



AGENDA
Plan Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

July 2, 2025	Council Chambers	6:30 PM
1. CALL TO ORDER/ROLL CALL		
2. APPROVAL OF MINUTES		
A. Planning & Zoning Commission 06-04-2025		
3. CHAIRPERSON'S REPORT		
4. OLD BUSINESS		
A. Public Hearings		
1. Variation from Section 9-3-6-D of the Municipal Code to permit an accessory structure to be setback 1 foot from the side lot line instead of the minimum required 3 feet for the property at 510 Glendale Lane		
5. STAFF DISCUSSION		
6. PUBLIC COMMENT		
7. ADJOURNMENT		

The next regular Plan Commission meeting is scheduled for **Wednesday, July 16, 2025 at 6:30 p.m.**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



MINUTES
Planning & Zoning Commission
Regular Meeting
Village Hall
1900 Hassell Road, Hoffman Estates, IL 60169

June 4, 2025

Council Chambers

6:30 PM

1. CALL TO ORDER/ROLL CALL

Chairperson Combs called the meeting to order at 06:30 PM.

Commissioners Present: Eva Combs, Adam Bauske, Lon Harner, Lenard Henderson, Daniel Lee, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Commissioners Absent: Excused: Minerva Milford

A quorum was present.

Administrative Personnel Present: James Donahue, Senior Planner; Kevin Anderson, Planner II; Daisy Dose-Adamzadeh, Planner II

2. APPROVAL OF MINUTES

A. Planning & Zoning Commission 05-07-2025

Motion by Commissioner Harner, seconded by Commissioner Chhatwani, to approve the May 07, 2025, regular meeting minutes. Voice vote taken. Ayes - 6 | Nays - 0 | (Abstain: Daniel Lee, John Wise, Denise Wilson). Motion Passed.

3. CHAIRPERSON'S REPORT

Chairperson Combs stated the corner side yard setback for a storage shed located at 760 Orange Lane, which was denied by the Commission, was also denied by the Village Board.

4. NEW BUSINESS

A. Public Hearings

1. Special Use to DCCW Hoffman Estates LLC for a car wash and Master Sign Plan Amendment for the property at 105 E. Golf Road

Motion by Commissioner Harner, seconded by Commissioner Henderson, to open the Public Hearing. Voice vote taken. Ayes - 9 | Nays - 0 | (Abstain: None). Motion Passed.

Chairperson Combs swore in the petitioners.

Craig Krandel (Zukowski, Rogers, Flood & McArdle - 50 N Virginia St, Crystal Lake, IL)
Mitch Zaveduk (Dream Clean Carwash - 2844 Floral Dr, Northbrook)

Mr. Krandel presented an overview of the project.

Kevin Anderson presented an overview of the staff report. Mr. Anderson stated that the petitioners noted that there were two inaccurate pages within the agenda packet for this item, which would be corrected before being presented to the Village Board.

Commissioner Lee asked what the distance was from the road to the main sign location. Mr. Anderson stated the sign is located on the east side of the drive aisle and is set back approximately ten (10) feet from the north lot line.

Commissioner Wise had no questions.

Commissioner Wilson had no questions.

Commissioner Henderson asked if they were anticipating to be more busy with the new sign. Mr. Krandel stated he cannot comment on how much more activity a new sign would bring. Commissioner Henderson suggested traffic mitigation measures be taken when they are busy. Mr. Krandel stated this comment would be passed along to management to review strategies.

Commissioner Trieb had no questions.

Commissioner Harner had no questions.

Commissioner Chhatwani had no questions.

Vice Chairperson Bauske asked the petitioner if he agreed with the conditions of approval in the staff report. Mr. Krandel stated yes.

Chairperson Combs asked staff if the Village restricts other advertising on the business' signage. Mr. Anderson stated yes, off-site signage is restricted within the Code.

Chairperson Combs asked if there were any members of the audience that would like to comment on the request. There were no public comments.

Motion by Commissioner Harner, seconded by Commissioner Henderson, to close the Public Hearing. Voice vote taken. Ayes - 9 | Nays - 0 | (Abstain: None). Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to adopt the

Findings of Fact for a Special Use as outlined in the June 04, 2025, Staff Report.

Roll call vote:

Aye: Eva Combs, Adam Bauske, Lon Harner, Lenard Henderson, Daniel Lee, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Nay: None

Absent: Minerva Milford

Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Chhatwani, to adopt the Findings of Fact for a Master Sign Plan Amendment as outlined in the June 04, 2025, Staff Report.

Roll call vote:

Aye: Eva Combs, Adam Bauske, Lon Harner, Lenard Henderson, Daniel Lee, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Nay: None

Absent: Minerva Milford

Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to recommend to the Village Board approval of a Special Use to DCCW Hoffman Estates LLC for a car wash, subject to the conditions as of the June 04, 2025, Staff Report.

Roll call vote:

Aye: Eva Combs, Adam Bauske, Lon Harner, Lenard Henderson, Daniel Lee, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Nay: None

Absent: Minerva Milford

Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to recommend to the Village Board approval of a Master Sign Plan Amendment, subject to the conditions as of the June 04, 2025, Staff Report.

Roll call vote:

Aye: Eva Combs, Adam Bauske, Lon Harner, Lenard Henderson, Daniel Lee, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Nay: None

Absent: Minerva Milford

Motion Passed.

Chairperson Combs stated that this recommendation would be presented to the Village Board at their next regular meeting on June 16, 2025, at 7:00 p.m.

2. Variation from Section 9-3-6-D of the Municipal Code to permit an accessory structure to be setback 0 feet from the side lot line instead of the minimum required 3 feet for the property at 510 Glendale Lane

Motion by Commissioner Harner, seconded by Commissioner Henderson, to open the Public

Hearing. Voice vote taken. Ayes - 9 | Nays - 0 | (Abstain: None). Motion Passed.

Chairperson Combs swore in the petitioners.

Mariusz Poplawski (510 Glendale Lane)
Malgorzata Poplawski (510 Glendale Lane)

Mrs. Poplawski presented an overview of the project.

Kevin Anderson presented an overview of the staff report.

Mr. and Mrs. Poplawski addressed the Commissioners stating the pool and deck were added for the use of their family, and they did not realize they needed a permit for a structure not attached to the house. Chairperson Combs questioned Mr. Poplawski's statement that the distance was 14-inches and asked him to clarify if this was to the footings. Mr. Poplawski stated it was 14-inches from the edge of the deck to the fence. Chairperson Combs asked staff to clarify. Mr. Anderson stated the documents provided by the petitioner state the distance is only 0.3 feet from the property line.

Commissioner Chhatwani had no questions.

Commissioner Harner had no questions.

Commissioner Trieb had no questions.

Commissioner Henderson had no questions.

Commissioner Wilson asked staff which side of the structure was the side that is either 0.3 feet or 14-inches from the property line. Mr. Anderson stated it is the west side of the structure, between the deck and the property line. Commissioner Wilson asked if they were considering amending the Code as a whole, to which Mr. Anderson clarified this was a variation request and would affect this structure only.

Commissioner Wise had no questions.

Commissioner Wilson asked what the setbacks were for the garages / accessory structures of other properties in the area. Mr. Anderson stated all the accessory structures he was able to review in this area met the setback requirements.

Commissioner Lee stated he feels the issue of whether the deck is 0.3 feet or 14-inches from the property line requires clarification because being able to access the side of the structure for debris removal, mowing, etc. is important. Commissioner Lee commented that the fence looks to be 14-inches away, rather than 3-inches, in the photograph, and stated maybe the location of the fence is not accurate. Mr. Anderson responded that the plans the Commission is reviewing and voting on this evening are based on the 0.3-foot setback. However, if the Commission were to have the petitioner return to the designer and have the plans amended to accurately reflect what he has testified to here tonight, the request could be continued in order to allow the petitioner time to present information that appropriately reflects what was testified to this evening.

Mr. Poplawski stated that each week he is able to maintain the lawn in the area in question using his weed whacker.

Chairperson Combs stated that the issue is that the petitioner has presented a plan that shows 0.3 feet, which contradicts the distance he is verbally telling the Commissioners is on the site (14-inches). Mr. Anderson stated the neighbor's fence is located a few inches within the property line, not on the subject property's lot line.

Chairperson Combs swore in an additional petitioner.

Dave Hafner (545 Glendale Lane)

Mr. Hafner stated he is in support of the variation, commenting that the petitioner is always working on the house and that the metal fences were installed many years ago.

Mr. Anderson provided the Commissioners with a copy of the petition from eight surrounding property owners in favor of the variation.

Chairperson Combs called for a vote to continue the hearing and allow the petitioner to amend it with the actual setback from the property line. The architect would have to make the necessary changes to the plans. Commissioner Henderson suggested that when the architect comes to the property, that the accessory structure be adjusted to meet the code if the dimensions are closer to 0.3-feet.

Vice Chairperson Bauske asked to clarify if there were any additional dimensions (height, etc.) that were of concern regarding this structure, or is the setback the only issue. Mr. Anderson stated the setback is the main concern. If the petitioners were to meet the 3-foot setback, the building permit would be issued without the need for the variation.

Mr. Poplawski commented that the inspectors from the Village told him the structure was well-built. Vice Chairperson Bauske stated that his main concern is whether the plan is correct.

Chairperson Combs asked if there were any members of the audience that would like to comment on the request.

Chairperson Combs swore in an additional petitioner.

Chris Cosman (505 Glendale Lane)

Mr. Cosman commented on the character of the neighbors. Chairperson Combs asked that comments be kept related to the variation at hand, not the neighbor's character.

Chairperson Combs asked staff if there was a date to which the hearing should be assigned for continuation, or if it would depend on when the revised documents arrive from the petitioners? Mr. Anderson stated it would be best to wait until the plans arrive before scheduling a continuation date.

Motion by Vice Chairperson Bauske, seconded by Commissioner Trieb, to continue the Public Hearing for a Variation from Section 9-3-6-D of the Municipal Code to permit an

accessory structure to be setback 0 feet from the side lot line instead of the minimum required 3 feet for the property at 510 Glendale Lane to a date yet to be determined.

Roll call vote:

Aye: Eva Combs, Adam Bauske, Lenard Henderson, Daniel Lee, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Nay: Lon Harner

Absent: Minerva Milford

Motion Passed.

Chairperson Combs asked if the hearing would remain open. Mr. Anderson stated the Public Hearing would remain open.

B. Public Meetings

1. Preliminary and Final Site Plan for a ComEd Substation located at 5700 Trillium Boulevard

Chairperson Combs swore in the petitioners.

Mark Halford (Compass Data Centers, 14555 N Dallas Parkway, Dallas, TX)

Bill Pegel (ComEd, 2241 Coventry Circle, Sycamore, IL)

Jamie Putnam (Kimley-Horn, 4201 Winfield Road, Warrenville, IL)

Mr. Halford presented an overview of the project.

James Donahue presented an overview of the staff report.

Commissioner Chhatwani had no questions.

Commissioner Harner asked if there was a reason for having an entrance on Beverly Road for this facility. Mr. Pegel stated their substation standards for maintenance and safety require two entrances to a station, which are typically kept separated so that, in the case of an emergency or an outage, operators can get to the site and get the equipment up and live. Commissioner Harner commented that Beverly Road is a highly traveled roadway. Mr. Pegel stated most of the vehicles would likely be entering via the Trillium entrance due to traffic conditions. Commissioner Harner asked staff if the roadway would be resurfaced. Mr. Donahue stated underground electric lines are being run from the existing substation south of I-90 to Beverly Road; there are currently test holes in the pavement to check the subsurface and when the project is complete, the roadway will be repaired. Mr. Pegel agreed that the roadway is not currently complete, but that permits would be pulled to repair the road accordingly.

Commissioner Trieb had no questions.

Commissioner Henderson commented he was happy with the lack of barbed wire.

Commissioner Wilson had no questions.

Commissioner Wise asked whether the feeders were abandoned from the previous Sears facility. Mr. Pegel stated that he was not aware if they had been demolished, but that typically when a building is abandoned, this equipment is brought back to ComEd Assets.

Commissioner Lee had no questions.

Vice Chairperson Bauske asked the petitioners if they agreed with the conditions of approval in the staff report. Mr. Halford stated yes.

Chairperson Combs asked about security for the property. Mr. Pegel stated there is security installed on the facilities for motion detection, cameras on most facilities, and there is a control building that is managed which meets all requirements. Chairperson Combs asked if there was an issue on site that it would be routed automatically to the proper department (i.e. Police, Fire, etc.). Mr. Pegel stated yes, the OCC and the TSO system operators receive warnings on their control boards. Chairperson Combs asked about the color of the 86-foot masts. Mr. Pegel stated it was his assumption that the poles would be galvanized, but he had not looked at the plans for this level of information. Chairperson Combs asked if they could blend in with the sky because another facility in town looks like Stonehenge. Mr. Pegel stated the challenge with painted poles is the long-term maintenance issues. ComEd does try to minimize the amount of long-term maintenance because this cost is socialized to all rate-payers. Chairperson Combs asked how sound would impact the Forest Preserve. Mr. Halford could not speak directly to the sound study. He stated they met the requirements but was unable to speak about how it would impact the Forest Preserve specifically. Chairperson Combs commented her concern was with regard to how it would interfere with the wildlife. Mr. Donahue pointed out the sphere of sound provided on the map does not travel that far north.

Commissioner Henderson asked whether this facility would have security. Mr. Halford stated this location would have Tier 1 security, meaning there will not be cameras at the fence, but they will have cameras on the control building as well as motion detection.

Chairperson Combs asked if there were any members of the audience that would like to comment on this request. Chairperson Combs swore in the petitioner.

Doreen Gibrich (1850 Nicholson Drive)

Mrs. Gibrich thanked staff for keeping residents up-to-date. Ms. Gibrich asked why they did not consider the NW corner of Higgins Road for their location. Mr. Pegel stated he believes the location was chosen based upon the distance from the substation where the equipment is coming from and the lines being pulled to service the new substation. Mr. Donahue pulled up a map of the area on the screen at the front of the meeting room and showed the audience the locations from which the power would be coming. Mr. Pegel stated they typically try to reduce the amount of impact on an area from construction and coordinate with the customer to determine site limits, soil conditions, etc. that impact the constructability of the substation. Mr. Putnam stated the location of the nursing college and the interstate, along with the location of the existing substation where the lines are being pulled from all were factors in deciding on the best location for the new substation.

Mrs. Gibrich stated her frustration that money rules out in the end over business and

residential impacts.

Mrs. Gibrich asked for further clarification about the security on site - will there just be cameras, or will there be a physical person on the site? Mr. Pegel stated ComEd does not staff their stations 24/7, including data centers, since the property is owned by the customer and the equipment is installed, owned, operated and maintained by ComEd per the tariff filed with ICC. Mr. Pegel also addressed the comment about the cost of the site clarifying that the site is rate-payer-funded. This means ComEd makes investments based on the laws they have as a public utility, and since they are rate-payer-funded, meaning every electric utility customer pays into the fund, the ICC, as regulator, challenges ComEd to find the most economical way to perform the work they are doing in order to have the least impact to all rate payers, both locally and through the Illinois territory, as well as to transmission from Illinois all the way to the East Coast. Mr. Halford stated the Compass site would have 24/7 security, which Mrs. Gibrich affirmed was information he had provided at the February Public Meeting.

Mrs. Gibrich asked about proper funding / training for the Fire Station. Mr. Pegel stated they work with the municipality or individual jurisdictional fire departments to perform site walkdowns, pre-planning, etc., and as much training as possible with their staff. Mr. Pegel also stated that for substations, the Fire Department is not allowed to enter the substation until ComEd staff are on-site, confirm it has been de-energized, and escort emergency personnel into the station.

Mrs. Gibrich asked if, at the time the sound study was completed, there had been any consideration of performing the study near the homes within the area. Mr. Pegel stated there are certain parameters regulated for this type of study/location, but he was unable to speak directly about what the parameters are or who sets them. Mr. Donahue stated that the sphere of noise that could potentially come from the substation, which the study states would not exceed what the allowances are, would not travel that far, so the chances of the residences south of I-90 hearing noise from this substation site would not happen because residents would hear noises from the tollway before they would hear noises from the substation. Mr. Pegel stated the sound from the transformers is due to the fans making a slight humming sound.

Mrs. Gibrich asked if there were any studies relating to native plants and wildlife in the area. Mr. Halford stated this was completed during the original site approval and there was no impact found.

Chairperson Combs swore in an additional petitioner.

Scott Gibrich (1850 Nicholson Drive)

Mr. Gibrich asked ComEd if, in the normal operation of the datacenters, is the delivery of power consistent, or would residents expect to see issues with power surges, brown outs, etc. Mr. Pegel responded that during the planning and engineering process, the system supporting the load from the customer is studied, whether it be large load, commercial/industrial, or residential, and they continue to study it along the way and adjust accordingly. This facility is a large load customer, and would be serviced by the transmission system. It is high-voltage distribution, which is not the same distribution system used for residential services.

Mr. Gibrich further clarified his question as to where the power is coming from. Is it sufficient to support the datacenter without having to pull more power from the surrounding area? Mr. Pegel stated that all large load customers are required to adhere to the load-ramp as submitted for the study, which is how they ensure these concerns do not occur. Mr. Pegel stated they are not a generator, but rather they are strictly a transmission company.

Mr. Gibrich asked if there were any cost benefits to being close to the transmission facility. Mr. Pegel explained how rates are quantified and impacted by other factors for rate-payers.

Mr. Gibrich asked if there were other TDC plans for this immediate area. Mr. Pegel stated he was not aware of any TDC plans for this immediate area.

Mr. Gibrich commented that he is hoping the area at Shoe Factory and Beverly Road will not become another data center or industrial area close to the residences.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to adopt the Findings of Fact for Site Plan as presented in the June 04, 2025, Staff Report.

Roll call vote:

Aye: Eva Combs, Adam Bauske, Lon Harner, Lenard Henderson, Daniel Lee, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Nay: None

Absent: Minerva Milford

Motion Passed.

Motion by Vice Chairperson Bauske, seconded by Commissioner Harner, to recommend to the Village Board of Trustees approval of Preliminary and Final Site Plan for a ComEd Substation located at 5700 Trillium Boulevard, subject to the conditions as of the June 04, 2025, Staff Report.

Roll call vote:

Aye: Eva Combs, Adam Bauske, Lon Harner, Lenard Henderson, Daniel Lee, Nancy Trieb, Denise Wilson, John Wise, Rajkumari Chhatwani

Nay: None

Absent: Minerva Milford

Motion Passed.

Chairperson Combs stated this recommendation would be presented to the Village Board at the next regular meeting on Monday, June 16, 2025 at 7:00 p.m.

5. STAFF DISCUSSION

Daisy Dose-Adamzadeh stated that there were not currently any items scheduled for the next regular PZC meeting on June 18, 2025, but that this could change. Commissioners will be updated accordingly.

6. PUBLIC COMMENT

None.

7. **ADJOURNMENT**

Motion by Commissioner Chhatwani, seconded by Commissioner Henderson, to adjourn at 07:57 PM. Voice vote taken. Ayes - 9 | Nays - 0 (None) | Abstain - 0 (None). Motion Passed.

Minutes prepared by Marquelle Cnota, Administrative Assistant.

Chairperson's Approval

Date Approved

Draft



PLAN COMMISSION STAFF REPORT

Meeting Date: 7/2/2025

From: Kevin Anderson, Planner II

PLN 25-0010

Public Hearing

Variation from Section 9-3-6-D of the Municipal Code to permit an accessory structure to be setback 1 foot from the side lot line instead of the minimum required 3 feet for the property at 510 Glendale Lane

REQUEST SUMMARY

The applicant has constructed an accessory structure in the interior side yard of the property without a building permit. The structure was built within the required side yard setback and within an existing utility easement. Rather than remove the structure, the applicant has applied for a building permit and seeking a variation to allow it to remain as constructed.

Location:	510 Glendale Lane
Property Owner / Applicant:	Mariusz Poplawski
Property Size:	~15,000 sf.
Zoning / Land Use:	R-3 One-Family Residential
Adjacent Properties:	All surrounding conditions: R-3 One Family Residential

BACKGROUND / ANALYSIS

This request was initially heard by the Planning and Zoning Commission on June 4, 2025. At that hearing, the applicant indicated that the plans they provided did not accurately reflect the real world setback dimension. The Petitioner requested a continuance to verify the dimensions. The Petitioner and his architect have verified that the setback indicated on the original plans was accurate. The accessory structure has been constructed ~0.3' (4 inches) from the side lot line.

The Petitioner has indicated they are willing to remove a portion of the accessory structure from the final plan. They provided a revised site plan indicating the final accessory structure would be set back approximately 14". The Petitioner has withdrawn their previous site plan and is requesting the Plan Commission only consider the revised submittal.

The subject property is currently improved with a single-family home, a detached garage, 2 storage sheds, an above-ground pool, and an accessory structure. The accessory structure consists of an above-grade deck with a privacy wall on top. On a scheduled inspection of a neighboring property, a code enforcement officer noticed the structure and verified it was built without a permit. The owner was advised to get a permit and upon review of the plans, it was determined the structure does not meet the

The accessory structure includes a deck approximately 275 square feet in area and approximately 4.5' above grade as well as a 6' tall fence / privacy wall on top of the deck. The result is an accessory structure approximately 10.5' tall. The deck is designed to provide access to an existing above-ground pool.

[illegible]

Notification

Notification letters were sent via standard mail to all surrounding properties within 150'. No objections have been received.

MOTIONS

The Plan Commission shall make the following motions (a total of 2 motions are required):

1. Adopt the Findings of Fact for a Variation as outlined in the attached document.
2. Recommend to the Village Board approval of Variation from Section 9-3-6-D of the Municipal Code to permit an accessory structure to be setback 1 foot from the side lot line instead of the minimum required 3 feet for the property at 510 Glendale Lane, subject to the following conditions:
 - a. A building permit shall be obtained within 30 days of final Village Board approval of this Variation request.
 - b. The final construction shall substantially conform to the plans attached and submitted as part of this application.

ATTACHMENTS

1. PC Findings and Recommendations Summary - 510 Glendale Lane
2. Location Map - 510 Glendale Lane
3. Supporting Documents - 510 Glendale Lane



**PLAN COMMISSION
FINDINGS & RECOMMENDATION SUMMARY**

Meeting Date: July 2, 2025
Prepared By: Kevin Anderson, Planner II
Project #: PLN25-0010

Variation from Section 9-3-6-D of the Municipal Code to permit an accessory structure to be setback 1 foot from the side lot line instead of the minimum required 3 feet for the property at 510 Glendale Lane

Draft Findings of Fact – Variation *(as drafted by staff and may be modified by the Commission)*

Sec. 9-1-15-C: Standards for Variations.

1. The Plan Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
FINDING: No evidence has been submitted to support this standard.
 - b. The plight of the owner is due to unique circumstances;
FINDING: No evidence has been submitted to support this standard.
 - c. The variation, if granted, will not alter the essential character of the locality.
FINDING: This would be the only structure in the immediate neighborhood with a 1 foot setback.
2. For the purpose of implementing the above rules, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence:
 - a. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
FINDING: No evidence has been submitted to support this standard.
 - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
FINDING: No evidence has been submitted to support this standard.
 - c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
FINDING: The deck was installed to provide access and recreation adjacent to an above ground swimming pool and not exclusively to increase the value of the property.

- d. The alleged difficulty or hardship has not been created by any person presently having an interest in the property;

FINDING: The current owner built this structure without a permit.

- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and

FINDING: No evidence has been submitted to support this standard.

- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

FINDING: No evidence has been submitted to support this standard.

Recommendations

The Plan Commission shall make the following motions (a total of 2 motions are required):

1. Adopt the Findings of Fact for a Variation.

Motion by _____, seconded by _____, to adopt the findings.

Roll call vote:

Aye:

Nay:

Absent:

Motion [Passed/Failed].

2. Recommend to the Village Board approval of Variation from Section 9-3-6-D of the Municipal Code to permit an accessory structure to be setback 1 foot from the side lot line instead of the minimum required 3 feet for the property at 510 Glendale Lane, subject to the following condition:
- A building permit shall be obtained within 30 days of final Village Board approval of this variation request.
 - The final construction shall substantially conform to the plans attached and submitted as part of this application.

Motion by _____, seconded by _____, recommend approval.

Roll call vote:

Aye:

Nay:

Absent:

Motion [Passed/Failed].

510 GLENDALE LN
PIN: 07-16-407-023-0000

N



OLIVE ST

510

GLENDALE LN

Legend

-  Subject Property
-  Parcel



Department of Development Services
Village of Hoffman Estates



VILLAGE OF HOFFMAN ESTATES PLANNING & ZONING APPLICATION SUMMARY

APPLICATION INFORMATION

Project Number:	PLN25-0010
Project Name:	Accessory Structure setback reduction
Project Application Date:	2/13/2025
Project Manager:	Kevin Anderson

PROJECT TYPE

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SITE INFORMATION

Property Address:	510 GLENDALE LN
All Included PINs:	07-16-407-023-0000

PROJECT CONTACTS

Relationship to Project	Name / Firm	Address
APPLICANT	Mariusz Poplawski	510 glendale ln Hoffman estates, IL 60169
OWNER	MALGORZATA POPLAWSKI	510 GLENDALE LN HOFFMAN ESTATES, IL 60169



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING VARIATION ADDENDUM

REQUIRED SUBMITTALS

	General Application
	Variation Hearing Fee <i>Commercial: \$500 per variation</i> <i>Residential: \$175</i> <i>Sign: \$500 per sign</i>
	Legal Description typically found on the tax bill, deed, or plat of survey.
	Current Plat of Survey drawn to scale showing the proposed improvement(s) and distance(s) from existing structures and property lines. For sign variations, ALL signs should be shown and labeled on the plat including the sign(s) for which the variation is being requested.
	A scale drawing of the floor plan and elevations, including windows and door locations.
	A project narrative detailing the request including whether there are other options that would not require a variation, proposed construction materials, whether removal/relocation of trees or utilities will be required and the estimated total project cost. Include any relevant plans, documents, and photos to support the request.
	If any part of your existing and/or proposed use is located in any part of a utility easement, written release(s) from the Village or utility company may be required.
	A Statement of Awareness from directly impacted neighbors acknowledging their awareness of your proposal (residential variations only) .

STANDARDS OF VARIATION

Zoning Code Section 9-1-15-C-2 of the Municipal Code requires that the Planning and Zoning Commission shall, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence presented. All standards must be answered in full. A separate piece of paper may be used if more room is required.

1. The particular physical surroundings and shape of topographical conditions of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out. Please provide an explanation.

The particular physical surroundings and topographical conditions of the property do result in a **particular hardship** to the owner, beyond mere inconvenience. The shape and layout of the lot—such as an irregular configuration, limited buildable area, or restricted access—create practical challenges in complying with current zoning regulations.

2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification. Please provide an explanation.

The conditions upon which the petition for a variation is based are **not generally applicable** to other properties within the same zoning classification. The circumstances affecting the subject property are **unique and specific**, such as unusual lot shape and the size, or topography, which do not commonly occur elsewhere in the zoning district.

3. The purpose of the Variation is not based exclusively upon a desire to increase the value of the property. Please provide an explanation.

The purpose of the variation is **not based exclusively on a desire to increase the value of the property**, but rather on achieving a **more practical and functional use of the backyard**. The proposed changes aim to improve everyday usability—such as accessibility, outdoor space efficiency, or accommodating typical activities—not to maximize property value for resale or investment purposes.

4. The alleged difficulty or hardship has not been created by any person presently having an interest in the property; Please provide an explanation.

The alleged difficulty or hardship has **not been created by any person presently having an interest in the property**. The conditions causing the hardship—such as the lot's shape, size, or topography—existed prior to the current ownership and were not the result of any deliberate actions

5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. Please provide an explanation.

The granting of the variation will **not be detrimental to the public welfare nor injurious to other property or improvements** in the neighborhood. The proposed changes are designed to be consistent with the character of the area and will not negatively impact neighbors' use or enjoyment of their properties.

The variation addresses a specific hardship unique to the property and does not alter the overall zoning intent or create any adverse effects such as increased traffic, noise, or obstruction of views. Therefore, the public interest and the integrity of the neighborhood will be maintained.

6. The proposed variation will not impair an adequate supply of light and air to adjacent properties, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood. Please provide an explanation.

The proposed variation for the deck will **not impair an adequate supply of light and air** to adjacent properties because it is designed with appropriate setbacks and does not exceed height limits that would block sunlight or airflow. It will **not substantially increase congestion** in public streets, as the use of the deck is residential and does not generate additional traffic beyond normal household activity. The design and materials comply with all fire safety codes, so it will **not increase the danger of fires** or **endanger public safety**. Lastly, the variation will **not substantially diminish or impair property values** in the neighborhood, as it enhances the usability and enjoyment of the property without negatively impacting the appearance or function of neighboring lots. Overall, the proposed deck respects the safety, comfort, and property values of the community.

February 2/21/2025

Dear Neighbor ,

I am seeking approval for a variance related to the location, setback, and privacy wall of my deck at my residence at 510 Glendale Ln . As part of the process, I would like to confirm that my proposed deck does not create any issues or concerns for you.

By signing below, you acknowledge that you have no objections to the placement and construction of my deck, including its setback and 6 "privacy wall.

Your support will be greatly appreciated in facilitating this request.

If you have any questions or concerns, please feel free to reach out to me.

Malgorzata and Mariusz Poplawski

510 Glendale LN

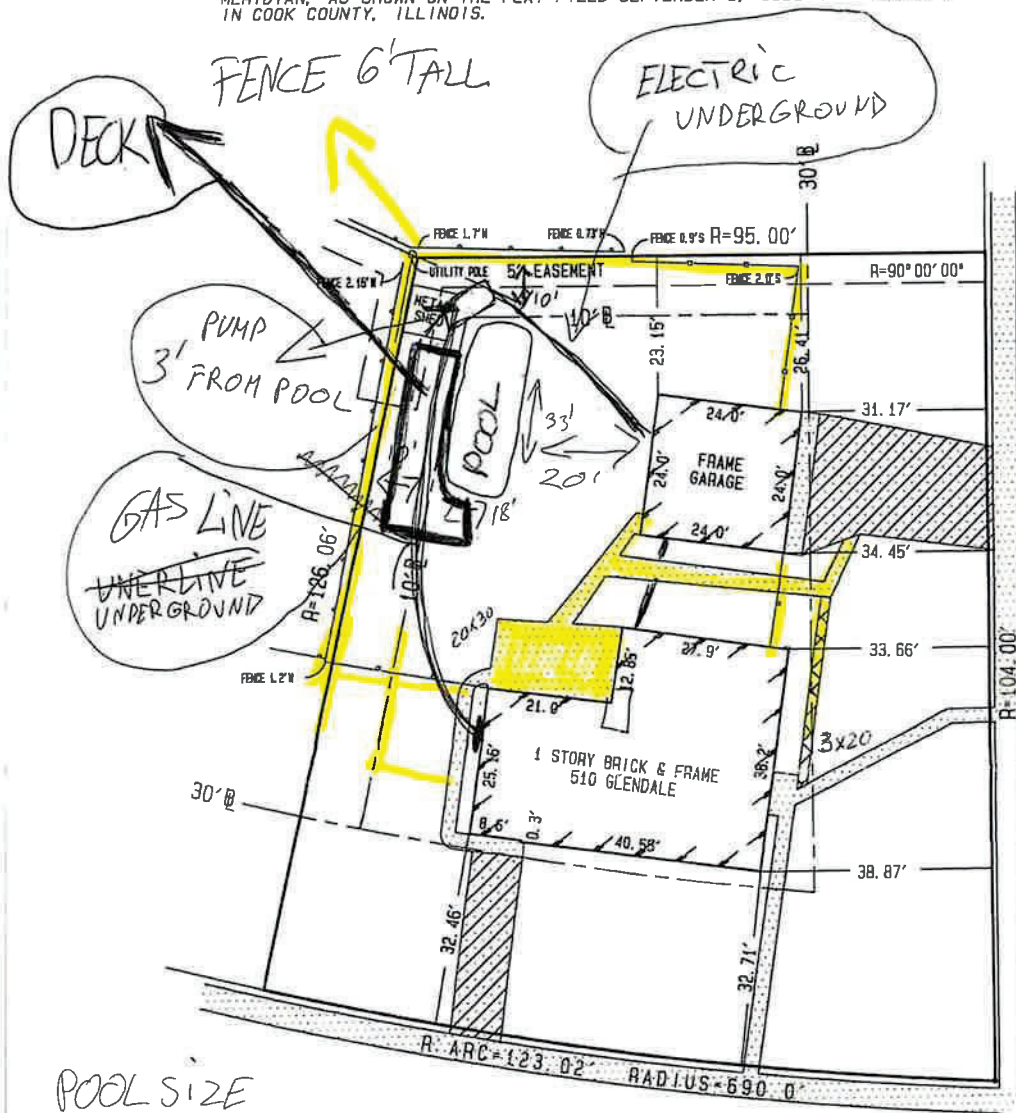
Hoffman Estates IL 60169

NEIGHBOR`S NAME	NEIGHBOR`S ADDRESS	NEIGHBOR`S SIGNATURE	DATE
Carol MacLeod	650 Olive St	Carol L MacLeod	4/6/25
David Camoll	635 Olwe St	David Camoll	Apr 16 2025
CHRIS COSMAN	505 GLENDALE	Chris Cosman	4/16/25
Barbara Scott	515 Glendale	Barbara Scott	4/16/25
Dan Milutinski	525 Glendale Ln	Dan Milutinski	4/16/25
Wendy Hafner	545 Glendale Ln	Wendy Hafner	4/16/25
Laura McLeod	495 Glendale Ln	Laura McLeod	4/16/25
Chris Bruhnofer	520 Glendale Ln	Chris Bruhnofer	4/16/25

PLAT OF SURVEY

Order No. 1713636.

LOT 1 IN BLOCK 96 IN HOFFMAN ESTATES VII, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE PRINCIPAL MERIDIAN, AS SHOWN ON THE PLAT FILED SEPTEMBER 5, 1958 AS DOCUMENT NP.LR1816080, IN COOK COUNTY, ILLINOIS.



SCALE 1" = 20'

OLIVE ST.

POOL SIZE

33 LONG x 18 WIDE x 50 DEEP

GLENDAL LN.

LEGEND

LIMITS OF BUILDINGS -

R - RECORD

M - MEASURED

D - DEED

● - FOUND IRON PIPE

○ - SET IRON PIPE

⊕ - HYDRANT

☆ - LIGHT

CONCRETE -

PAVERS -

ASPHALT -

STATE OF ILLINOIS S.S.
COUNTY OF KANE

WE, LAND DIVISIONS, INC., CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY AND THAT THIS PROFESSIONAL SERVICE REPRESENTS A TESTED OPINION OF THE BOUNDARY OF THE ABOVE CAPTIONED PROPERTY.
DATE OF SURVEY: APRIL 20, 2017.

Signature

LICENSE NO. 2783 EXPIRES ON NOVEMBER 30, 2018.

THIS PLAT CONFORMS WITH THE CURRENT ILLINOIS PROFESSIONAL LAND SURVEYORS ASSOCIATION MINIMUM STANDARDS FOR A BOUNDARY SURVEY. BUILDING LINE RESTRICTIONS AND EASEMENTS SHOWN ARE THOSE IDENTIFIED ON THE RECORD SUBDIVISION PLAT, UNLESS OTHERWISE NOTED. REFER TO TITLE INSURANCE POLICY AND LOCAL ZONING ORDINANCES FOR RESTRICTIONS NOT SHOWN. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT. IMMEDIATELY REPORT ANY DISCREPANCIES FOUND. ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF. THIS PLAT HAS BEEN PREPARED FOR LINDLEY AND POPLANSKI.



LAND DIVISIONS, Inc.

Professional Surveying Services

P.O. Box 836

West Dundee, Illinois 60118

(847) 841-8305 (847) 951-9171

fax (847) 651-9193

2 SITE PLAN
3/32" = 1'-0"



ENERGY CONSERVATION STATEMENT

I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THE ATTACHED PLANS
(X) FULLY COMPLY () NEED NOT COMPLY

SIGNED: 

(Arch. S.E. or P.E.) Illinois License Number: 001-023574



CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO
THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF CONFORM TO THE CURRENT EDITION
OF THE BUILDING AND ZONING CODE.

SIGNED: 

Illinois License Number: 001-023574 Exp: 11/2026
FIRM LICENSE NUMBER: 184-007502



ZONING DATA

Type	Area Proposed
LOT AREA	14,548 SQ FT
BUILDING FOOTPRINT	1,607 SQ FT
CURB WALL PATIO	1,087 SQ FT
EXISTING GARAGE	576 SQ FT
DRIVEWAY	639 SQ FT
POOL	570 SQ FT
PROPOSED DECK	(371) SQ FT
TOTAL BUILDING AREA COVERAGE	4,479 SQ FT
	~30.8%

FLOOR	= 40# LL 10# DL TYPICAL ALL AREAS
WALL	= 40# PSF OR ACTUAL LOAD
CEILING	= 20# LL 10# DL ROOF SLOPES OVER 3 IN 12
ROOF	= 30# LL 10# DL
CATHEDRAL	= 30# LL 15# DL ALL SLOPES
EXTR. DECK	= 40# LL 10# DL
EXTR. BALCONY	= 100# LL 10# DL EXTERIOR

STRUCTURAL FRAMING LUMBER	
FLOOR JOISTS, CEILING JOISTS, HEADERS, AND RAFTERS	
IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)	

GRADE #2 SPECIES SPF CANADIAN	BASE PD = 875
GRADE #2 SPECIES SYP DOMESTIC	BASE PD = 875 (WOLM)
GRADE #1 SPECIES HEM-FIR	BASE PD = 1050
MANUFACTURER TRUSS JOIST MCWILLIAM	PRODUCT: MICRO-LAM LVL
SIZE: 1 3/4" x (SEE PLAN)	PD = 2,400 PSF E = 2.0

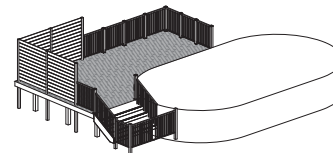
PROJECT DESCRIPTION

LEGALIZE DECK w/ PRIVACY FENCE

DRAWINGS LIST

Sheet Number	Sheet Name
A101	COVER
A102	PROPOSED PLANS
A103	DECK SUBURBS

3 3D - VIEW



GENERAL NOTES

- NOTICE TO CONTRACTOR:
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 - ADMINISTRATION OF THE CONTRACT WILL BE BY OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR AND THE OWNER SHALL BE SOLELY RESPONSIBLE FOR THE BUILDING CONSTRUCTION PROCESS MEANS AND METHODS AND JOBSITE SAFETY.
 - THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT. THE DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND TYPE OF STRUCTURAL SYSTEM, THE DRAWINGS DO NOT DESCRIBE ALL THE WORK REQUIRED FOR SUCCESSFULLY COMPLETING THE PROJECT. BASED ON THE DRAWINGS, THE CONTRACTOR MUST FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
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APPLICABLE CODES

- 2012 INTERNATIONAL BUILDING CODE W/ AMENDMENTS
- 2012 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS
- 2012 INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS
- 2014 NATIONAL ELECTRIC CODE W/ AMENDMENTS
- 2014 ILLINOIS STATE FURNING CODE W/ AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ ILLINOIS AMENDMENTS
- 2012 INTERNATIONAL FUEL GAS CODE W/ AMENDMENTS
- 2012 INTERNATIONAL FIRE CODE W/ AMENDMENTS
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE W/ AMENDMENTS

DESIGN CRITERIA

- FLOOR = 40# LL 10# DL TYPICAL ALL AREAS
 - WALL = 40# PSF OR ACTUAL LOAD
 - CEILING = 20# LL 10# DL ROOF SLOPES OVER 3 IN 12
 - ROOF = 30# LL 10# DL
 - CATHEDRAL = 30# LL 15# DL ALL SLOPES
 - EXTR. DECK = 40# LL 10# DL
 - EXTR. BALCONY = 100# LL 10# DL EXTERIOR
- STRUCTURAL FRAMING LUMBER
- FLOOR JOISTS, CEILING JOISTS, HEADERS, AND RAFTERS
- IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)
- GRADE #2 SPECIES SPF CANADIAN BASE PD = 875
- GRADE #2 SPECIES SYP DOMESTIC BASE PD = 875 (WOLM)
- GRADE #1 SPECIES HEM-FIR BASE PD = 1050
- MANUFACTURER TRUSS JOIST MCWILLIAM
- PRODUCT: MICRO-LAM LVL
- SIZE: 1 3/4" x (SEE PLAN) PD = 2,400 PSF E = 2.0

PROJECT DESCRIPTION

LEGALIZE DECK w/ PRIVACY FENCE

DRAWINGS LIST

Sheet Number	Sheet Name
A101	COVER
A102	PROPOSED PLANS
A103	DECK SUBURBS

No.	Description	Date
1	PERMIT	04/04/2025
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1302 South 5th Avenue
Des Plaines, IL 60018
Phone: (224) 388-8914
Email: archub2@gmail.com

BAU
Design & Development

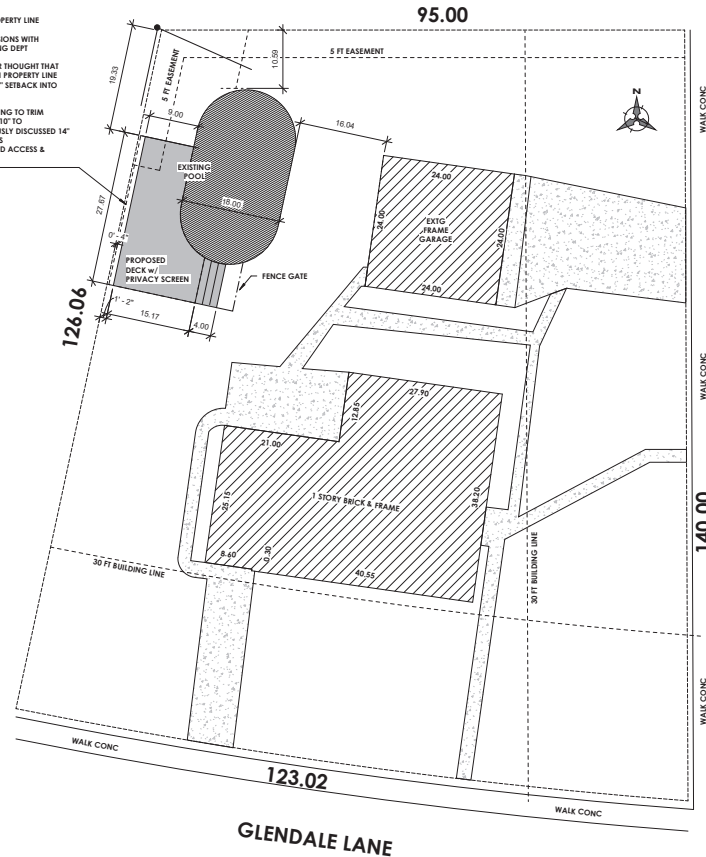
LEGALLIZE DECK w/ PRIVACY FENCE
510 Glendale Ln
Hoffman Estates, IL 60169

DATE: 04/04/2025
PROJECT: 25-126
DRAWN BY: CHECKED BY: DB DB
COVER
SHEET NO. A101

THE DECK AS BUILT
IS 14" FROM FENCE
BUT
ONLY 4" FROM PROPERTY LINE

BASED ON DISCUSSIONS WITH
KEVIN FROM ZONING DEPT
AND THE OWNER:
TO CLARIFY OWNER THOUGHT THAT
THE FENCE WAS ON PROPERTY LINE
BUT IT IS IN FACT 10" SETBACK INTO
OTHER PROPERTY

OWNER IS PROPOSING TO TRIM
EXISTING DECK BY 10" TO
MAINTAIN PREVIOUSLY DISCUSSED 14"
CLEARANCE ON HIS
PROPERTY FOR YARD ACCESS &
MAINTENANCE



2 SITE PLAN
3/32" = 1'-0"

ENERGY CONSERVATION STATEMENT

I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THE ATTACHED PLANS

(x) FULLY COMPLY () NEED NOT COMPLY

SIGNED:

(Arch. S.E. or P.E.) Illinois License Number: 001-023574



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SIGNED:

Illinois License Number: 001-023574 Exp: 11/2026
FIRM LICENSE NUMBER: 184-007502



ZONING DATA

Type	Area Proposed
LOT AREA	14,548 SQ FT
BUILDING FOOTPRINT	1,607 SQ FT
CONC WALKS/PATIO	1,087 SQ FT
DETACHED GARAGE	576 SQ FT
DRIVEWAY	639 SQ FT
POOL	570 SQ FT
PROPOSED DECK	(371) SQ FT
TOTAL BUILDING AREA COVERAGE	4,479 SQ FT
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STRUCTURAL FRAMING LUMBER	
FLOOR JOISTS, CEILING JOISTS, HEADERS, AND RAFTERS	
IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)	

GRADE #2 SPECIES SPF CANADIAN	BASE P2 = 875
GRADE #2 SPECIES SYP DOMESTIC	BASE P2 = 875 (W.O.M.)
GRADE #1 SPECIES HEM-FIR	BASE P2 = 1050
MANUFACTURER: TRUSS JOIST MCWILLIAMS	
PRODUCT: MICRO-LAM LVL	
SIZE: 1 3/4" x (SEE PLAN)	P2 = 2,400 PSI E = 2.0

LEGALIZE DECK w/ PRIVACY FENCE	
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DRAWINGS LIST	
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Sheet Number	Sheet Name
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A101 COVER	
A102 PROPOSED PLANS	
A103 DECK SUBURBS	

DATE: 06/17/2025	
PROJECT: 25-126	
DRAWN BY: CHECKED BY: DB DB	

COVER	
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SHEET NO. A101	
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3 3D - VIEW	
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- 2014 NATIONAL ELECTRIC CODE W/ AMENDMENTS
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- 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ ILLINOIS AMENDMENTS
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- MANUFACTURER: TRUSS JOIST MCWILLIAMS
- PRODUCT: MICRO-LAM LVL
- SIZE: 1 3/4" x (SEE PLAN) P2 = 2,400 PSI E = 2.0

PROJECT DESCRIPTION

LEGALIZE DECK w/ PRIVACY FENCE

DRAWINGS LIST

Sheet Number	Sheet Name
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A101 COVER	
A102 PROPOSED PLANS	
A103 DECK SUBURBS	

DATE: 06/17/2025	
PROJECT: 25-126	
DRAWN BY: CHECKED BY: DB DB	

COVER	
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SHEET NO. A101	
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No.	Description	Date
1	PERMIT	06/17/2025

1302 South 5th Avenue
Des Plaines, IL 60018
Phone: (224) 388-8914
Email: arcub2@gmail.com

BAU
Design & Development



LEGALIZE DECK w/ PRIVACY FENCE
510 Glendale Ln
Hoffman Estates, IL 60169

DATE: 06/17/2025
PROJECT: 25-126
DRAWN BY: CHECKED BY: DB DB

COVER

SHEET NO. A101

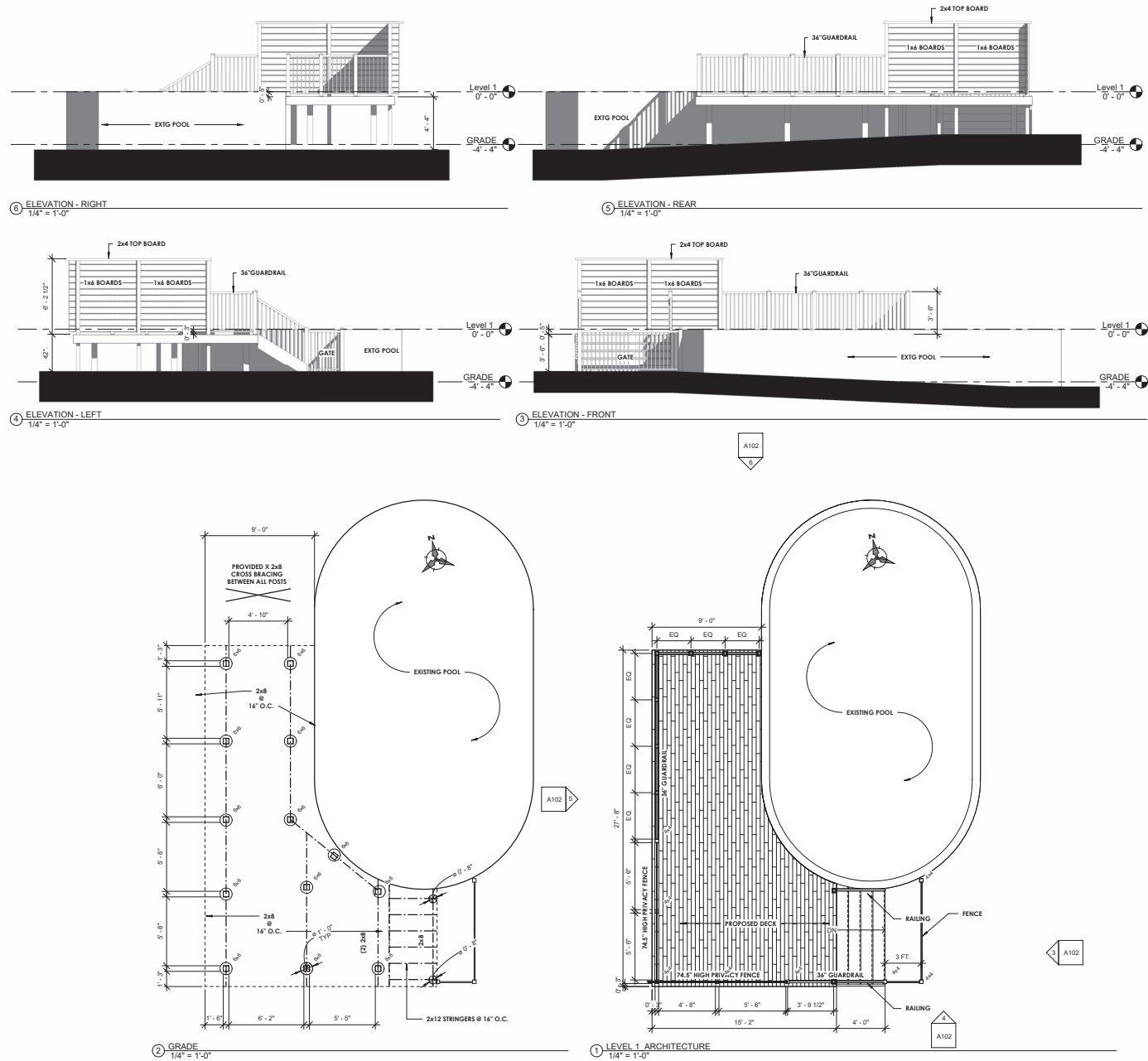
Village of Hoffman Estates
 Code Enforcement
 1900 Hassall Road
 Hoffman Estates, IL 60169
 (847) 781-2631
www.hoffmanestates.org/permits

- Submission Requirements:**
 - A plot of survey must be submitted with the deck location and scaled dimensions. Setbacks from the property lines, principal structure, and other structures should also be indicated.
 - A scope of work or contract must be submitted.
 - A framing plan must be submitted.
 - If attached to a house, indicate exterior finish of home (brick, siding, etc.) and method of attaching the deck to the house.
 - Specify overall dimensions of the deck, including post-and-beam locations with dimensions indicating beam spans between posts and clear span of joists. Also, specify the type and direction of decking as well as the nominal lumber sizes of all joists, beams, and posts.
 - Indicate the location of basement window wells, hose bibbs, electric, and gas.
 - Provide a detail of the stair width, tread depth, riser height, handrail and guardrail details.
 - Computer-generated framing plans from retail outlets that fail to provide the required information will not be accepted.
 - Decks associated with swimming pools have special requirements for maintaining the pool barrier.

- Code Requirements:**
 - Piers**
 - Minimum depth is 42" below grade.
 - Shall be sized to carry the load imposed (see table 3 for maximum load occupancy).
 - Piers placed in the over dig of the foundation (assumed 5 feet from house wall) must be placed at footing depth.
 - Posts**
 - Shall be water resistant or pressure treated lumber.
 - Shall be secured on top of concrete piers.
 - Are not permitted to be installed below grade.
 - Beams**
 - Splices in beams shall be made over a post or pier and splices in beams mid-span are prohibited.
 - All beams must be fastened together and bear directly on a post.
 - Beams shall be sized per Table 1.
 - Floor Joists**
 - Floor joists must be a maximum of 16" on center spacing when using 5/4 nominal lumber for the decking.
 - Joists may bear directly on beam or joist hangers shall be used to secure joists to beams.
 - Must be rated at 40 PSF live-load using pressure-treated lumber and shall be sized per Table 2.
 - Stairs**
 - 7 1/2" maximum riser height and 10" minimum tread width. All treads must be the same depth.
 - All risers must be the same height.
 - Solid risers are required unless the opening is less than 4".
 - Guardrails are required at all stairs with 4 or more risers and handrails must return (see figure 2).

- Guard rails**
 - Must prevent the passage of a 4" sphere and maximum spacing between balusters and intermediate rails must be less than 4".
 - Must be 36" in height.
 - Ledger board**
 - Shall be the same size lumber as the joist it is supporting.
 - Ledger board shall be installed using a minimum of 1/2" lag screws (washers required) or 1/2" bolts (washers required).
 - Bolts or lag screws with washers shall be placed 2" from the bottom, top, or ends of the deck ledgers.
 - Siding at the ledger board location must be removed prior to the installation of the ledger board.
 - Ledger board shall be at least the same dimension as the joist attached to it (a 2 x 8 joist requires a 2 x 8 ledger board) and shall be attached to the structure with a minimum 1/2" lag screw or bolt (washers required) spaced 10" - 30" on center, depending on the joist spans placed in a staggered pattern.
 - Deck ledgers shall not be supported on stone/masonry veneer or any cantilever of the structure.
 - Other Requirements**
 - Joist hangers shall be installed by the use of approved nails or screws approved by the hanger manufacturer.
 - Deck must be designed to support a 40 - pound per square foot live load.
 - Guardrails greater than 42" in height are considered privacy screening and are limited to 40 linear feet.
 - The location of the deck on the property must meet all zoning requirements (contact Code Enforcement for details).
 - Structures must be kept out of areas designated as utility, open space, or drainage easement on the Plat of Survey for a property.

- Inspection:**
 - A location/pier inspection is required prior to pouring concrete.
 - A framing inspection after the structure is complete prior to the placing of the decking is required. Stairs do not need to be inspected at the time of inspection.
 - A final inspection is required upon completion of work.
 - Additional inspections may be required.



No.	Description	Date
1	PERMIT	06/17/2025

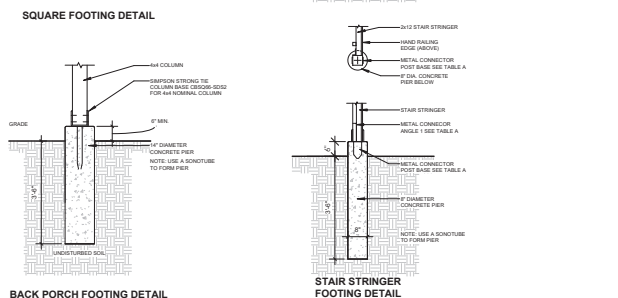
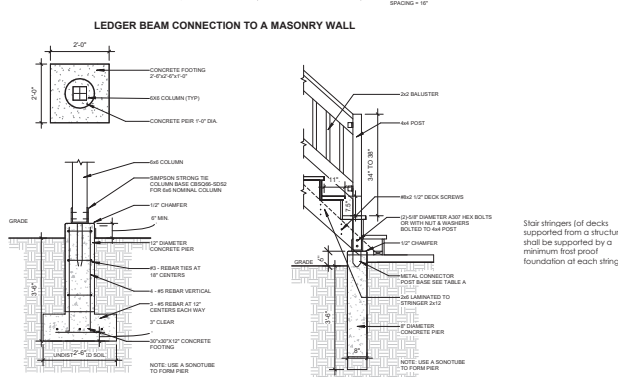
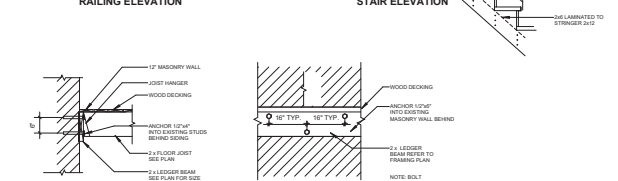
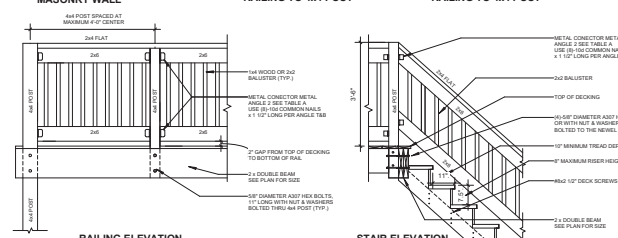
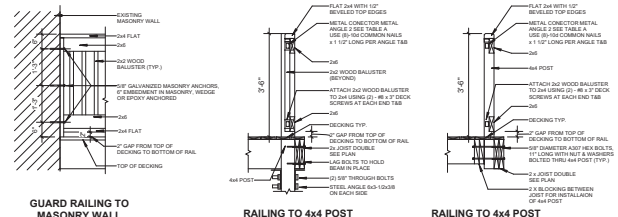
1302 South 5th Avenue
Des Plaines, IL 60018
Phone: (224) 388-8914
Email: archub2@gmail.com

BAU
Design & Development

LEGALIZE DECK w/ PRIVACY FENCE
510 Glendale Ln
Hoffman Estates, IL 60169

DATE:
08/17/2025
PROJECT:
25-126
DRAWN BY: DB
CHECKED BY: DB

PROPOSED PLANS
SHEET NO.
A102

[illegible][illegible]

Z-2 MAX Galvanized (G-185); Z-2 Triple Zinc Galvanized (G-185)

MISCELLANEOUS:

ALL EXISTING DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION. ALL STRUCTURAL DETAILS AND NOTES ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS, UNLESS NOTED OTHERWISE.

COORDINATION

ALL DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED BY THE GENERAL CONTRACTOR, AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER.

THE INFORMATION CONTAINED IN THE STRUCTURAL DRAWINGS ARE INCOMPLETE AND VOID UNLESS APPLIED IN CONJUNCTION WITH ALL CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, TRADE PRACTICES AND APPLICATIONS.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL USE FOR WHICH THEY ARE PREPARED. ANY REPRODUCTION, REUSE, IN WHOLE OR IN PART, FOR REPRODUCTION OR DISTRIBUTION IS LIMITED TO SUCH USE, ANY REPRODUCTION, REUSE, IN WHOLE OR IN PART, FOR ANY OTHER PURPOSE IS PROHIBITED.

ALLOWABLE SOIL BEARING CAPACITY
DESIGNED FOR 1,500 PSF
NO OTHER DESIGN AMOUNT CONSIDERED

[illegible]



