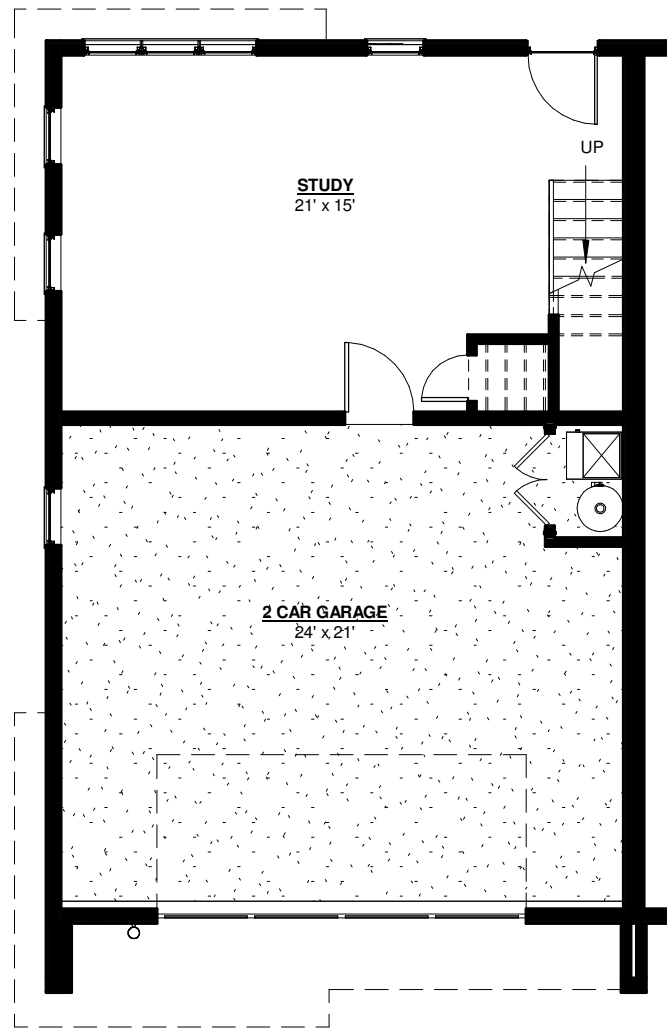


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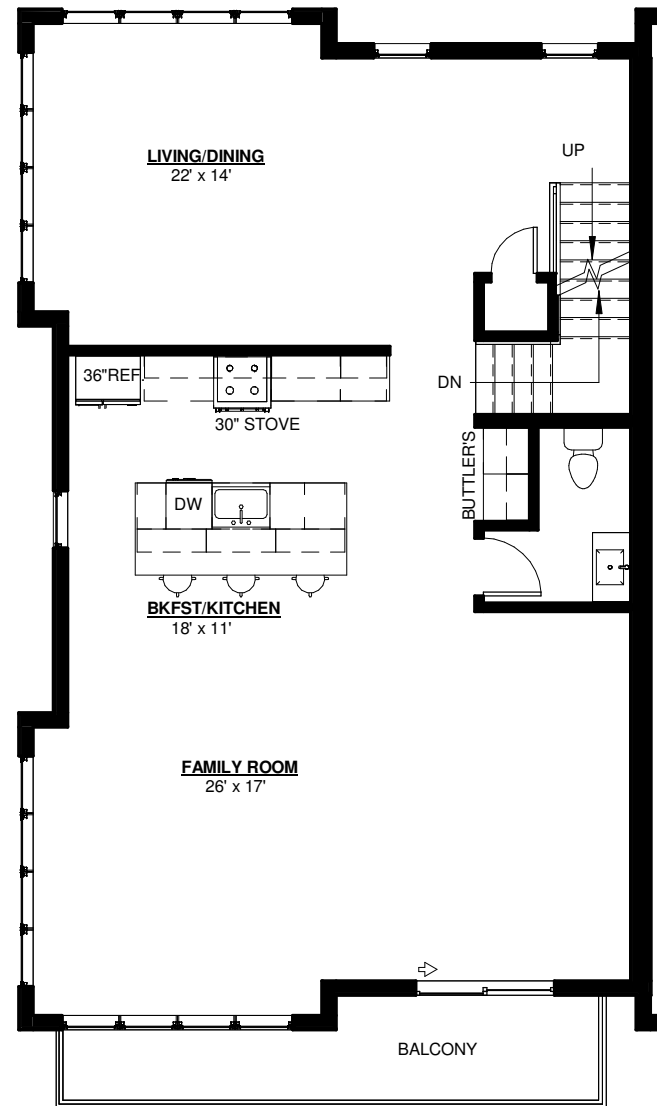
JOB NUMBER: 23048
 DATE: 09/24/2024

UNIT # 1

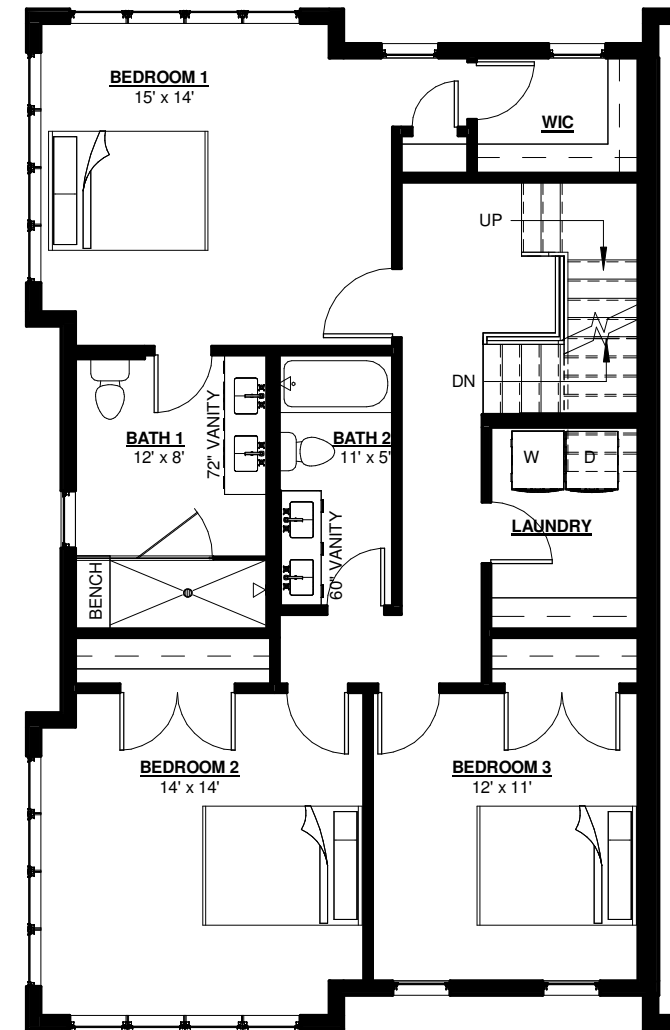
2,647 SF_3 BEDROOMS / 2.1 BATHS



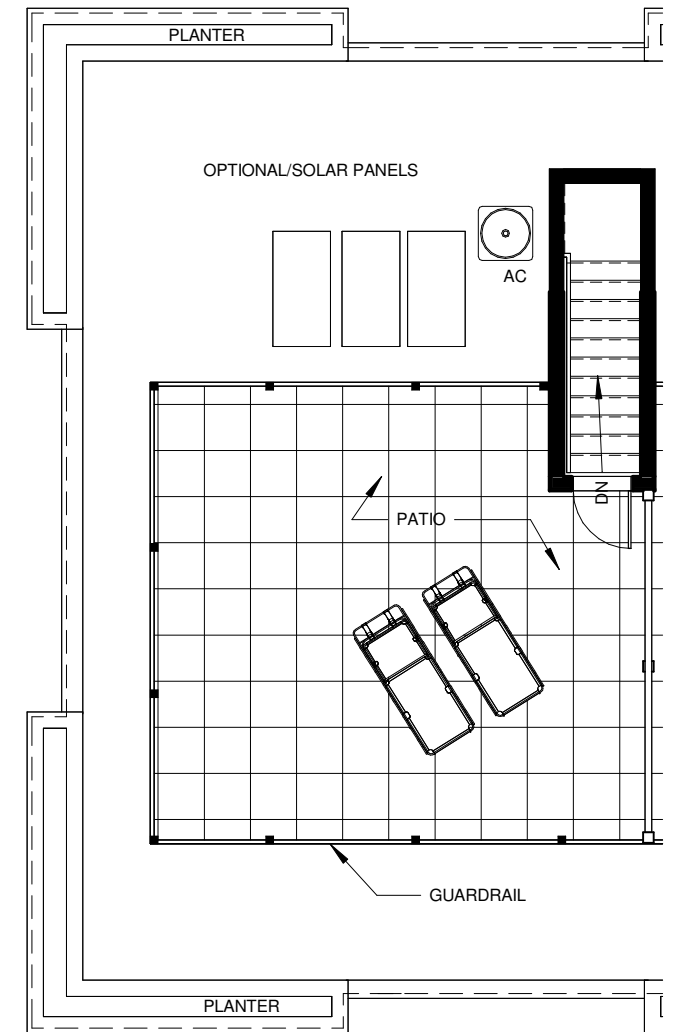
GROUND LEVEL PLAN
GROSS FLOOR AREA 417 SF
8 FT HIGH CEILING



1st FLOOR PLAN
GROSS FLOOR AREA 1,115 SF
8 FT HIGH CEILING



2nd FLOOR PLAN
GROSS FLOOR AREA 1,115 SF
8 FT HIGH CEILING



ROOF TOP PLAN
PATIO AREA 437 SF

GROUP



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UNIT 1

1180/1190 APPLE STREET

HOFFMAN ESTATES, ILLINOIS

JOB NUMBER: 23048

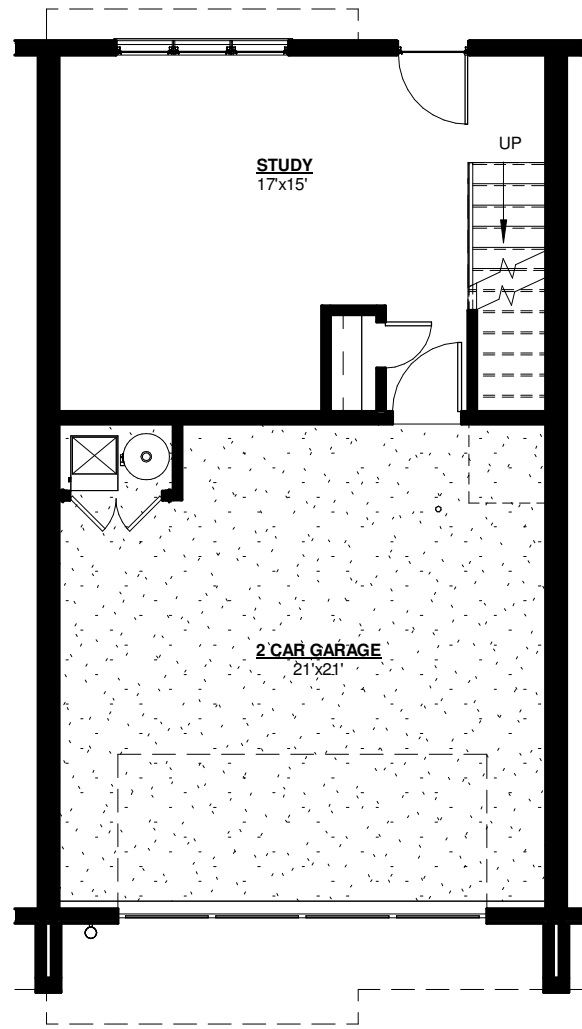
DATE: 09/24/2024

**APPLE
GOLF**

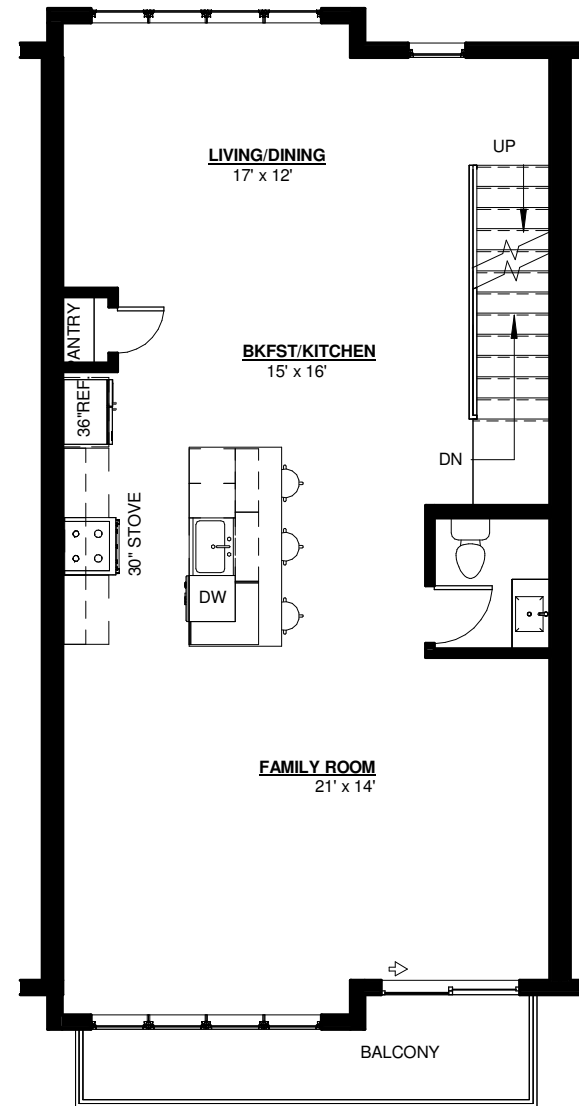
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UNIT # 2

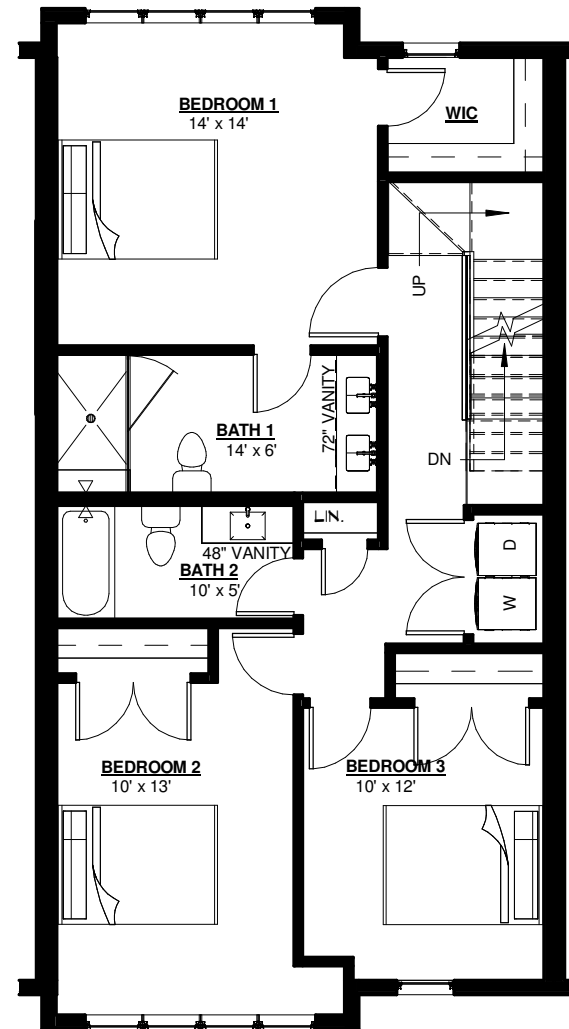
2,246 SF_3 BEDROOMS / 2.1 BATHS



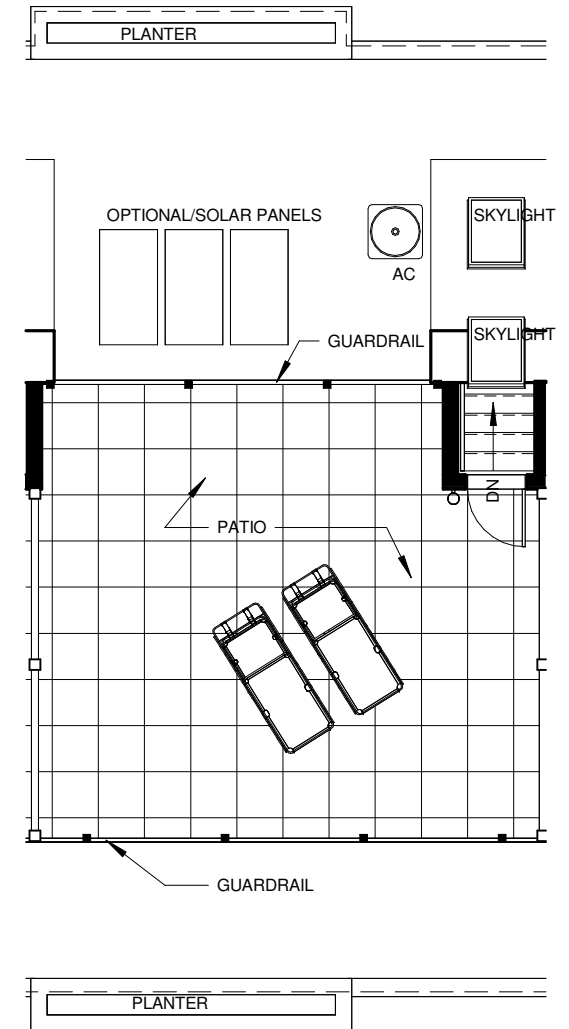
GROUND LEVEL PLAN
GROSS FLOOR AREA 362 SF
8 FT HIGH CEILING



1st FLOOR PLAN
GROSS FLOOR AREA 942 SF
8 FT HIGH CEILING



2nd FLOOR PLAN
GROSS FLOOR AREA 942 SF
8 FT HIGH CEILING



ROOF TOP PLAN
PATIO AREA 439 SF



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1180/1190 APPLE STREET

HOFFMAN ESTATES, ILLINOIS

UNIT 2

**APPLE
GOLF**

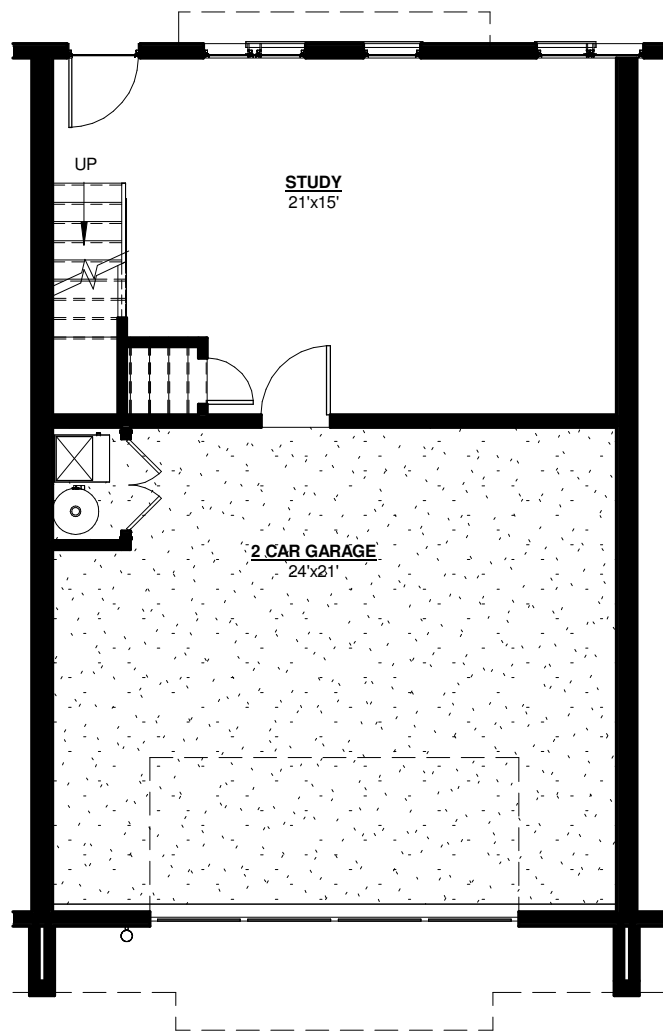
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JOB NUMBER: 23048

DATE: 09/24/2024

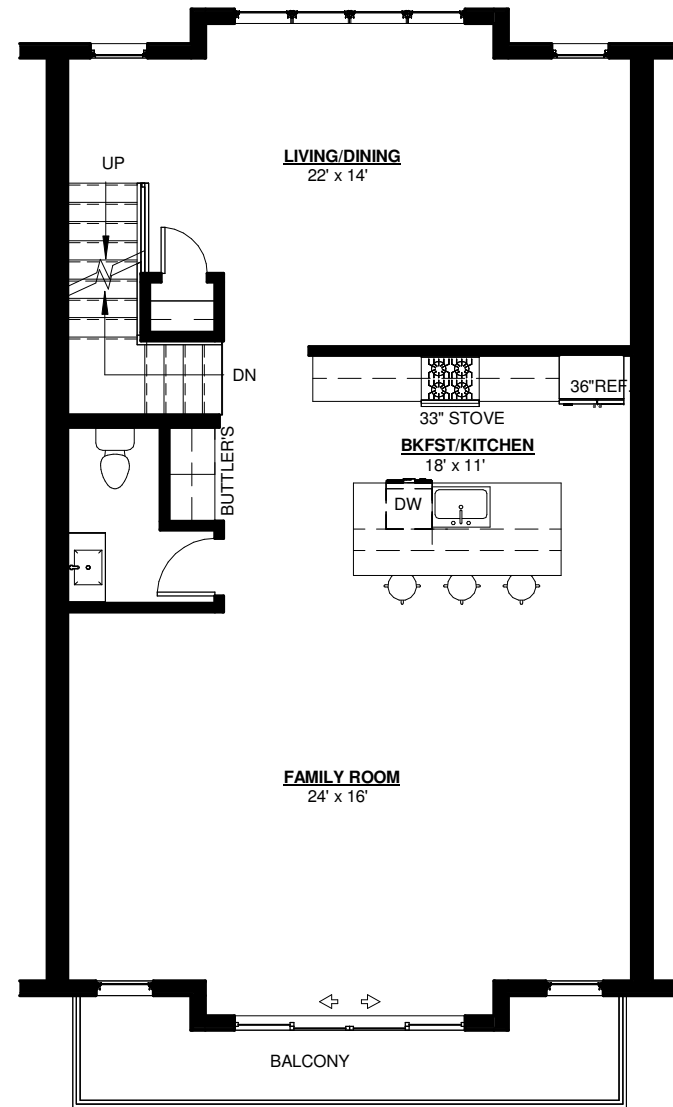
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2,575 SF_3 BEDROOMS / 2.1 BATHS



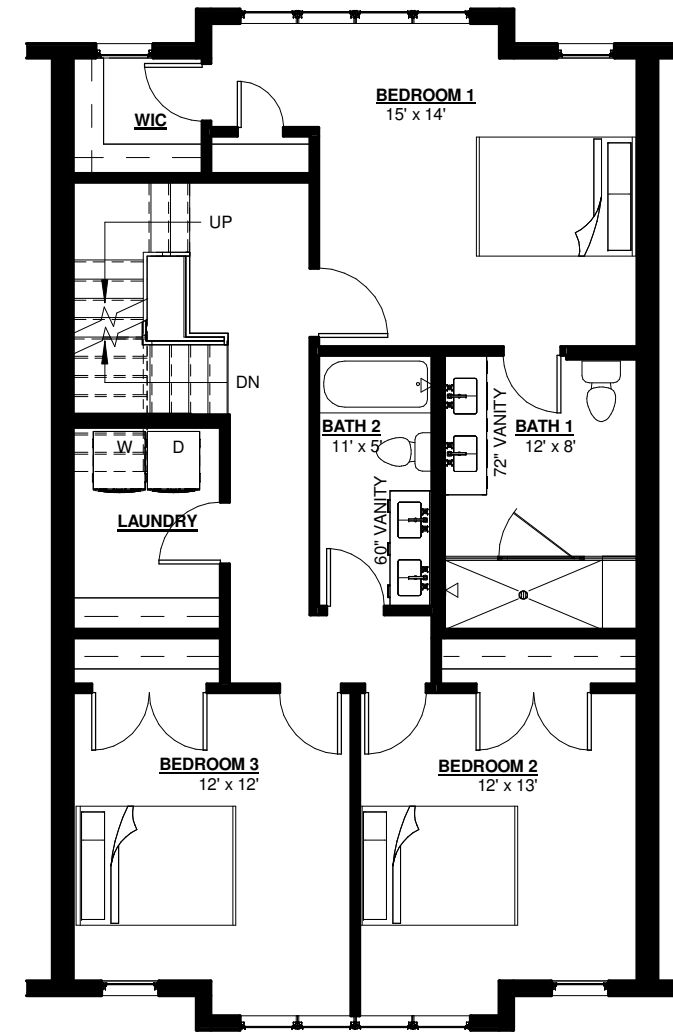
GROUND LEVEL PLAN

GROSS FLOOR AREA 417 SF
8 FT HIGH CEILING



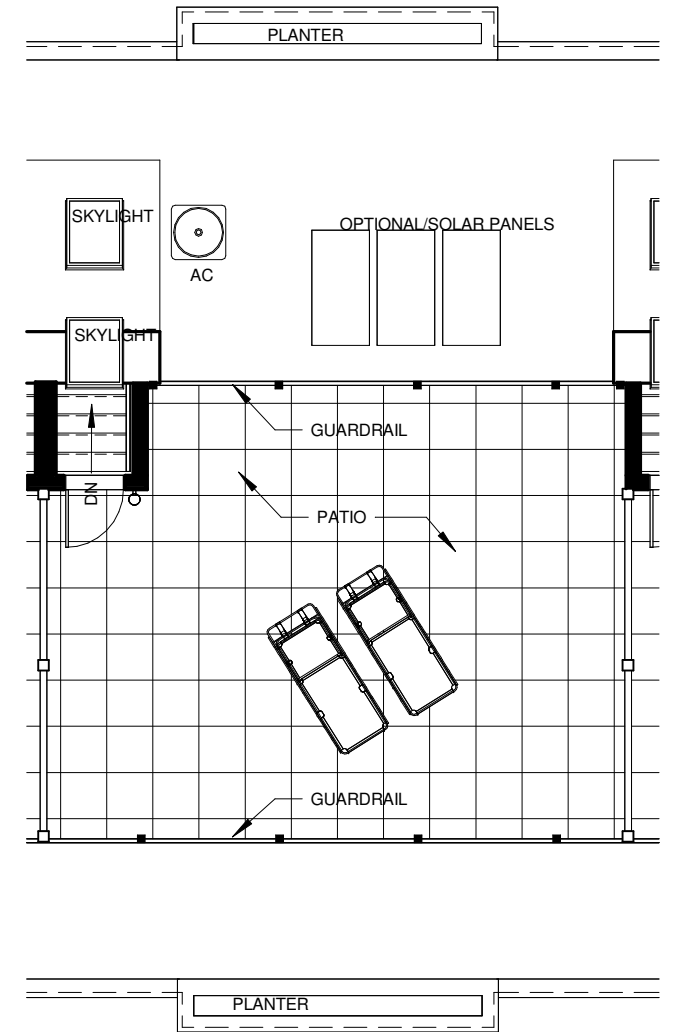
1st FLOOR PLAN

GROSS FLOOR AREA 1,079 SF
8 FT HIGH CEILING



2nd FLOOR PLAN

GROSS FLOOR AREA 1,079 SF
8 FT HIGH CEILING



ROOF TOP PLAN

PATIO AREA 507 SF

GROUP



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UNIT 3

1180/1190 APPLE STREET

HOFFMAN ESTATES, ILLINOIS

JOB NUMBER: 23048

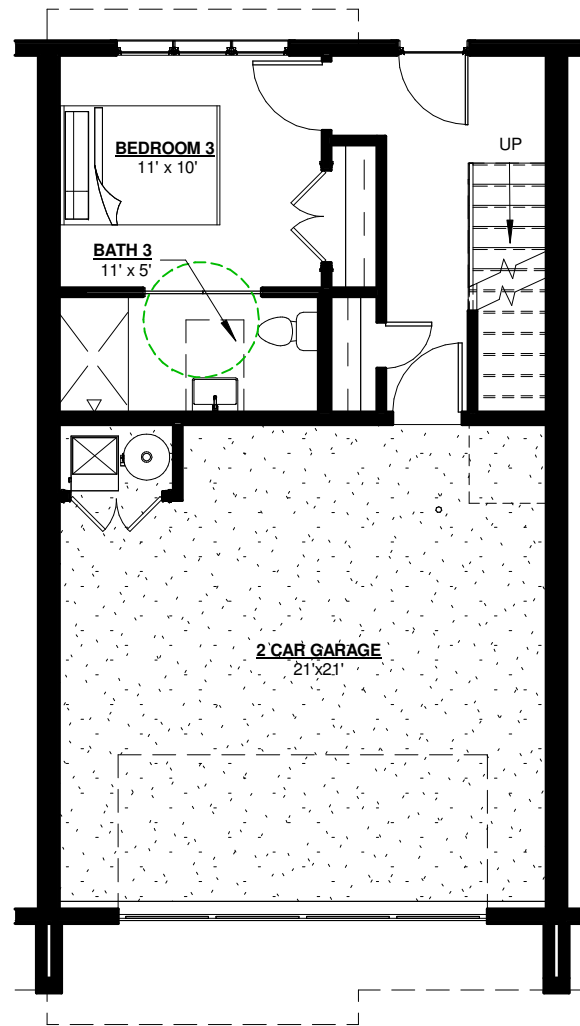
DATE: 09/24/2024

**APPLE
GOLF**

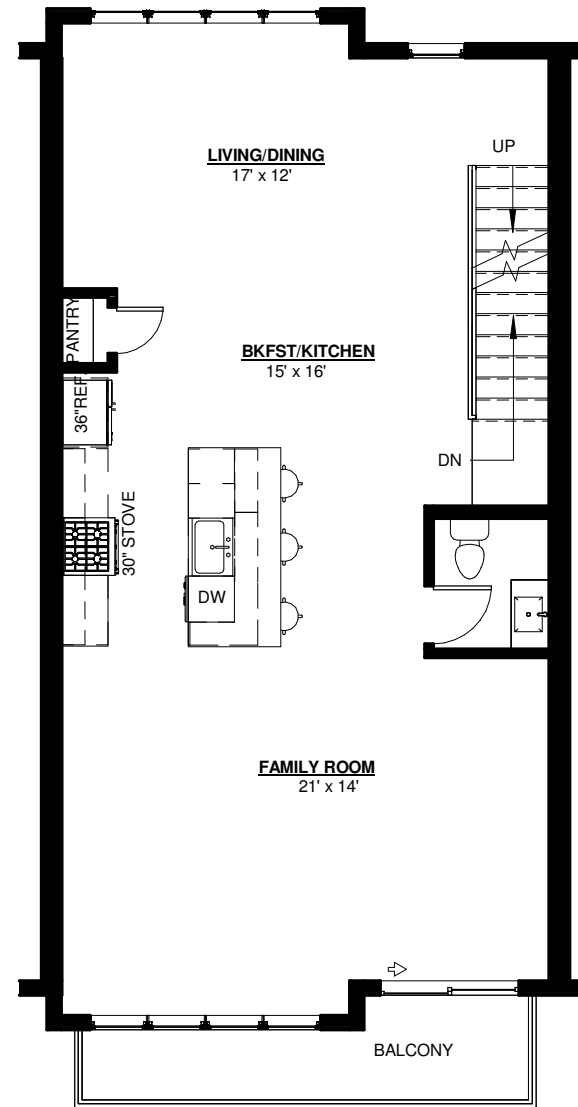
D7

OPTIONAL UNIT # 2

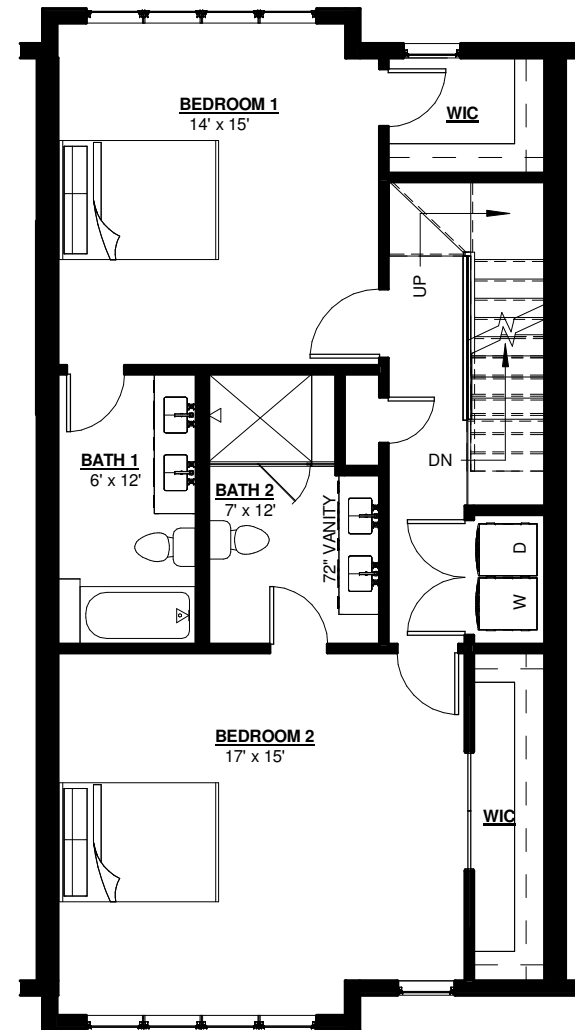
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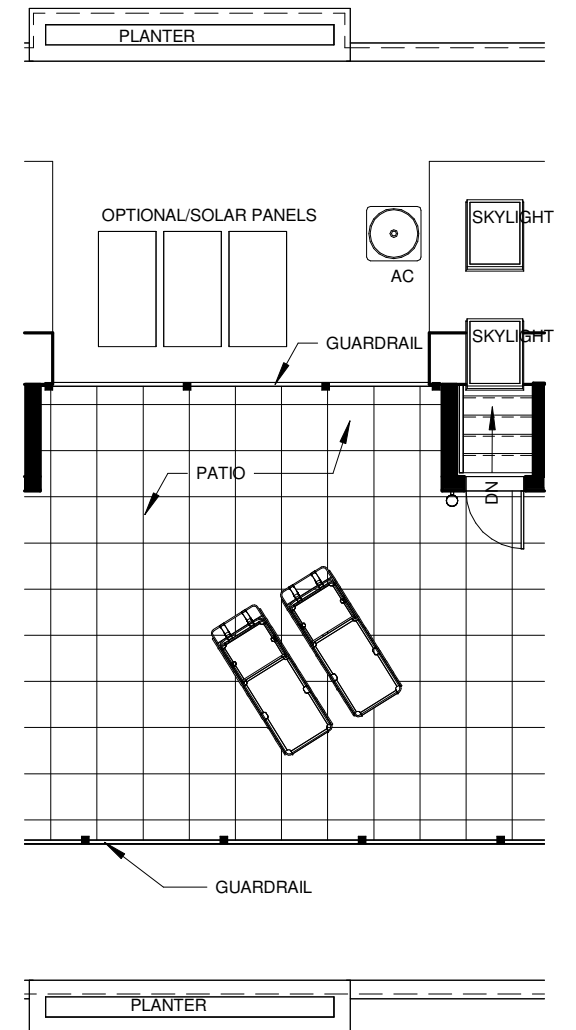
GROUND LEVEL PLAN
GROSS FLOOR AREA 362 SF
8 FT HIGH CEILING



1st FLOOR PLAN
GROSS FLOOR AREA 942 SF
8 FT HIGH CEILING



2nd FLOOR PLAN
GROSS FLOOR AREA 942 SF
8 FT HIGH CEILING



ROOF TOP PLAN
PATIO AREA 439 SF



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Elk Grove Village, IL 60007

Phone: 847.952.1100
Fax: 847.952.1158
Web: www.groupaarch.com

OPTIONAL UNIT 2

1180/1190 APPLE STREET

HOFFMAN ESTATES, ILLINOIS

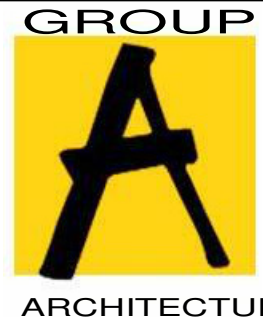
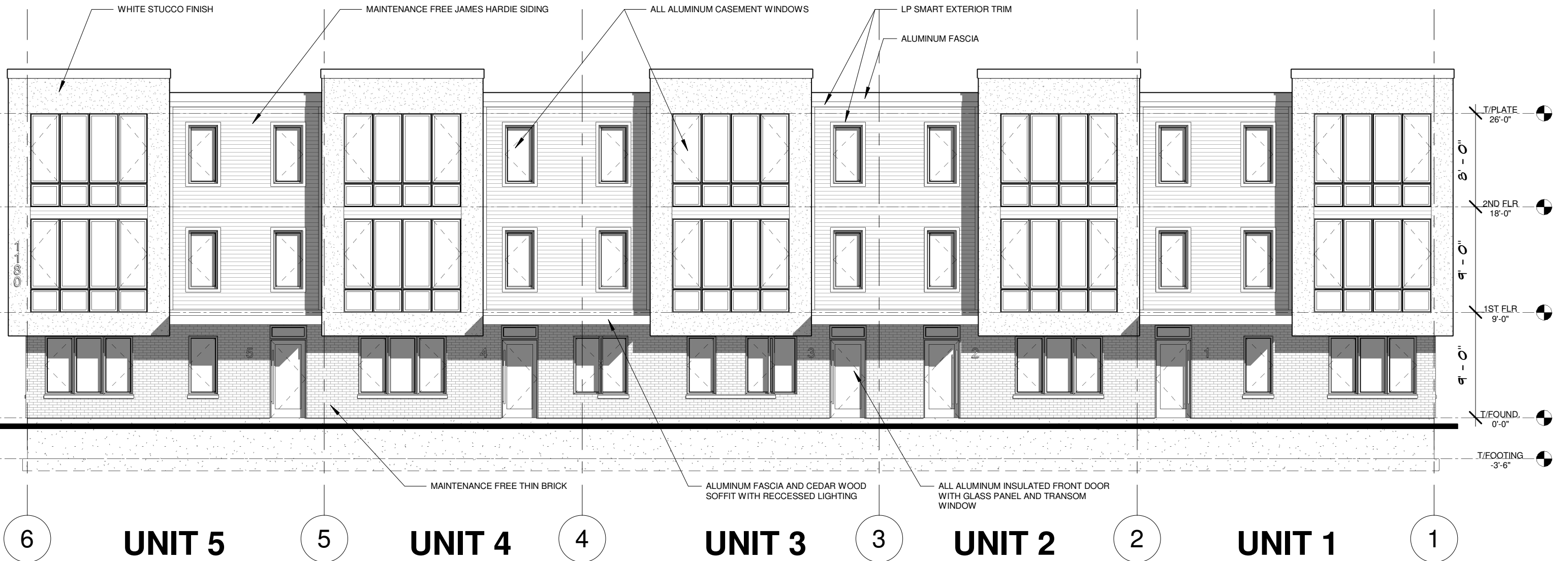
JOB NUMBER: 23048

DATE: 09/24/2024

**APPLE
GOLF**

D8

FRONT ELEVATION



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 Web: www.groupaarch.com

FRONT ELEVATION

1180/1190 APPLE STREET

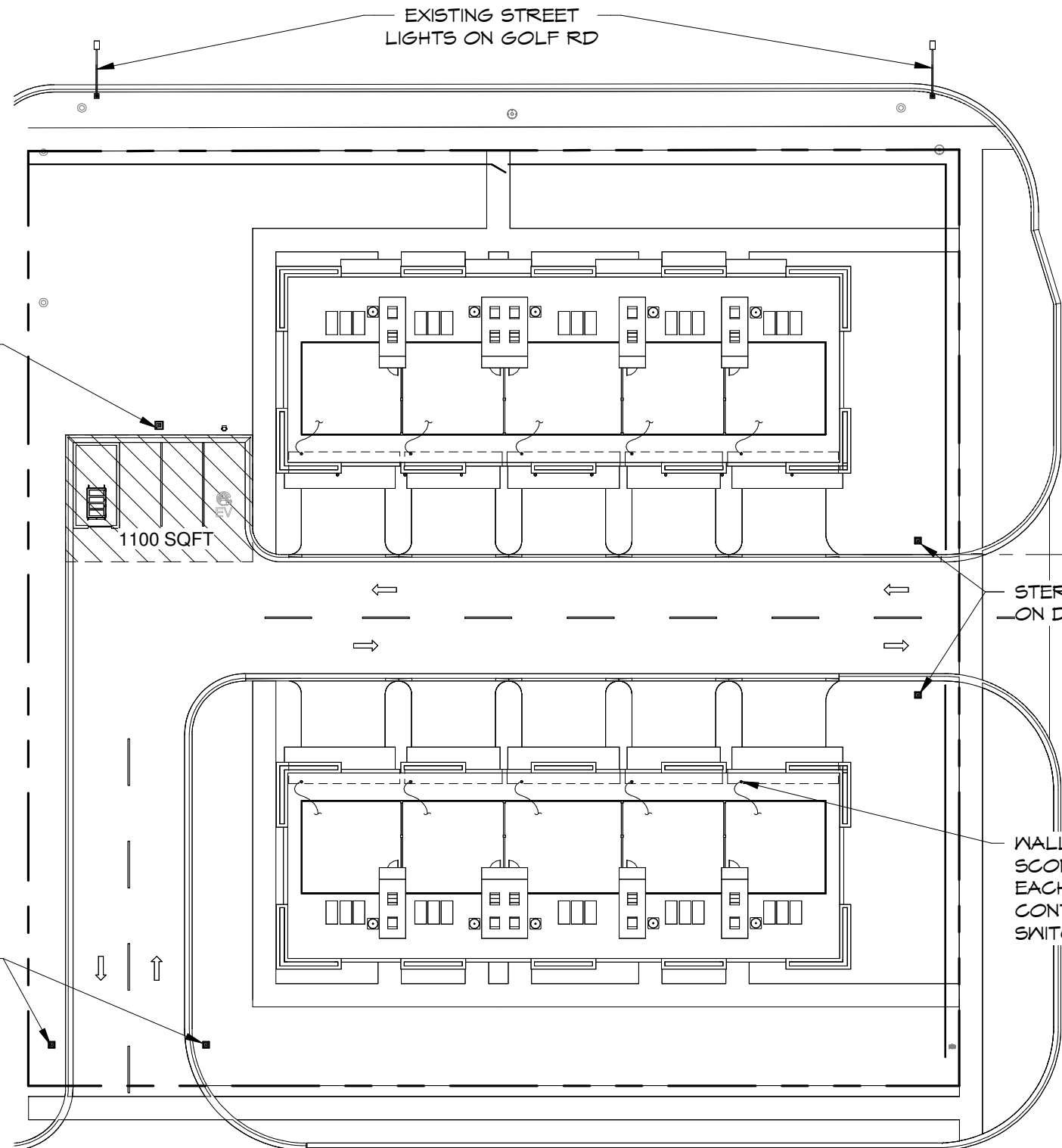
HOFFMAN ESTATES, ILLINOIS



JOB NUMBER: 23048


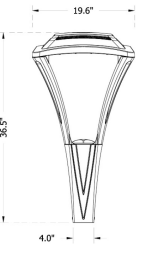
DATE: 09/24/2024

D9




Specification Sheet **Millenia™**
ML760 Large Post Top

Project Name _____ Qty _____
 Type _____ Catalog / Part Number _____

CCT - Color Temp (K)
 2,700K 3,000K 3,500K 4,000K 5,000K

7 Year Warranty

Certifications


Description
 The Millenia™ ML760 large post top luminaire is a breakthrough in modern area lighting technology utilizing a die-cast housing. Its new world urban design transcends traditional lighting convention by seamlessly interweaving form and function to yet another level. Available with a myriad of options, the Millenia™ is perfect for commercial, institutional and municipal markets.

EPA: 1.4 (#*) | WEIGHT: 50 LBS

Features

Mounting Configuration	1W: Wall Mount	PT: Post Top
1A: 1 Arm Mount	1A: 1 Arm Mount @ 180°	1APT: 1 Arm & Post Top
2A: 2 Arm @ 180°	2APT: 2 Arm @ 180° & Post Top	2A90: 2 Arm Mount @ 90°
3A: 3 Arms @ 120°	3APT: 3 Arm @ 120° & Post Top	3A90: 3 Arms @ 90°
4A: 4 Arms @ 90°	4APT: 4 Arm @ 90° & Post Top	4A90: 4 Arms @ 90°
1AM: 1 Arm Mid-Mount @ 180°		2AM: 2 Arm Mid-Mount @ 180°

Optional Control Receptacle R7: 7-Pin control receptacle only

Optional Control
 PE: Twist-Lock Photocontrol (120V-277V)
 FE4: Twist-Lock Photocontrol (347V-480V)
 SC: Shorting Cap
 PEC: Electronic Button Photocontrol (120V-277V)
 PEC4: Electronic Button Photocontrol (480V)

Optional Fuse FHD: Double Fuse and Holder

Optional House Side Shield BLOC: Back Light Optical Control

Optional Fixed Dimming Resistor Board FDRB: Fixed Dimming Resistor Board

Physical
 Fixture ML760: Large Millenia Post Top

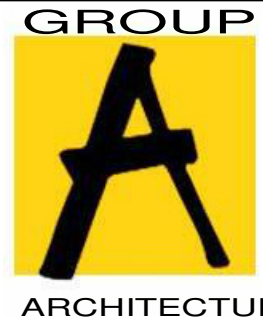
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SITE PLAN - LIGHTING

1" = 30'-0"

1
D4.1



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SITE PLAN - LIGHTING

1180/1190 APPLE STREET

HOFFMAN ESTATES, ILLINOIS

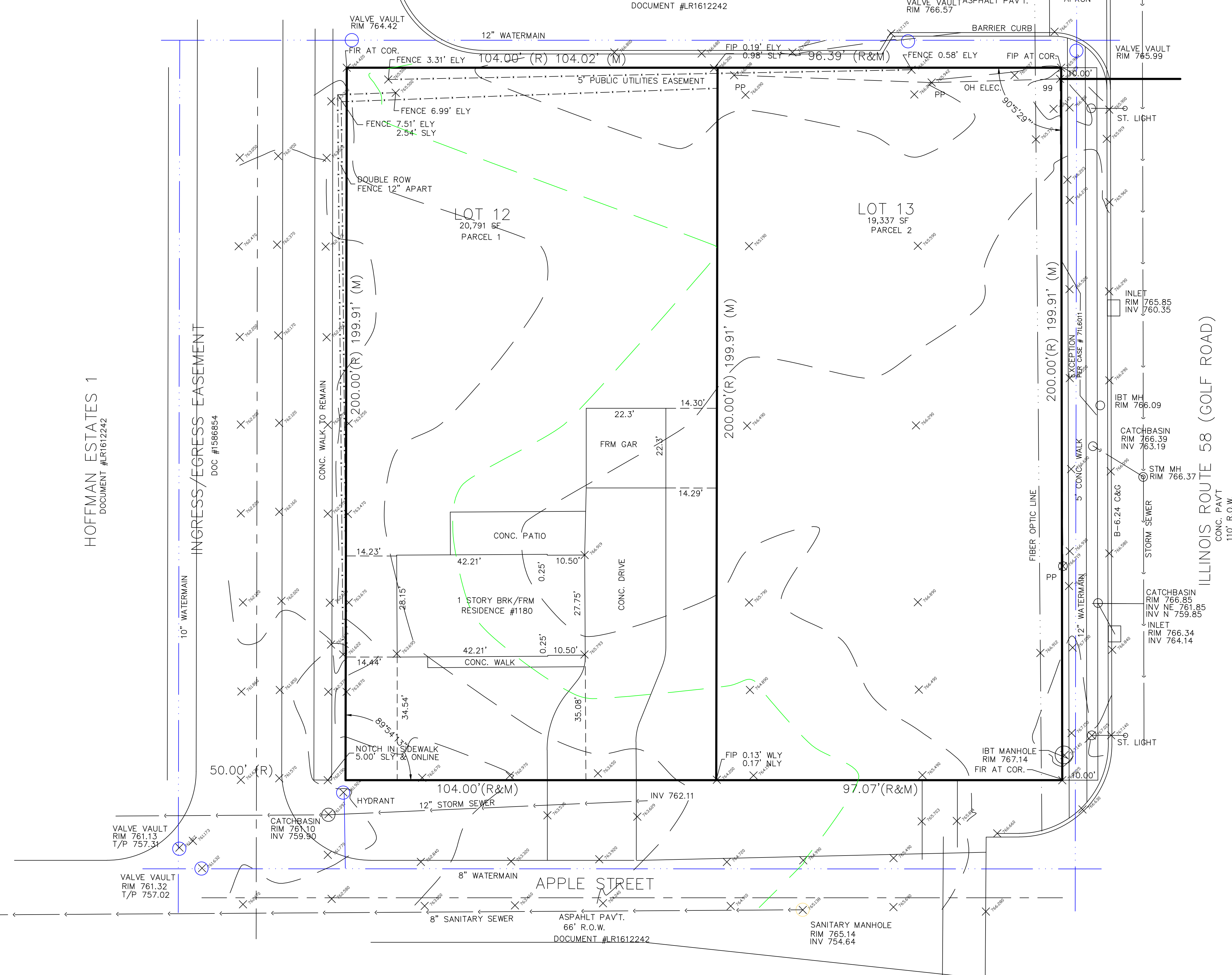


D4.1

JOB NUMBER: 23048

DATE: 09/24/2024

HOFFMAN ESTATES 1
DOCUMENT #LR1612242



HOFFMAN ESTATES 1
DOCUMENT #LR1612242

INGRESS/EGRESS EASEMENT
DOC #1586854

ILLINOIS ROUTE 58 (GOLF ROAD)
CONC. PAVT
110' R.O.W.

APPLE STREET

HOFFMAN ESTATES 1

SPIES & ASSOCIATES, INC.
Civil Engineers - Land Surveyors

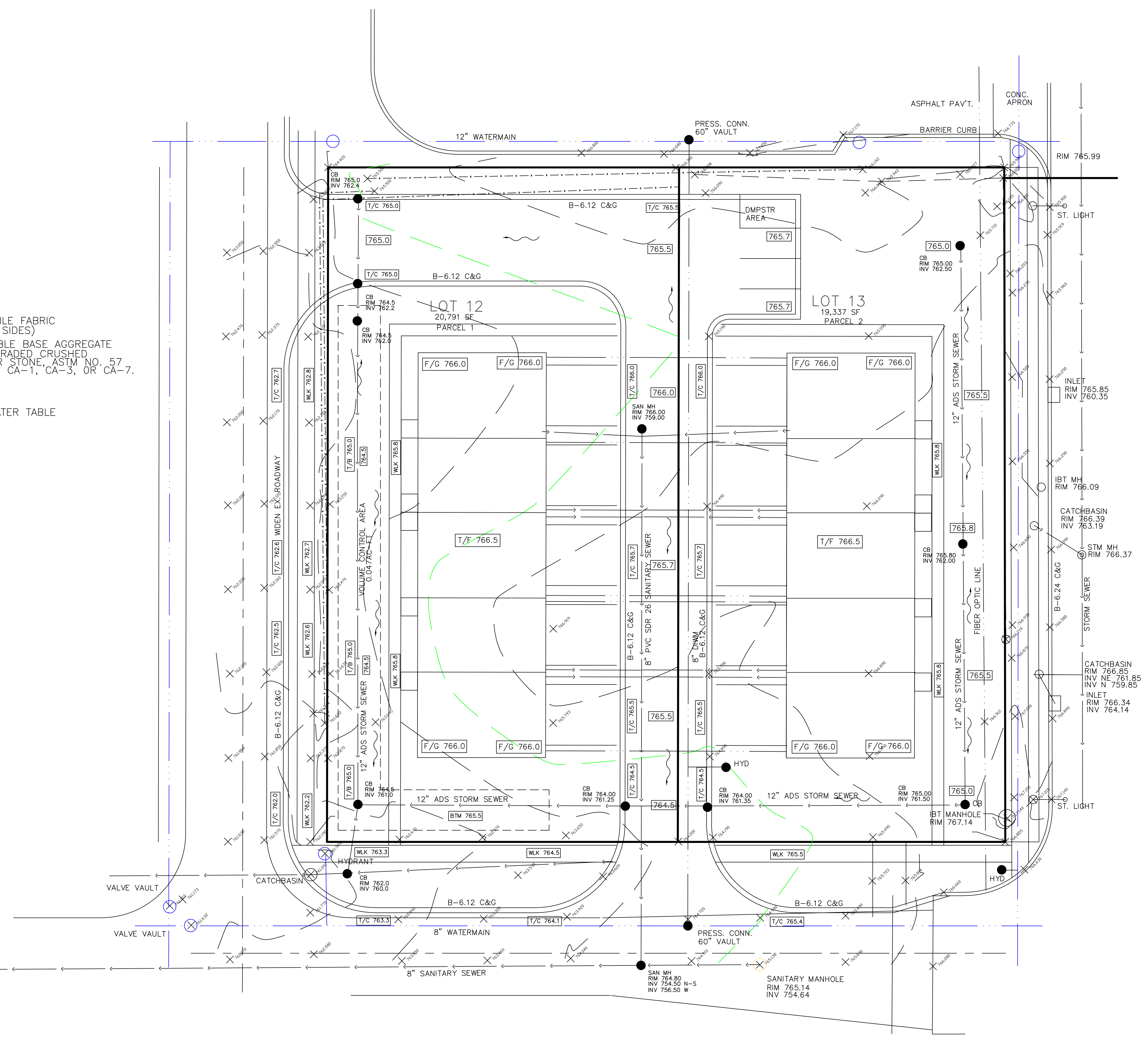
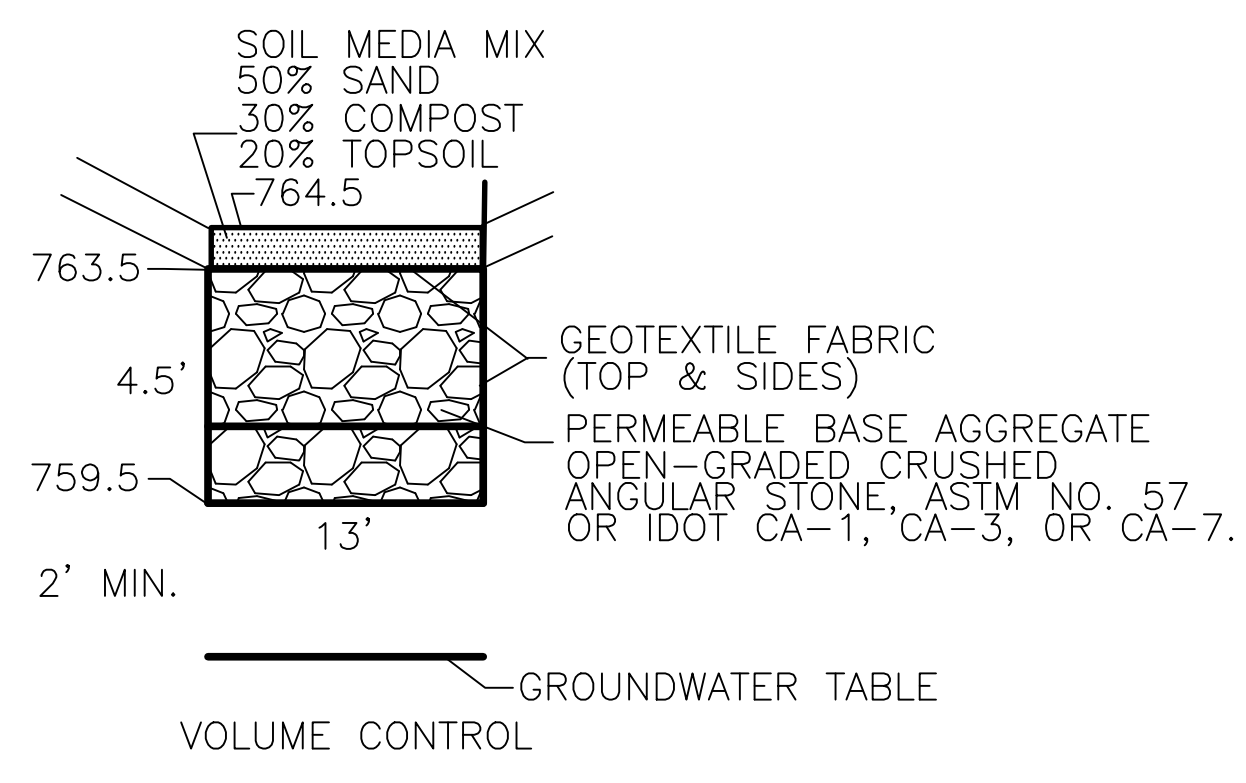
534 WEST CAMPUS DRIVE
ARLINGTON HEIGHTS, ILLINOIS 60004
PH 847.577.8808 FAX 847.577.0229

REVISIONS	
NO.	DESCRIPTION
1	PER VILLAGE 07-31-24

DRAWN BY:	TJS	JOB NO.	5122
DESIGNED BY:	TJS	SCALE:	1"=15'
CHECKED BY:	TJS	DATE:	06-12-24

EXISTING CONDITIONS
1190 APPLE LN.

SHEET NO.
1
OF 2 SHEETS



SPIES & ASSOCIATES, INC.
Civil Engineers - Land Surveyors

534 WEST CAMPUS DRIVE
ARLINGTON HEIGHTS, ILLINOIS 60004
PH 847.577.8808 FAX 847.577.0229

REVISIONS	
PER VILLAGE 07-31-24	

DRAWN BY: TJS
DESIGNED BY: TJS
CHECKED BY: TJS

JOB NO. 5122
SCALE: 1"=15'
DATE: 06-12-24

PRELIMINARY ENGINEERING
1190 APPLE LN.

SHEET NO.
2
OF 2 SHEETS

**Preliminary
Stormwater Management Report**

For

**1180/1190 Apple St.
Hoffman Estates, Il.**

Spies and Associates, Inc.

August, 2024

Project 5122

Background

The subject property is located along the West side of Apple St. and the South side of Golf Rd. in Hoffman Estates, Illinois. The site is 0.92 acres in size and generally drains from the northwest corner of the property to a catchbasin located at the southeast corner of the property. The property contains a single family residence. The site is comprised of 2 lots. The southern lot contains the residence and the northern lot is vacant.

Design Concept

The developer intends to construct two 5 unit multifamily buildings on the site. Because the site is less than 3 acres, MWRD does not require stormwater detention, also, because the site is greater than 0.5 acres Runoff Control and Volume Control are required according to the MWRD WMO. All of the following calculations will be based on Bulletin 75 data.

Existing Runoff Calculations

Site drainage area $A=0.92$ acs.

$L=195'$ $S=(766.1-761.1)/195=1.7\%$

Using Bull. 75 $T_c=5.59$ min therefore $I_{100}=12.17$ in/hr

Impervious area $=0.10$ acs Pervious area $=0.82$ acs

$R_c=((0.82*0.45)+(0.10*0.95))/0.92=0.49$

$Q=CIA=0.49*12.17*0.92=5.48$ cfs

Proposed Runoff Calculations

Site drainage area $A=0.92$ acs.

$L=195'$ $S=(766.1-761.1)/195=1.7\%$

Using Bull. 75 $T_c=5.59$ min therefore $I_{100}=12.17$ in/hr

Impervious area $=0.53$ acs Pervious area $=0.39$ acs

$R_c=((0.39*0.45)+(0.53*0.95))/0.92=0.74$

$Q=CIA=0.74*12.17*0.92=8.28$ cfs

Volume Control

The total proposed impervious coverage is 0.53 acs for this site.

$V_c=A/12=0.53/12=0.044$ ac-ft $=1,923$ cf of storage.

The Volume Control will be provided in stone within the bio-trench as shown on the plan. The surface area of the stone is 2,555 sf and is 4.5' deep.

$V_{vc}=2,550*4.5*0.36*0.5=2,066$ cf ok

AmCap Incorporated

333 Ludlow St., 8th Floor, South Tower
Stamford, CT 06902
203-327.2001

October 30, 2024

Village of Hoffman Estates
Planning Department
1900 Hassell Rd.
Hoffman Estates, IL 60169

Re: Land / Road Improvements to North Portions of Aster Lane in Hoffman Estates, IL

Dear Sir or Madam:

We, at AmCap Incorporated, are the owners of the Hoffman Plaza Shopping Center in Hoffman Estates, Illinois. We own the service access road, Aster Lane, to the service center. We are aware that there are proposed improvements planned for the north and northwest corner of Aster Lane and Apple Street. These improvements include a new sidewalk, new curb and gutter on the northern portion of Aster Lane, new parkway trees, new concrete entry apron, new street lights, and new curb and road intersection improvements at the northwest intersection of Aster Lane and Apple Street.

All improvements are indicated on Spies & Associates Sheet 2 and Group A Architecture, Inc. Drawing D4, as enclosed.

Sincerely,



Matthew T. Allen
Managing Director – Asset Management

MTA:dlg

Enclosures



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING REZONING / MAP AMENDMENT STANDARDS

STANDARDS OF A REZONING / MAP AMENDMENT

Zoning Code Section 9-1-17-E-2 requires that the Planning and Zoning Commission shall make findings based upon the evidence presented to it in each specific case with respect to the following. Petitioner shall provide a response to each in the area below.

1. The existing uses of the property within the general area of the property in question.

To the north of the property is Golf Rd, and has strip mall commercial buildings. To the East of the property is single family residential housing, as well as to the South. To the West of the property are commercial buildings, with a car wash being the directly adjacent property. The site is surrounded by streets on all sides beside the West, the car was is the only lot that is not separated by a road

2. The zoning classification of property within the general area of the property in question.

To the North is a separate municipality, but is zoned for commercial, to the east and south it is zoned R-2, and to the east is zoned B-

3. The suitability of the property in question for the uses permitted under the existing zoning classification.

This site is located right next to a car wash, and is on the road that grants access to the rear of the adjacent commercial shopping center, the proximity of Golf Rd. the heavy truck traffic to the loading docks of the shopping center, and with its sole neighbor being a car wash, means this piece of land is not well suited for detached single family homes. The proposal to R-10 will allow for higher density of residential housing and act as a buffer between the rest of the neighborhood, and the Commercial properties / Golf Rd.

4. That the trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was placed in its present zoning classification.

Golf Rd has expanded in size as well as the commercial properties near the site have become more and more developed

Variation from ~~9-5-10-D-1 (Development Area)~~

STANDARDS OF VARIATION

9-5-10-D10 (Density)

Zoning Code Section 9-1-15-C-2 of the Municipal Code requires that the Planning and Zoning Commission shall, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence presented. All standards must be answered in full. A separate piece of paper may be used if more room is required.

1. The particular physical surroundings and shape of topographical conditions of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out. Please provide an explanation.

The existing property zoning is for two (2) single-family residential developments. The physical surroundings of the extraordinary commercial traffic on Golf Rd. wills the project redevelopment to increase the project density to balance the commercial intensity to the west and north with the low, single-family density to the south.

2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification. Please provide an explanation.

This development parcel is unique in that the density use of the commercial to the north and west is in straight contrast to the low single-family density to the south.

3. The purpose of the Variation is not based exclusively upon a desire to increase the value of the property. Please provide an explanation.

The purpose of the variation is to create a development that serves as a development density mean and butter between the extreme existing densities to the north and south of the properties and is not solely based on a desire to increase the value of properties.

4. The alleged difficulty or hardship has not been created by any person presently having an interest in the property; Please provide an explanation.

Not any single person has created the existing difficulty and hardship but through the evolution of the increased use and development of the increase of commercial traffic and use to the north and west over decades of use.

5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. Please provide an explanation.

The granting of the variation will have a positive effect and not a negative effect on the public welfare. The development will balance out the existing intense and low existing density of the neighborhood and not be injurious to other property owners in which it is located.

6. The proposed variation will not impair an adequate supply of light and air to adjacent properties, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood. Please provide an explanation.

The proposed variation will not impair but will provide an adequate supply of light and air to adjacent properties. There will be limited additional traffic or congestion created in the public streets. There will be no increase in fire danger or any endangerment to public safety. Single-family residences to the south will see an increase in the property values and existing property values will not be negatively impacted.

STANDARDS OF VARIATION

Zoning Code Section 9-1-15-C-2 of the Municipal Code requires that the Planning and Zoning Commission shall, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence presented. All standards must be answered in full. A separate piece of paper may be used if more room is required.

1. The particular physical surroundings and shape of topographical conditions of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out. Please provide an explanation.

The extraordinary traffic of Golf Rd. has a major effect on the use and viability of the function of the 2-lot development. The development property has been vacant for over ten (10) years and a higher-density development approval use will result in the elimination of this particular hardship.

2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification. Please provide an explanation.

The existing site is unique because it is the northeast corner of Apple St. and Golf Rd. The site is an intersection of single-family residential homes to the south and commercial high intensity to the north. The condition for variation is unique to this site and is not applicable to other sites.

3. The purpose of the Variation is not based exclusively upon a desire to increase the value of the property. Please provide an explanation.

The purpose of variation is to allow the parcels to provide the highest and best uses for the parcels. Development of the project will create a separation of development between the commercial high intensity use with Golf Rd. to the north and the single-family development to the south on Apple St.

4. The alleged difficulty or hardship has not been created by any person presently having an interest in the property; Please provide an explanation.

The hardship has evolved throughout the past decades. The development parcels in the 1950s and 1960s was viable as two (2) single-family residential lots but the viability and difficulty in redeveloping the development area was not created by any person having an interest in the properties.

5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. Please provide an explanation.

The grading of the variance will not have an adverse effect on the neighborhood, but the development will become a buffer and positive separation to the existing development areas.

6. The proposed variation will not impair an adequate supply of light and air to adjacent properties, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood. Please provide an explanation.

The proposed development will not impair but will provide an adequate supply of light and air to the adjacent properties. The development will not increase street congestion or increase the danger of fire. The development will not diminish or impair property values in the neighborhood.



HOFFMAN ESTATES

GROWING TO GREATNESS

12/6/2024

To All Interested Parties:

Please be advised that the Planning & Zoning Commission of the Village of Hoffman Estates will conduct a review on 12/18/2024 at 6:30 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL to consider a request for 1) map amendment (rezoning) of the properties from R-2 One-Family Residential District to R-10 Attached Single-Family Dwelling Residential District; 2) Variation from Section 9-5-10-D-1 (Minimum Development Area) to reduce the minimum development area to 0.98 Acres instead of the required 10 acres; and 3) Variation from Section 9-5-10-D-10 (Density) to increase the gross density to 10.9 units per acre instead of the maximum density of 6 units per acre. The subject properties are located at 1180 – 1190 Apple Street, PINS: 07-15-200-004-0000 & 07-15-200-005-0000.

The Petitioner of this request is Sam Akmakjian.

A map designating the subject site is included on the back of this letter. The Application and Plans are available for your review at the Village Hall, Monday through Friday, from 8:30 am to 5:00 pm. Should you wish to review the plans or would like additional information prior to the hearing date, please contact me at 847-781-2633 or by email at daisy.dose@vohe.org.

Should it become necessary to continue this hearing to a future date, it will be announced at the conclusion of testimony at the meeting. No further notification of this review will be sent.

Sincerely,

Daisy Dose-Adamzadeh

Daisy Dose-Adamzadeh, AICP
Assistant Planner
Department of Development Services

*Daisy and Planning & Zoning
Commission:*

I'm unable to make this meeting, but I'd like my voice counted against rezoning of these two lots. I'd like to see someone purchase and build two homes, one on each property

1900 Hassell Road, Hoffman Estates, Illinois 60169 • Development Services Department Phone: 847-781-2631

Web: www.hoffmanestates.org

*and remain a Parcel A subdivision. INTRACT.
It can be done just as*


OBJECTOR'S EXHIBIT

EXHIBIT A

1180 - 1190 APPLE ST
07-15-200-004-0000 & 07-15-200-005-0000



Legend

-  Subject Property
-  Parcel
-  Village Boundary



Department of Development Services
Village of Hoffman Estates